



A G E N D A
CITY OF SEASIDE
PLANNING COMMISSION

VIRTUAL ONLY
REGULAR MEETING
Wednesday, October 13, 2021
7:00 PM

This meeting is compliant with Governor Newsom's Executive Order N-29-20 which allows local legislative bodies to hold public meetings electronically only, without a physical location for public participation, accessible only telephonically or otherwise electronically (video conferencing) to all members of the public seeking to observe and address the local legislative body, in order to avoid public gatherings, and until further notice.

REMOTE PUBLIC COMMENTS To make a public comment, the following options are available:

- Before the Meeting via Email: Written comments can be emailed to CityClerk@ci.seaside.ca.us Include the following subject line: "Public Comment Item # (insert the agenda item number relevant to your comment). Written comments must be received by 5:00 p.m. on the day of the meeting. All submitted comments will be provided to the City Council or the Board for consideration, compiled as part of the record, and may be read into the record.
- During the Meeting via Oral Comments: When the Chair calls for public comment, attendees can queue to speak with the "Raise Hand" feature. On the Zoom application, click the "Raise Hand" button. On the phone, press *9. The Clerk will call speaker names and unmute speaker microphones. You will have up to 3 minutes to provide your comments, with time set by the discretion of the Chair.

VIRTUAL MEETING ACCESS

This meeting can be watched via the City of Seaside YouTube channel:

https://www.youtube.com/channel/UC1Cu7854Ohtjpr_XV1tDvRg

Or by joining the Zoom webinar link: <https://us02web.zoom.us/j/81555467580>

Or call in phone number: 669 900 9128

Webinar ID: 815 5546 7580

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

3. PLANNING COMMISSION

John Owens	Chair
Michael Spalletta	Vice Chair
Keith Dodson	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
William Silva	Commissioner

4. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

5. PUBLIC COMMENT

Members of the public wishing to address the Planning Commission on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three (3) minutes. Public Comments for specific agenda items are heard under that item. For the public record, please state your name.

6. APPROVAL OF MINUTES

A. APPROVE MINUTES OF SEPTEMBER 8 AND 22, 2021

7. BUSINESS ITEMS

A. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-21-07: LEISSA NELSON, PROPERTY OWNER, AND JOEY SAMPALO, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A 207 SQUARE FOOT ELEVATED DECK ON AN EXISTING SINGLE FAMILY DWELLING LOCATED AT 1249 LUZERN STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 3, SECTION 15303(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA). ITEM WAS CONTINUED FROM SEPTEMBER 22, 2021 PLANNING COMMISSION MEETING.

RECOMMENDATION: In accordance with the Seaside Municipal Code (SMC), the following code sections are applicable:

SMC 17.62.030.B.2; Architectural Review approval is required for the construction of all second-story elements, including decks, for single-family residential projects.

Staff recommends approval of BAR-21-07 for the proposed 207 sf deck in the draft Resolution (Attachment 1), subject to Attachment 1 – Exhibit A, Project Plans.

B. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-21-07: SATISH AND RESHMA SHARMA, APPLICANT AND PROPERTY OWNER, ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A TWO- STORY ADDITION ONTO AN EXISTING ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 485 TRINITY AVENUE IN THE RS-12 (SINGLE FAMILY) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT, CLASS 1, SECTION 15301.E.1 FROM THE CALIFORNIA ENVIRONMENTAL

QUALITY ACT.

8. REPORTS FROM COMMISSIONERS

9. REPORTS FROM STAFF

10. ADJOURNMENT

Next Regularly Scheduled Meeting:
October 27, 2021
Seaside City Hall
7:00 p.m.

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. Agendas are posted at:
<http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER
September 8, 2021
7:00 PM

1. **CALL TO ORDER**

Chairperson John Owens called meeting to order at 7:00 p.m.

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

PRESENT: Dodson, Evans, LaMica, Huynh, Owens, Silva
ABSENT: Spaletta

3. **PUBLIC COMMENT**

Chairperson Owen opened public comment. With no comments received, public comment was closed.

4. **APPROVAL OF MINUTES**

A. APPROVE MINUTES FROM JULY 28, 2021

On motion by Commissioner La Mica and second by Commissioner Huynh the Planning Commission moved to approve the July 28, 2021 Planning Commission Minutes.

Ayes: Evans, LaMica, Huynh, Owens, Silva

Noes: None

Abstain: Dodson

Absent: Spaletta

5. **BUSINESS ITEMS**

A. USE PERMIT APPLICATION NO. UP-21-02: FARIS NEMRI, PROPERTY OWNER, AND ALEJANDRA BERRELLEZA, APPLICANT, ARE REQUESTING APPROVAL OF A USE PERMIT TO ALLOW FO THE ON-SITE SALE OF BEER AND WINE UNDER A TYPE 41 ALCOHOL LICENSE FOR A SIT-DOWN

**RESTAURANT (BARBA AZUL) LOCATED AT 1301 FREMONT BOULEVARD
IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT. THIS
PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A)
FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).**

Beth Rocha, Senior Planner, presented staff report and explained that the restaurant has undergone a change of ownership and the new owner is proposing to reestablish a Type 41 (On-Sale beer and Wine) alcohol license for the sit-down restaurant. The Seaside Police Department have stated that the project site is not in a high crime area and that there has been no issue with the on-sale of alcohol at the project location in the past.

Chairperson Owens asked questions regarding the sit-down seating arrangement for the restaurant and if any modifications were made from the previous use. Ms. Rocha stated that the seating arrangement will remain the same for the indoor and outdoor seats.

PUBLIC COMMENT: NONE

On motion by Commissioner La Mica and second by Commissioner Huynh the Planning Commission moved to adopt the draft Resolution granting Use Permit Application No. UP-21-02 for the on-sale of beer and wine at 1301 Fremont Boulevard.

Ayes: Dodson, Evans, LaMica, Huynh, Owens, Silva

Noes: None

Abstain: None

Absent: Spaletta

**B. USE PERMIT APPLICATION NO. UP-21-03: CHARTWELL SCHOOL,
PROPERTY OWENR, AND MYNT SYSTEMS, APPLICANT, ARE
REQUESTING USE PERMIT APPROVAL FOR THE PLACEMENT OF TWO 960
SQUARE-FOOT MODULAR CLASSROOMS ON THE CAMOUS OF
CHARTWELL SCHOOL LOCATED AT 2511 NUMA WATSON ROAD IN THE
PUBLIC-INSTITUTIONAL (PI) ZONING DISTRICT. THE PROJECT IS
CATEGORICALLY EXEMPT CLASS 3, SECTION 15303(E), FROM THE
CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).**

Rick Medina, Senior Planner, presented the staff report and provided background on the establishment of the campus for Chartwell School within the former Fort Ord lands in 2003 and its subsequent expansion with the placement of modular buildings. Mr. Medina explained that the school is requesting the additional modular classrooms to service the needs of its high school curriculum as the school board continues to plan for the future expansion of a separate high school campus on land it owns that abuts the east side of the existing campus.

Chairperson Owens opened the discussion by asking whether the new modular

classrooms would be relocated to the new campus when it was completed.

Commissioner Owens also expressed that he would prefer that the school would utilize a permanent type building that match the existing campus construction. He stated that when the previous modular classrooms were approved in 2018 that he was on record that we would not be in support of additional modular classrooms.

APPLICANT COMMENT:

Kate Mulligan, Head Master for Chartwell School, responded to the Chairperson Owens comments. She explained that the use of modular classrooms at this time involved both financial and functional needs. Financially, the school board will continue to evaluate its capital improvement campaigns for the expansion of the high school but based on costs at 20 million or more, the funds are not readily available at this time. Functionally, the growth of the high school grade levels combined with the need to maintain smaller class sizes due to COVID 19 protocols necessitates the need for the additional classroom space now. She acknowledged that the modular classrooms have been selected to maintain the form/design consistent with the existing campus and the overall sustainability of the modular construction with the designation of the LEED status for the main campus. Ms. Mulligan stated that the new modular classrooms would be relocated to the new high school campus when its constructed is completed.

Commissioner Silva commented on the compatibility of the modular classrooms with the existing buildings on the main campus in terms of style and form and that the footprint of the structures is in keeping with the pedestrian flow of the campus. Additionally, the campus is not visible from adjoining properties.

PUBLIC COMMENT: NONE

On motion by Commissioner La Mica and second by Commissioner Huynh, the Planning Commission moved to approve Use Permit Application No. UP-21-03 as submitted.

Ayes: Dodson, Evans, LaMica, Huynh, Silva

Noes: Owens

Abstain: None

Absent: Spaletta

C. SEASIDE MUNICIPAL CODE AMENDMENT: INTRODUCTION OF AN AMENDED ORDINANCE FOR REVIEW AND RECOMMENDATION TO THE CITY COUNCIL, AMENDING SEASIDE MUNICIPAL CODE SECTION 17.14.030, TABLE 2-4 – ALLOWED LAND USES AND PERMIT REQUIREMENTS FOR COMMERCIAL ZONES FOR RESTAURANT USES. THE PROPOSED CHANGES TO THE MUNICIPAL CODE WILL NOT RESULT IN DIRECT OR INDIRECT CHANGES TO THE ENVIRONMENT AND DO NOT MEET THE DEFINITION OF A PROJECT UNDER CEQA (14 CCR 15378(B)).

Beth Rocha, Senior Planner, presented staff report. After consistent commission

approval of use permits for on-sale alcohol sales for eating establishments, a study session on the proposed Ordinance was held on July 14, 2021. The text amendments would change the permit requirement for Accessory Alcoholic Beverage Sales for Restaurants, Cafes and Coffee Shops from requiring a Use Permit to being premitted; and consolidate the uses of Restaurants with Table Service and Restaurants with Counter Service into one use type; and modify the permitted use table to allow Restaurants, Cafes And Coffee Shops to be permitted-by-right in the CMX, CC, CRG, and CH zoning districts; and correct typographical errors in SMC 17.14.030, Table 2-4: remove reference to footnote 3 from the *Office – Processing* use category and remove *Alcoholic beverage sales* from the use table.

Chairperson Owens commented that he objected to the sale of alcohol at coffee shops and drive through establishments. He expressed that he preferred having the City take a stricter approach with regard to coffee shops. He stated that most coffee shops do not have complete kitchens to qualify as a bona fide eating establishment. Additionally, he did not want to relinquish review over such applications to trust the ABC would adequately regulate the uses. Commissioner Huynh stated that he also had concerns with alcohol sales within coffee shops as stated by Chairperson Owens.

Ms. Rocha clarified that the Ordinance would only relate to the on-sale of beer and wine within commercial zones for restaurants, cafes, and coffee shops for Type 41 and 47 ABC licenses and that the off-sale of beer and wine would still require the issuance of a use permit. The regulations would bring the citywide regulations in-line with those of the West Broadway Urban Village Specific Plan, where use permits are not required for restaurants, cafes or coffee shops that have accessory alcoholic beverage sales.

Chairperson Owens opened item for public comments. Seeing no comments, the public hearing was closed.

On motion by Commissioner Dodson and second by Commissioner Evans, the Planning Commission moved to recommend the resolution to the City Council to adopt the proposed Ordinance.

Ayes: Dodson, LaMica, Silva

Noes: Owens, Evans, Huynh,

Abstain: None

Absent: Spaletta

6. REPORTS FROM COMMISSIONERS

Chairperson Owens requested that City staff look into how the homeless encampments north of the City adjacent to Highway 1 and various locations within the City can be cleaned up. Commissioner Silva also supported this comment.

7. REPORTS FROM STAFF

None

8. ADJOURNMENT

With no further business, the meeting adjourned at 8:30 PM.

Respectfully submitted,

Dominique L. Davis, City Clerk

John Owens, Chair



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER
September 22, 2021
7:00 PM

1. **CALL TO ORDER**

Chairperson John Owens called meeting to order at 7:00 PM

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

PRESENT: Dodson, Evans, Owens, Silva
ABSENT: LaMica, Huynh, Spaletta

3. **PUBLIC COMMENT**

Chairperson Owen opened public comment. With no comments received, public comment was closed.

4. **BUSINESS ITEMS**

A. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-21-07: LEISSA NELSON, PROPERTY OWNER, AND JOEY SAMPALO, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A 207 SQUARE FOOT ELEVATED DECK ON AN EXISTING SINGLE-FAMILY DWELLING LOCATED AT 1249 LUZERN STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 3, SECTION 15303(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

Rick Medina, Senior Planner, presented staff report and provided an overview of the proposed deck, including architectural considerations and consistency with the Single-Family Residential Design Guidelines.

Commissioner Silva asked questions about the design and the need for 14 support columns. He expressed that the number of columns suggest a lot of support is needed; either for many people to be on the deck or a result of using small lumber rather than a beam. Silva suggested the deck supports look like a pier and not residential in nature. Chairperson Owens expressed agreement with Silva's

observations and suggestions.

APPLICANT COMMENT:

Leissa Nelson addressed the design and 14 column issues mentioned by the Commissioners, saying that the number of piers were due to concerns about the deck. She answered questions asked by Commissioner Dodson regarding whether or not city staff voiced concerns about the supports and if the quantity (14) were appropriate.

Chairperson Owens suggested working with an engineer and obtaining stamped drawings.

Commissioner Silva shared ideas regarding the design of the deck to make it appear more residential rather than commercial/pier-like.

PUBLIC COMMENT: None

On motion by Commissioner Silva and second by Commissioner Evans and carried by the following vote, the Planning Commission moved to continue the item to the next meeting (October 13, 2021) and the applicant should return with revised drawings and a design that would reduce the number of vertical supports from the 14 included in this submittal.

Ayes: Dodson, Evans, Silva, Owens

Noes: None

Abstain: None

Absent: LaMica, Huynh, Spaletta

6. REPORTS FROM COMMISSIONERS

Commissioner Evans mentioned that the encampments along the coastal trail and Highway 1 were being cleaned up.

7. REPORTS FROM STAFF

None

8. ADJOURNMENT

With no further business the meeting adjourned at 7:21 PM.

Respectfully submitted,

Dominique L. Davis,
Planning Commission Secretary

John Owens, Chair



CITY OF SEASIDE STAFF REPORT

Item No.: 7.A.

TO: Planning Commission

BY: Rick Medina, Senior Planner

DATE: October 13, 2021

SUBJECT: **BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-21-07: LEISSA NELSON, PROPERTY OWNER, AND JOEY SAMPALO, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A 207 SQUARE FOOT ELEVATED DECK ON AN EXISTING SINGLE FAMILY DWELLING LOCATED AT 1249 LUZERN STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 3, SECTION 15303(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).**
ITEM WAS CONTINUED FROM SEPTEMBER 22, 2021 PLANNING COMMISSION MEETING.

PURPOSE & RECOMMENDATION

In accordance with the Seaside Municipal Code (SMC), the following code sections are applicable:

SMC 17.62.030.B.2; Architectural Review approval is required for the construction of all second-story elements, including decks, for single-family residential projects.

Staff recommends approval of BAR-21-07 for the proposed 207 sf deck in the draft Resolution (Attachment 1), subject to Attachment 1 – Exhibit A, Project Plans.

BACKGROUND

On September 22, 2021, it was the consensus of the Commission to approve the elevated deck contingent on the applicant returning to the Commission on October 13, 2021 with a revised elevation reducing the amount of ground columns supporting the deck. The Staff report presented to the Commission on September 22, 2021 providing additional background and project description can be viewed at

following web link under Item 6A :
<https://seasideca.v8.civicclerk.com/Meetings/Agenda?id=2170>.

SITE LOCATION AND DESCRIPTION

The project site is located on the west side of Luzern Street between Wanda Avenue to the north and Hilby Avenue to the south (See Location Map Attachment 2). The subject property is developed with a split level 2,181 square-foot single-family residence. The lot is 5,227 sf and the existing conditions comply with both lot coverage and floor area ratio regulations. The property slopes from east to west. The project site is surrounded by residential uses.

The updated plans for the 207 sf deck will be supported by eight redwood columns measuring 7'-6" above the ground. The previous plans proposed a total of 14 columns. Construction drawings also include details for beams, deck flooring and footings. The floor of the deck will consist of Trex composite material. The guard railing will consist of vertical posts between 4x4 posts spaced 4' on center. The deck framing will be pressure treated lumber.

The setbacks from the property lines for the proposed deck are as follows:

	Required Setback	Proposed Setback
Front	15 feet	N/A
Side	5 feet each side	18'-8" north side and 28 feet south side
Rear	12 feet	12 feet the applica

PUBLIC COMMENTS

At the time of the creation of this Staff Report no public comments were received.

STAFF ANALYSIS

The following analysis provided the required findings and evidence for the approval of the updated plans.

FINDINGS

In accordance with Section 17.62.030.E and F. of the SMC, the following Code sections are applicable to this project:

E. Architectural considerations. Architectural considerations, including the character, quality, and scale of the design, architectural relationship with the site and other structures, building materials, colors, fencing, trash enclosure and walkway improvements, exterior lighting and signs, and the screening of exterior appurtenances.

1. The Proposed use is allowed within the zone district and complies with all other

applicable provisions of the Zoning Ordinance and Municipal Code.

Evidence: *The property is located in the Single Family Residential (RS-8) zoning district, subject to Design Review approval (SMCS 17.30.100.E; Table 3-5).*

Evidence: The proposed deck will consist of pressured treated lumber and Trex decking materials that would be compatible with the predominant low density 1960's era stucco/plaster exterior development within the surrounding neighborhood.

F. Conditions of approval. In making its decisions, the Board of Architectural Review may impose conditions it deems reasonable and necessary, to protect the best interests of the surrounding area, as well as to further the public health, safety, and general welfare of the community.

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of the Zoning Ordinance and the Municipal Code.

Evidence: *In accordance with SMC 17.12.050, Table 2-3, Residential Zone Development Standards, the proposed project adheres to all setbacks and development regulations.*

2. In compliance with Section 17.62.030.E.1 of the SMC, the additions and decks are consistent in quality, scale, and architectural relationship with the site and other structures. ***Evidence:*** *The proposed 207 sf deck has been designed to be consistent in quality, scale, and architectural relationship with the site and there are no significant visual impacts on the adjacent properties. With a 2nd story deck element there are privacy impacts on the adjacent properties. The proposed deck would remain the same height and area as the previous deck. Thus, it would not introduce a higher capacity beyond what was already existing. An existing mature Eucalyptus tree remains between the site and the property to the east, which provides some privacy screen between the two properties. However, even with the proposed 207 sf deck, the proposed deck will comply with the required minimum 12-foot setback from the rear property line. Per Table 3-5, uncovered and unenclosed aboveground decks may encroach three feet into the required 15-foot rear yard setback required for the primary residential structure. The fact that the 2nd story deck had been in existence for a number of years, and that no comments have been received from neighboring properties, it is City staff's determination that the new proposed 207 sf deck would not result in significant increased privacy impacts and/or external effects (e.g noise, lighting).*

Single-Family Residential Design Guidelines

The proposed deck is not viewable from Luzern Street and would have minimal viewing sight lines from portions of Harding Street downhill to the west. The proposed deck would maintain setbacks in compliance with the Zoning Code which allows for a three-foot encroachment into the 15 foot rear yard setback for an above-ground deck that receives design review approval. The following Single-Family Residential Design Guideline supports the proposed modification:

"Architectural elements should be designed to eliminate the appearance of box-like buildings," (II.A.iii.) and, "Avoid box-like appearance through variation in the roofline and building elevations" (III.C.iv.)

Evidence: *The neighborhood has a variety of 1960's architectural styles that also include existing second story deck elements on split level dwellings. The plans for the new 207 sf second story deck have been designed to respect the existing residential patterns and scale in the neighborhood and maintain significant setbacks from the side and rear property lines.*

Evidence: *Due to grade differential between the subject property and those to the west (downhill), staff found that the proposed 207 sf second story deck would not impact the view shed of the adjacent properties. Additionally, appropriate distance would be maintained on all sides of the project site to provide privacy to adjacent residences. The existing house shields the deck from the public right of way to the north and east. While the deck has limited sight lines from the public right of way to the west, the design of the deck will not disrupt the overall development pattern within the neighborhood.*

ENVIRONMENTAL REVIEW

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Class 3, Section 15303(E). Class 3 consists of projects that involve negligible or no expansion of an existing use and specific to this project: additions to existing structures that will not result in an increase or more than 50% of the floor area of the structures before the addition.

Evidence: *The site is developed with a 2,181 sf split level single-family residence and the proposed project consists of the approval of a new 207 sf second-story deck.*

ATTACHMENTS

1. Attachment 1 Draft Resolution
 2. Attachment 1 Exhibit A Deck Plans Updated
 3. Attachment 2 Location Map
-

RESOLUTION NO. 21-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING DESIGN REVIEW PERMIT BAR-21-07 TO ALLOW FOR AN ABOVE-GROUND DECK ON THE REAR ELEVATION OF A SPLIT LEVEL SINGLE FAMILY DWELLING AT 1249 LUZERN STREET IN THE SINGLE FAMILY RESIDENTIAL (RS-8) ZONING DISTRICT.

WHEREAS, Leissa Nelson, property owner, and Joey Sampaolo, applicant, are requesting approval of a Design Review Application to allow for an above-ground deck to encroach three feet into the required 15-foot rear yard setback at 1249 Luzern Street in the RS-8 zoning district; and,

WHEREAS, a duly notice public hearing has been held on September 22, 2021; and,

WHEREAS, the Planning Commission reviewed the staff report, received and considered oral comments at the public hearing concerning the proposed use and acted to grant approval of Design Review Application No. BAR-21-07 in accordance with Section 17.62.030 of the Seaside Municipal Code; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings approving Design Review Application No. BAR- 21-07:

WHEREAS, The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Class 3, Section 15303(E). Class 3 consists of projects that involve negligible or no expansion of an existing use and specific to this project: additions to existing structures that will not result in an increase or more than 50% of the floor area of the structures before the addition.

Evidence: *The site is developed with a 2,181 sf split level single-family residence and the proposed project consists the approval of a new 207 sf second-story deck.*

Design Review Findings:

In accordance with the requirements of SMCS 17.62.070.E and F, the Planning Commission is required to make all of the following findings in order to grant approval of the Design Review application.

E. Architectural considerations. Architectural considerations, including the character, quality, and scale of the design, architectural relationship with the site and other structures, building materials, colors, fencing, trash enclosure and walkway improvements, exterior lighting and signs, and the screening of exterior appurtenances.

1. The Proposed use is allowed within the zone district and complies with all other applicable provisions of the Zoning Ordinance and Municipal Code.

***Evidence:** The property is located in the Single Family Residential (RS-8) zoning district, subject to Design Review approval (SMCS 17.30.100.E; Table 3-5).*

Evidence: The proposed deck will consist of Trex composite decking materials that would be compatible with the predominant low density 1960's era stucco/plaster exterior development in the surrounding neighborhood.

- F. Conditions of approval. In making its decisions, the Board of Architectural Review may impose the conditions, as it deems reasonable and necessary to protect the best interests of the surrounding area, as well as to further the public health, safety, and general welfare of the community.

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of the Zoning Ordinance and the Municipal Code.

***Evidence:** In accordance with the SMC 17.12.050, Table 2-3, Residential Zone Development Standards, the proposed project adheres to all setbacks and development regulations.*

2. In compliance with Section 17.62.030.E.1 of the SMC, the additions and decks are consistent in quality, scale, and architectural relationship with the site and other structures.

***Evidence:** The proposed 207 sf deck has been designed to be consistent in quality, scale, and architectural relationship with the site and there are no significant visual impacts to the adjacent properties. With any 2nd story deck element there are privacy impacts to the adjacent properties. The proposed deck would remain the same size as the previous deck thus it would not introduce a higher capacity beyond what was already existing. An existing mature Eucalyptus tree remains between the site and property to east which provides some privacy screen between the two properties. However, even with the proposed 207 sf deck the proposed deck will comply with the required minimum 12-foot setback from a rear property line. Per Table 3-5, uncovered and unenclosed aboveground decks may encroach three feet into the required 15-foot rear yard setback required for the structure. The fact that the 2nd story deck had been in existence for a number of years, and that no comments have been received from neighboring properties, it is City staff's determination that the new proposed 207 sf deck would not result in significant increased privacy impacts and/or external effects (e.g noise, lighting).*

Single-Family Residential Design Guidelines

The project proposes to approve the construction of a 207 sf elevated deck accessed from the upper floor of the split level dwelling. The deck location is not viewable from the Luzern Street. The deck can be viewed from portions of Harding Street which is downgrade and located west of the subject property. Many of the houses along Luzern Street have deck elements which face the Bay. The proposed deck would maintain setbacks in compliance with the Zoning Code which allows for a three-foot encroachment into the 15 foot rear yard setback for an above-ground deck receiving design review approval. The following Single-Family Residential Design Guidelines support this proposed modification:

"Architectural elements should be designed to eliminate the appearance of box-like buildings," (II.A.iii.) and, "Avoid box-like appearance through variation in the roofline and building elevations" (III.C.iv.)

Evidence: The neighborhood has a variety of mid-century architectural styles and colors which includes many existing second story deck elements on split level dwellings. The plans for the new 207 sf second story deck have been designed to respect the existing residential patterns and scale in the neighborhood and maintain significant setbacks from the side and rear property lines.

Evidence: Due to grade differential between the subject property and those to the west (downhill), staff finds that the proposed 207 sf second story deck would not impact the view shed of the adjacent properties. Additionally, appropriate distance would be maintained on all sides of the project site to provide privacy to adjacent residences; the existing house shields the deck from public right of ways to the north and east. While the deck is viewable from the public right of way to the west; it is not out of place as there are a number of houses along Luzern Street which contain split level second stories and second story deck features. For further details pertaining to privacy impacts, see the Evidence description for Condition of Approval #2 (above).

3. The design, location, size and operating characteristics of the activity in the Use Permit are compatible with the existing and planned future land uses in the vicinity.

Evidence: Subject to the recommended Conditions of Approval, the on-sale of alcoholic beverages in conjunction with a sit-down restaurant is compatible with the commercial character of the commercial thoroughfare on Fremont Boulevard and the surrounding residential neighborhood to the west.

4. The site is physically suitable for the type, density and intensity of the use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The property is developed with an existing single-tenant commercial building. Infrastructure is available for the proposed use.

5. Subject to compliance with the Conditions of Approval, granting the Use Permit will not be detrimental to the public interest, health safety, convenience, or welfare, or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

Evidence: Subject to the recommended conditions of approval, the on-sale of alcoholic beverages in conjunction with a sit-down restaurant will not result in a detrimental impact on the property or in the vicinity of the property because the volume of alcohol being sold as part of the meals being served will ensure that the on-site sale of alcoholic beverages will remain as an ancillary sale to the restaurant.

BE IT FURTHER RESOLVED, the Planning Commission hereby grants Board of Architectural Review Application No. 21-07 subject to the following terms and conditions:

Project Specific:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans approved for discretionary permits for this project, Stamped Approved on September 22, 2021 shown on Exhibit A.

Standard:

2. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of

any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

3. Any proposed future development or change in use shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
4. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures.
5. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
6. Water conservation fixtures shall be provided in the proposed project.
7. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
8. Design Review approval will become null and void if a building permit is not obtained within one (1) year from the date of approval to begin construction on the project.
9. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the special meeting of the Planning Commission of the City of Seaside, State of California, on the 22nd day of September, 2021, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

DESIGN REVIEW APPLICATION NO. BAR-21-07
PC RESOLUTION No. 21-XX

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Water Allocation Committee.

Applicant's Signature

Date

Property Owner's Signature

Date

[illegible]

RFA

RAMZI FAKHOURY
ARCHITECTURE

+ 1 858 290 8242
ramzi.f9@gmail.com

PROFESSIONAL SEAL

SEASIDE

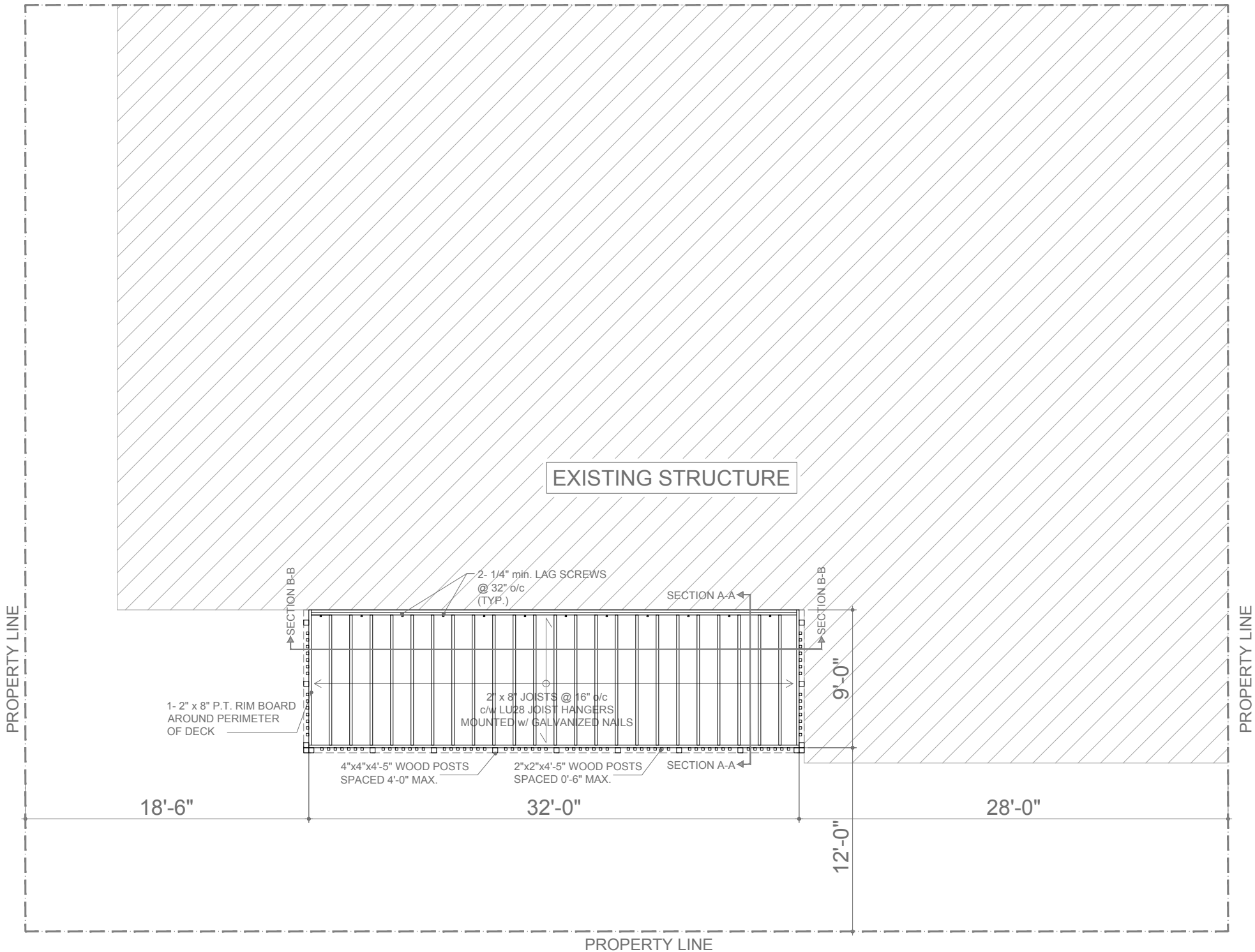
Proposed Sunroom Addition
1249 LUZEN ST. SEASIDE, CA. 93955

FLOOR PLAN

NO.	DATE	REVISION / ISSUE
1		
2		
3		
4		
5		

DRAWN BY	R.F.
DATE	SEPT. 28 2021
SCALE	AS NOTED
SHEET SIZE	11X17
SHEET NO.	

A01



1
A01

FLOOR PLAN
SCALE: 1/8" = 1'-0"



RFA

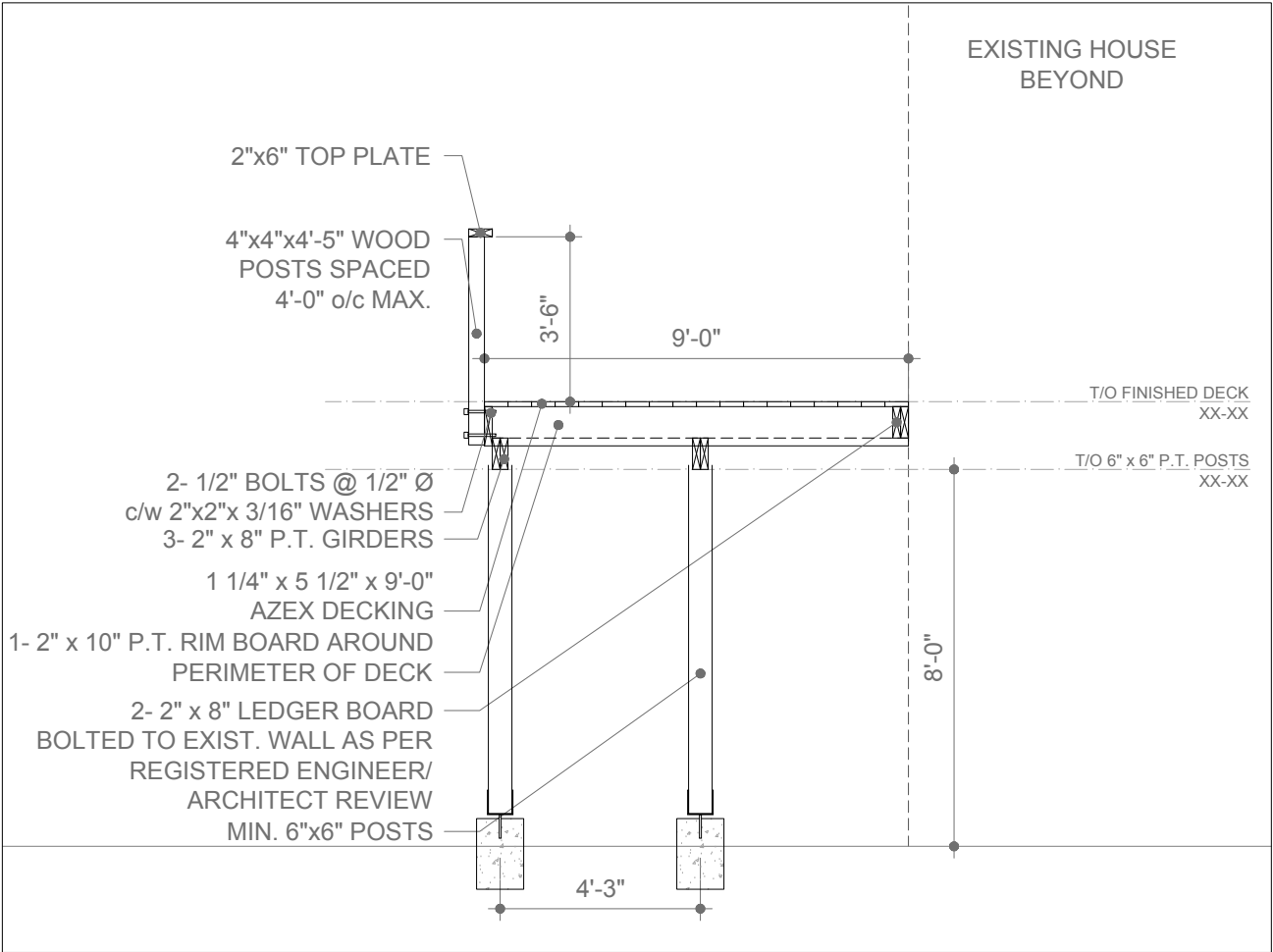
RAMZI FAKHOURY
ARCHITECTURE
+ 1 858 290 8242
ramzi.f9@gmail.com

PROFESSIONAL SEAL

SEASIDE

Proposed Sunroom Addition
1249 LUZEN ST. SEASIDE, CA. 93955

SECTION A-A



1
A02

SECTION A-A
SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION / ISSUE
1		
2		
3		
4		
5		

DRAWN BY	R.F.
DATE	SEPT. 28 2021
SCALE	AS NOTED
SHEET SIZE	11X17
SHEET NO.	

A02

RFA

RAMZI FAKHOURY
ARCHITECTURE

+ 1 858 290 8242
ramzi.f9@gmail.com

PROFESSIONAL SEAL

SEASIDE

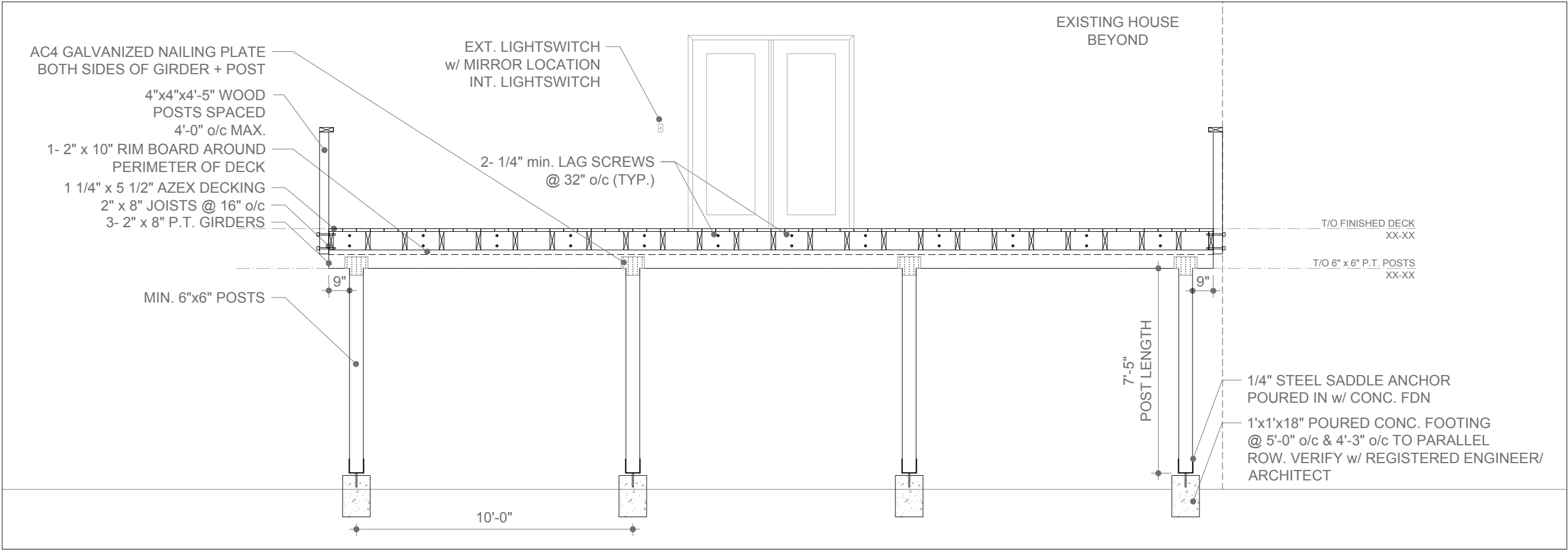
Proposed Sunroom Addition
1249 LUZEN ST. SEASIDE, CA. 93955

SECTION B-B

NO.	DATE	REVISION / ISSUE
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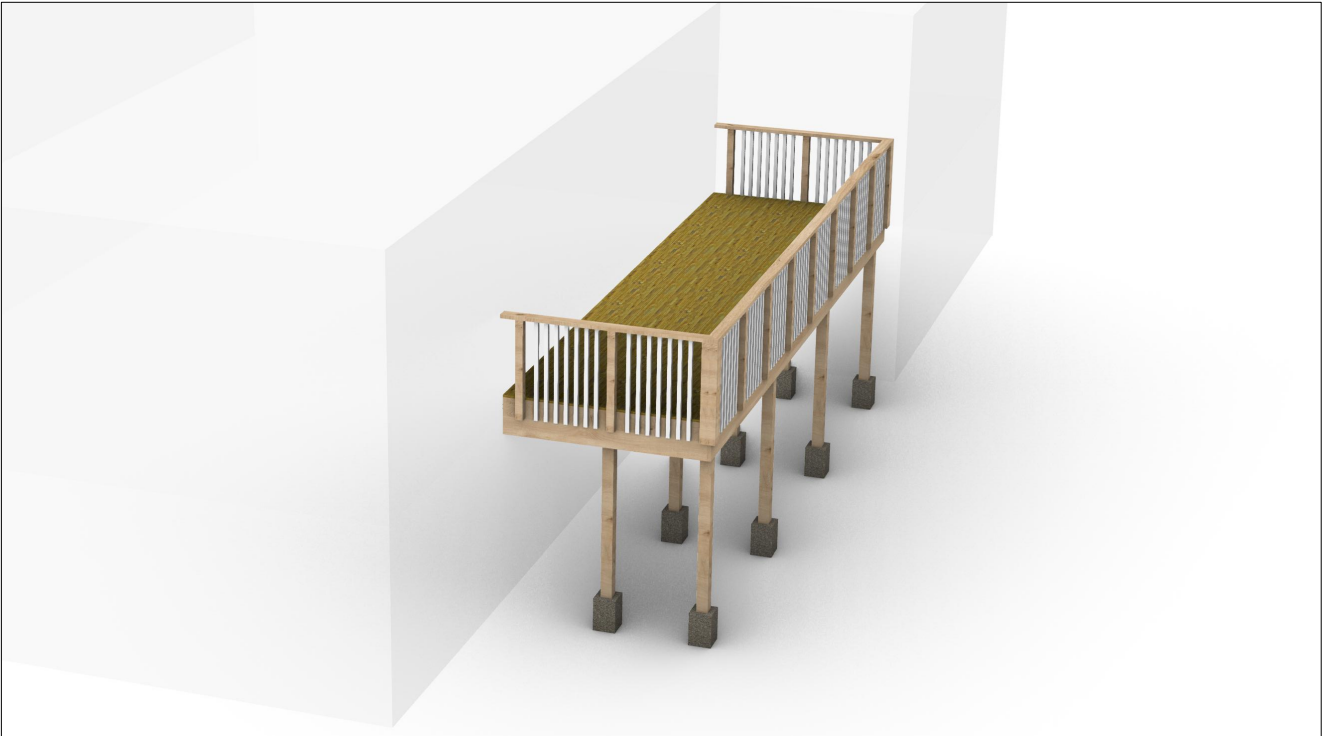
DRAWN BY	R.F.
DATE	SEPT. 28 2021
SCALE	AS NOTED
SHEET SIZE	11X17
SHEET NO.	

A03



1
A03

SECTION B-B
SCALE: 1/4" = 1'-0"



RFA

RAMZI FAKHOURY
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+ 1 858 290 8242
ramzi.f9@gmail.com

PROFESSIONAL SEAL

SEASIDE

Proposed Sunroom Addition
1249 LUZEN ST. SEASIDE, CA. 93955

RENDERS

NO.	DATE	REVISION / ISSUE
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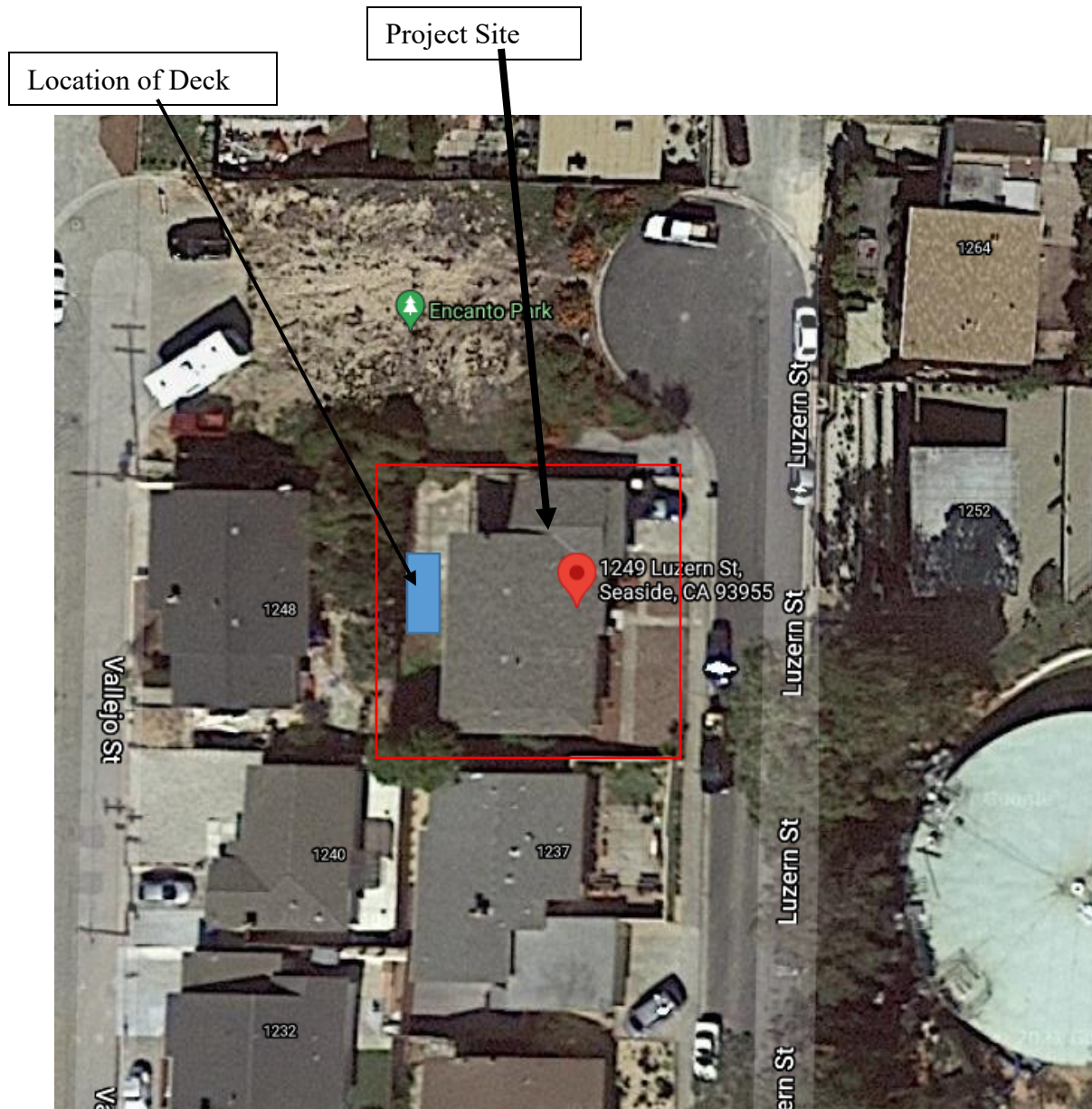
DRAWN BY _____ R.F.
DATE _____ SEPT. 28 2021
SCALE _____ AS NOTED
SHEET SIZE _____ 11X17
SHEET NO. _____

A04

Attachment 2

Location Map

1249 Luzern Street





CITY OF SEASIDE STAFF REPORT

Item No.: 7.B.

TO: Planning Commission

BY: Rick Medina, Senior Planner

DATE: October 13, 2021

SUBJECT: BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-21-07: SATISH AND RESHMA SHARMA, APPLICANT AND PROPERTY OWNER, ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A TWO- STORY ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 485 TRINITY AVENUE IN THE RS-12 (SINGLE FAMILY) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT, CLASS 1, SECTION 15301.E.1 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PURPOSE & RECOMMENDATION

In accordance with Seaside Municipal Code (SMC), the following code sections are applicable:

SMC 17.62.030.B.2 Architectural Review approval is required for the construction of all second-story elements, including decks, for single-family residential projects.

Staff recommends approval of BAR-21-07 for the proposed 962 SF two-story addition in the draft Resolution (Attachment 1), subject to Attachment 1 – Exhibit A, Project Plans.

BACKGROUND

The subject property is developed with a one-story, 845 square foot house consisting of two bedrooms and one bath with an attached one-car garage that was constructed in the 1950's.

SITE LOCATION AND DESCRIPTION

The project site is a 4,206 square-foot parcel and is located on the east side of the Trinity Street between Hamilton Avenue to the north and Allston Street to the south. The adjacent properties are developed with single family dwellings to east, north, and west and two-story apartment complex to the south. See Attachment 2 for a Location Map. See Attachment 3 for Site Photos.

PROJECT DESCRIPTION

The project will consist of adding a 962 square foot second story addition consisting of 94 square feet on the first floor and 858 square feet on the new upper floor. The first floor modifications will consist of reconfiguring the layout to have one bedroom, a new kitchen and dining room, a bathroom and an expanded garage to provide a tandem parking configuration to accommodate two vehicles. The new second floor will consist of a master bedroom and bathroom, a lounge/living room, and a bedroom. The following attached decks will be constructed:

1. A 260 square-foot deck on the rear elevation of the first floor that's covered by the second floor deck above and will be accessed from the remodeled dining/kitchen area; and
2. A 260 square-foot deck covered by the roof overhang on the rear elevation of the second floor that will be accessed from the new master bedroom; and
3. A 60 square-foot deck on the front elevation on the second floor will be accessed from lounge/living room area.

The decks will consist of redwood with vertical picket rails supported by 4x redwood columns.

The total floor area of the remodeled home will consist of 1,713 square feet. The floor area ratio (FAR) will be 40 percent, which is under the maximum 45% FAR for a single family residential zone. The proposed 51% Lot Coverage is under the maximum 65% maximum. The plans indicate that the maximum height will be 22'-4". The maximum height allowed in the RS-12 zoning district is 24 feet. The footprint of the dwelling will be in compliance with the required setbacks listed in Table 1 below:

TABLE 1 – REQUIRED SETBACKS

Setback Location	Proposed	Required
Front	27'	15'

Side	5' on each side	5'
Rear	26'	15'
Height	22'-4"	24' maximum
Lot Coverage	51%	65% maximum

The exterior of the house will be 7/8 inch stucco, vinyl windows, and a composition shingle roof. A four-panel sectional roll up garage door is proposed. See Attachment 4 for roof colors and exterior body color.

Exterior lights will consist of the following fixtures:

1. Recessed can lights will be located at the covered decks.
2. Wall sconces will be located on the perimeter walls and doorways.

STAFF ANALYSIS

Design Criteria

Seaside Zoning Code section 17.62.030.E.1 states that Architectural Review approval shall consider the character, quality, scale of design, architectural relationships with the site, building materials, lighting, and other applicable aspects of the design. The City of Seaside Single Family, Residential Design Guidelines (SFRDG) are to assist the public and decision-makers through the architectural review process. This project includes the following design elements from the SFRDG:

I.A.iii. Entry walkways should extend to the sidewalk, rather than the driveway.

Evidence: The applicant preserves an existing concrete walkway system parallel to the driveway from the entry to the sidewalk.

II.A.i. The physical size and mass of the project should be proportional to the lot size.

Evidence: The proposed Floor Area Ratio (FAR) is 40%. The allowed FAR is 45%. The

proposed lot coverage is 43%. The allowed lot coverage is 65%.

II.A.iii. Architectural elements should be designed to eliminate the appearance of box-like buildings.

Evidence: The second story includes varying setbacks/offsets on the front and sides. The exterior decks on the rear will provide a break in depth of the rear elevation and front elevation. The varying setbacks and modulation of the second story addition will eliminate a box-like appearance and provide visual interest on all four sides

II.B.ii Second Story or roof decks should fit existing architectural style; should be oriented away from neighbor's yards; and should use appropriate screening measures.

Evidence: The proposed decks will be positioned to provide usable space for the residence while also providing the necessary architectural detailing to break up the mass between the first and second floors. The decks are also positioned to minimize privacy intrusions on the adjoining properties to the north and south sides, which are the closest to the project site.

III.A.v. To the extent feasible, the architectural character established for the street facing elevations should continue on all elevations.

Evidence: The use of a hip roof design, stucco exterior, vertical picket railings on the second story deck and vinyl frame windows will continue the street facing elevations on all four elevations.

III.A.vii. The boundary between each floor of the dwelling structure should be delineated through belt courses, cornice lines, balconies, or similar architectural detailing.

Evidence: The front elevation will include a recessed second story deck break up front elevation and provide shadowing to minimize mass. The side elevations will include roof projection of 1'-6" between first and second floor. The first and second floor decks will provide architectural detailing and visual interest to break up wall area.

III.B.x Long unarticulated exterior walls are discouraged on all structures. Massing offsets; varied textures; openings; recesses; and design accents are encouraged to enhance walls.

Evidence: The proposed design will include projecting elevated decks on the front and rear and rear elevations; roof offsets of 1'-6' between the first and second floors the entire length of each side elevation; window openings proposed on all elevations.

CEQA ANALYSIS

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301.e.1, Existing Facilities: Additions to existing structures provided that the addition will not result in an increase of more than 50% or 2,500 square feet, whichever is less.

Evidence: The proposed addition to the existing structure is less than 2,500 square feet and is not located in an environmentally sensitive area.

FINDINGS

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of the Zoning Ordinance and the Municipal Code;

Evidence: The proposed addition complies with all applicable standards of development and provisions of the Zoning Ordinance and the Municipal Code. This Design Review Permit will allow the addition of a 962 square foot two-story addition to the existing one-story single family dwelling.

2. The proposed use is consistent with the General Plan and any applicable specific plan;

Evidence: The project site is designated as Medium Density Single-Family Residential (MLS) in the General Plan Land Use Element. This designation is applied to areas with existing detached single-family dwellings with a maximum density of 12 dwelling units per acre.

The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use Goal and Policy:

Goal LU-4 – Ensure that new development compliments existing land uses and

enhances the character of the community and its neighbors.

Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: The project proposal is compatible with the surrounding residential land uses. The construction of a two-story addition to an existing one-story single-family residence will not detract from the character of the neighborhood due to the design of the addition, use of materials, and available infrastructure. The proposed addition will comply with all standards of development associated with the RS-12 zoning district.

Evidence: The applicant has incorporated design features and architectural rhythms from the City's Residential Design Guidelines to have a contextual relationship with the existing dwelling and neighborhood. The residence has been designed to respect the existing residential patterns and scale in the neighborhood.

3. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraint.

Evidence: The site is an existing residence in the RS-12 zoning district. Access would be provided from Trinity Street. Extension of public utilities is not required for the proposed project. The completion of a two-story addition will not alter the location of existing utilities or access from the public right-of-way.

4. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

Evidence: The City of Seaside's Fire Department, Building Department and Public Works Department have reviewed the conceptual project proposal. The Fire Department, Building Department and Public Works Department had general comments that are included as conditions of approval.

ATTACHMENTS

Attachment 1: Resolution
Exhibit A: Project Plans
Attachment 2: Location Map
Attachment 3: Site Photos

Attachment 4: Colors

RESOLUTION NO. 21-xx

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING DESIGN REVIEW PERMIT BAR-21-07 TO ALLOW FOR A TWO-STORY ADDITION TO A SINGLE FAMILY DWELLING AT 485 TRINITY AVENUE IN THE SINGLE FAMILY RESIDENTIAL (RS-12) ZONING DISTRICT.

WHEREAS, Satish and Reshma Sharma, property owners and applicants, are requesting approval of a Design Review Application to allow for a two-story addition to a single family dwelling at 485 Trinity Avenue in the RS-12 zoning district; and,

WHEREAS, a duly noticed public hearing has been held on October 13, 2021; and,

WHEREAS, the Planning Commission reviewed the staff report, received and considered oral comments at the public hearing concerning the proposed use and acted to grant approval of Design Review Application No. BAR-21-07 in accordance with Section 17.62.030 of the Seaside Municipal Code; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings approving Design Review Application No. BAR- 21-07:

WHEREAS, The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Class 3, Section 15301(E)(1). Class 3 consists of projects that involve negligible or no expansion of an existing use and specific to this project: that will not result in an increase 50% of existing structures or more than 2,500 square feet, whichever is less.

Evidence: *The site is developed with a 1,090 sf one-story single-family residence and the proposed project consists the approval of a new 962 sf two-story addition.*

Design Review Findings:

In accordance with the requirements of SMCS 17.62.070.E and F, the Planning Commission is required to make all of the following findings in order to grant approval of the Design Review application.

E. Architectural considerations. Architectural considerations, including the character, quality, and scale of the design, architectural relationship with the site and other structures, building materials, colors, fencing, trash enclosure and walkway improvements, exterior lighting and signs, and the screening of exterior appurtenances.

1. The Proposed use is allowed within the zone district and complies with all other applicable provisions of the Zoning Ordinance and Municipal Code.

Evidence: *The property is located in the Single Family Residential (RS-12) zoning district, subject to Design Review approval (SMCS 17.30.100.E; Table 3-5).*

Evidence: The proposed addition complies with all applicable standards of development and provisions of the Zoning Ordinance and the Municipal Code. This Design Review Permit will allow the addition of a 962 square foot two-story addition to the existing one-story single family dwelling

2. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of the Zoning Ordinance and the Municipal Code.

Evidence: *In accordance with the SMC 17.12.050, Table 2-3, Residential Zone Development Standards, the proposed project adheres to all setbacks and development regulations.*

3. In compliance with Section 17.62.030.E.1 of the SMC, the addition is consistent in quality, scale, and architectural relationship with the site and other structures.

Evidence: *The project site is designated as Medium Density Single-Family Residential (MLS) in the General Plan Land Use Element. This designation is applied to areas with existing detached single-family dwellings with a maximum density of 12 dwelling units per acre.*

4. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use Goal and Policy:

Goal LU-4 – Ensure that new development compliments existing land uses and enhances the character of the community and its neighbors.

Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: *The project proposal is compatible with the surrounding residential land uses. The construction of a two-story addition to an existing one-story single-family residence will not detract from the character of the neighborhood due to the design of the addition, use of materials, and available infrastructure. The proposed addition will comply with all standards of development associated with the RS-12 zoning district.*

Evidence: The applicant has incorporated design features and architectural rhythms from the City's Residential Design Guidelines to have a contextual relationship with the existing dwelling and neighborhood. The residence has been designed to respect the existing residential patterns and scale in the neighborhood.

5. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraint.

Evidence: The site is an existing residence in the RS-12 zoning district. Access would be provided from Trinity Street. Extension of public utilities is not required for the proposed project. The completion of a two-story addition will not alter the location of existing utilities or access from the public right-of-way.

6. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

Evidence: The City of Seaside's Fire Department, Building Department and Public Works Department have reviewed the conceptual project proposal. The Fire Department, Building Department and Public Works Department had general comments that are included as conditions of approval.

Single-Family Residential Design Guidelines

The project proposes to approve the construction of a 962 sf two-story addition to an existing 1,090 sf one-story SFD. The following Single-Family Residential Design Guidelines support this proposed modification:

I.A.iii. Entry walkways should extend to the sidewalk, rather than the driveway.
Evidence: The applicant preserves an existing concrete walkway system parallel to the driveway from the entry to the sidewalk.

II.A.i. The physical size and mass of the project should be proportional to the lot size.
Evidence: The proposed Floor Area Ratio (FAR) is 40%. The allowed FAR is 45%. The proposed lot coverage is 51%. The allowed lot coverage is 65%.

II.A.iii. Architectural elements should be designed to eliminate the appearance of box-like buildings.

Evidence: The second story includes varying setbacks/offsets on the front and sides. The exterior decks on the rear will provide a break in depth of the rear elevation and front elevation. The varying setbacks and modulation of the second story addition will eliminate a box-like appearance and provide visual interest on all four sides

II.B.ii *Second Story or roof decks should fit existing architectural style; should be oriented away from neighbor's yards; and should use appropriate screening measures. Evidence: The proposed decks will be positioned to provide usable space for the residence while also providing the necessary architectural detailing to break up the mass between the first and second floors. The decks are also positioned to minimize privacy intrusions on the adjoining properties to the north and south sides, which are the closest to the project site.*

III.A.v. To the extent feasible, the architectural character established for the street facing elevations should continue on all elevations.

Evidence: The use of a hip roof design, stucco exterior, vertical picket railings on the second story deck and vinyl frame windows will continue the street facing elevations on all four elevations.

III.A.vii. The boundary between each floor of the dwelling structure should be delineated through belt courses, cornice lines, balconies, or similar architectural detailing.

Evidence: The front elevation will include a recessed second story deck that will differentiate the first and second floors facing the street and provide shadowing to minimize mass. The side elevations will include roof projection of 1'-6" between first and second floors. The decks on the rear elevation will provide architectural detailing and visual interest to avoid expansive blank wall..

III.B.x Long unarticulated exterior walls are discouraged on all structures. Massing offsets; varied textures; openings; recesses; and design accents are encouraged to enhance walls.

Evidence: The proposed design will include projecting elevated decks on the front and rear and rear elevations; roof offsets of 1'-6' between the first and second floors the entire length on each side elevation; window openings proposed on all elevations.

BE IT FURTHER RESOLVED, the Planning Commission hereby grants Board of Architectural Review Application No. 21-07 subject to the following terms and conditions:

Project Specific:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans approved for discretionary permits for this project, Stamped Approved on October 13, 2021 shown on Exhibit A.

Standard:

2. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
3. Any proposed future development or change in use shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
4. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures.
5. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
6. Water conservation fixtures shall be provided in the proposed project.
7. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
8. Design Review approval will become null and void if a building permit is not obtained within one (1) year from the date of approval to begin construction on the project.
9. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the special meeting of the Planning Commission of the City of Seaside, State of California, on the 13th day of October, 2021, by the following vote:

AYES:

NOES:
ABSENT:
ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

DESIGN REVIEW APPLICATION NO. BAR-21-07
PC RESOLUTION No. 21-XX

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Water Allocation Committee.

Applicant's Signature

Date

Property Owner's Signature

Date

Attention: **RICK MEDINA**

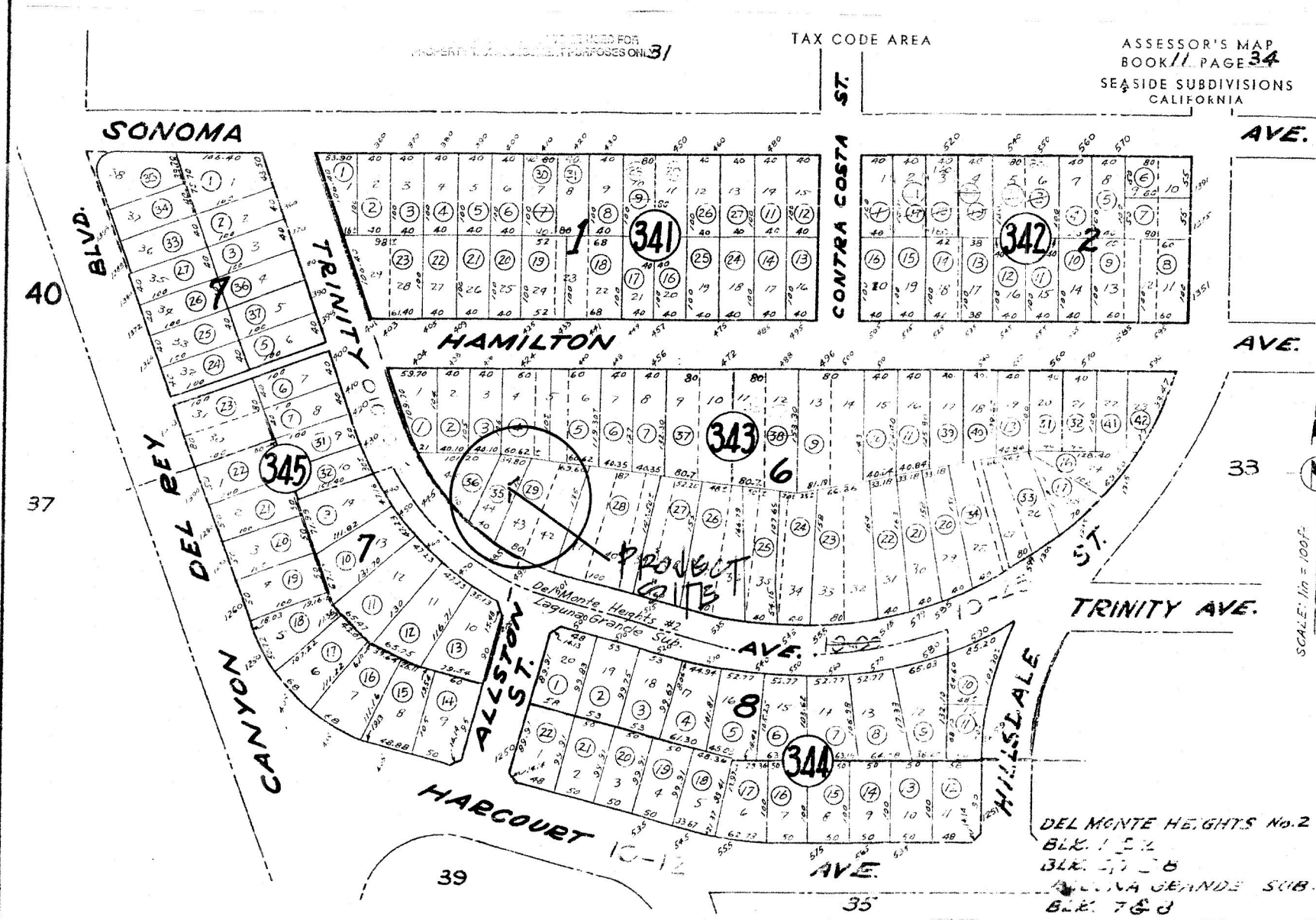
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Subject : Re: 485 Trinity Ave, Revised Plans

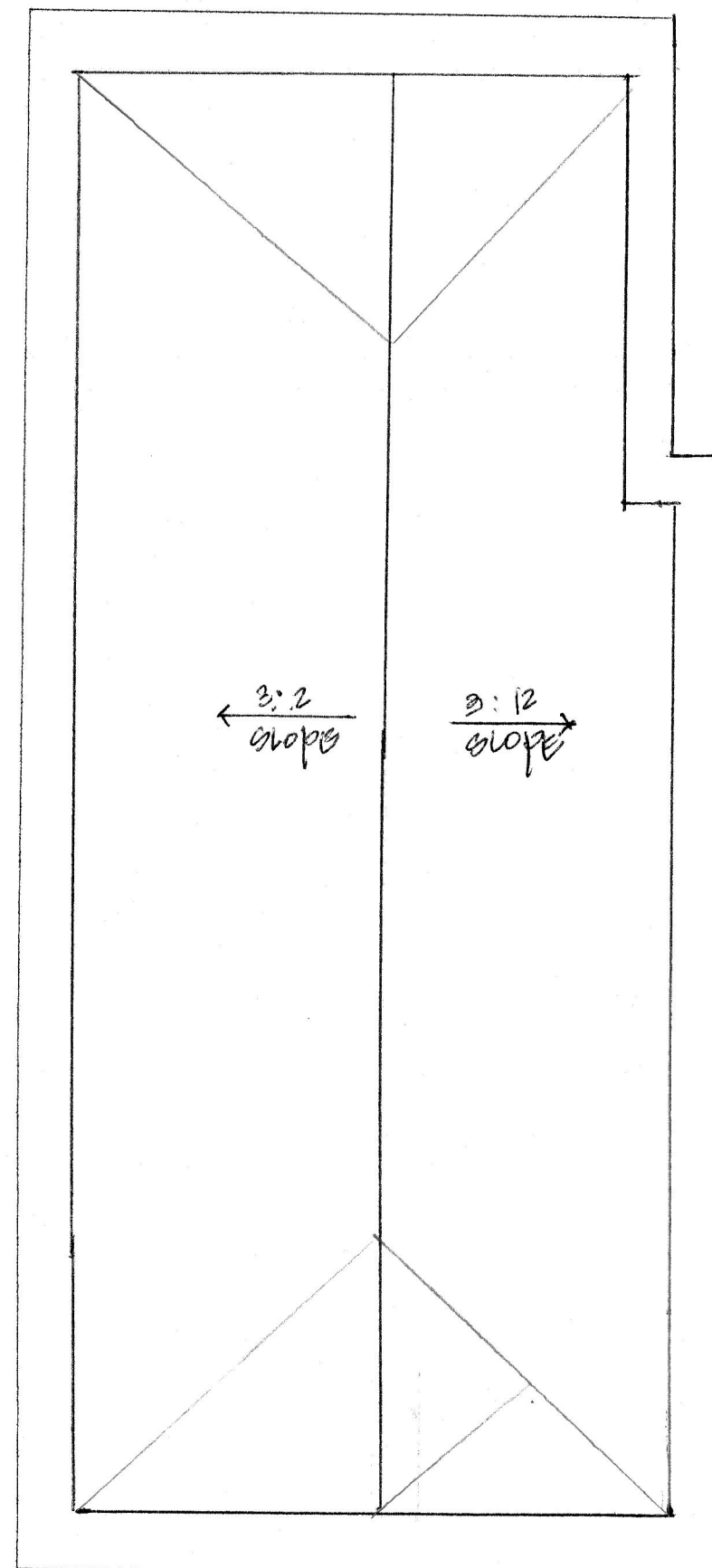
1. Complies with Page 6.C.J 2nd Story Addition (5'-0" from front and 11/2' from sides of ground floor level).
2. Complies 22'-4" height of the building,
3. Noted on plan (Whole house painted blue)
4. Floor Area ratio recalculated . Refer Plan. .42

Thanks

Please contact Nand Kishore at 209-556-7247 (Knand2436 @gmail.com) for questions.)



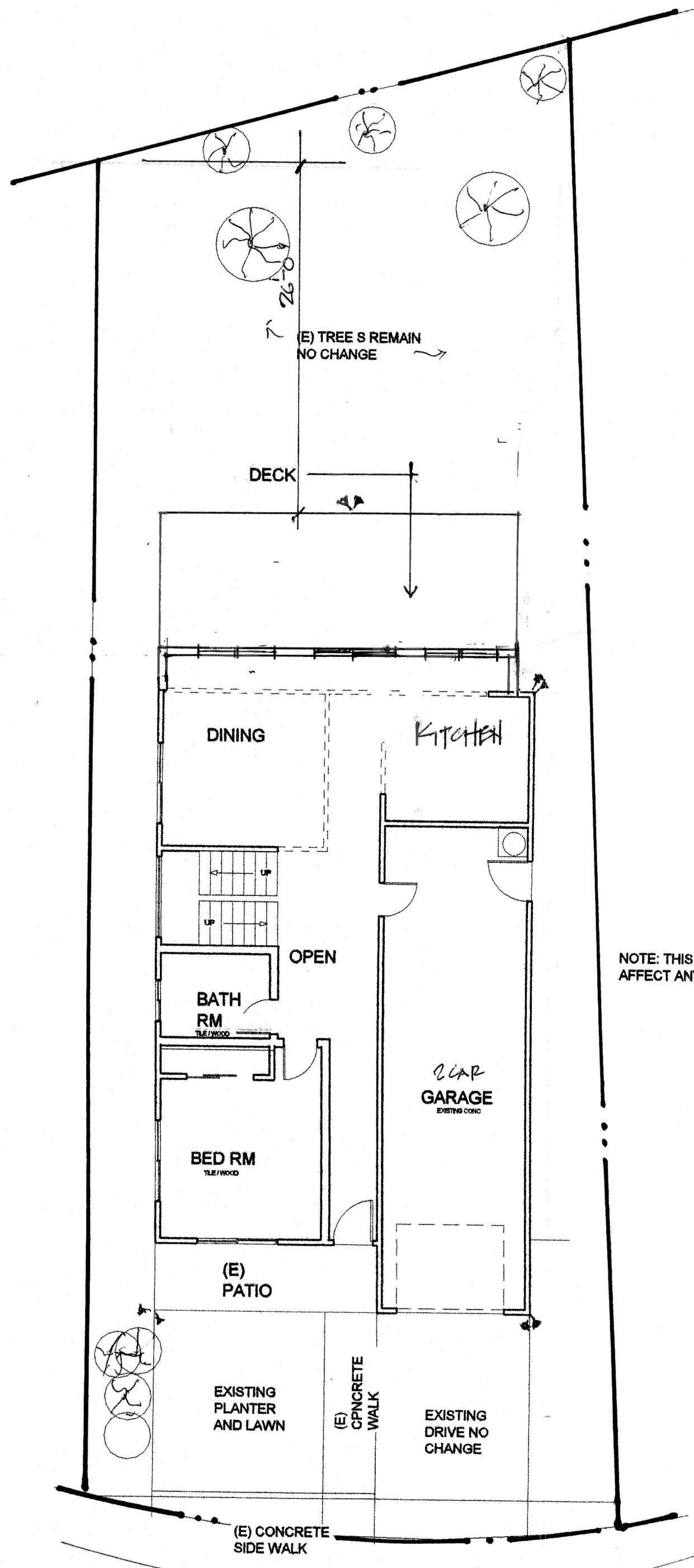
VICINITY MAP



ROOF PLAN

1/8" = 1'-0"

COMP SHINGLE ROOFING
OVER 30# FELT

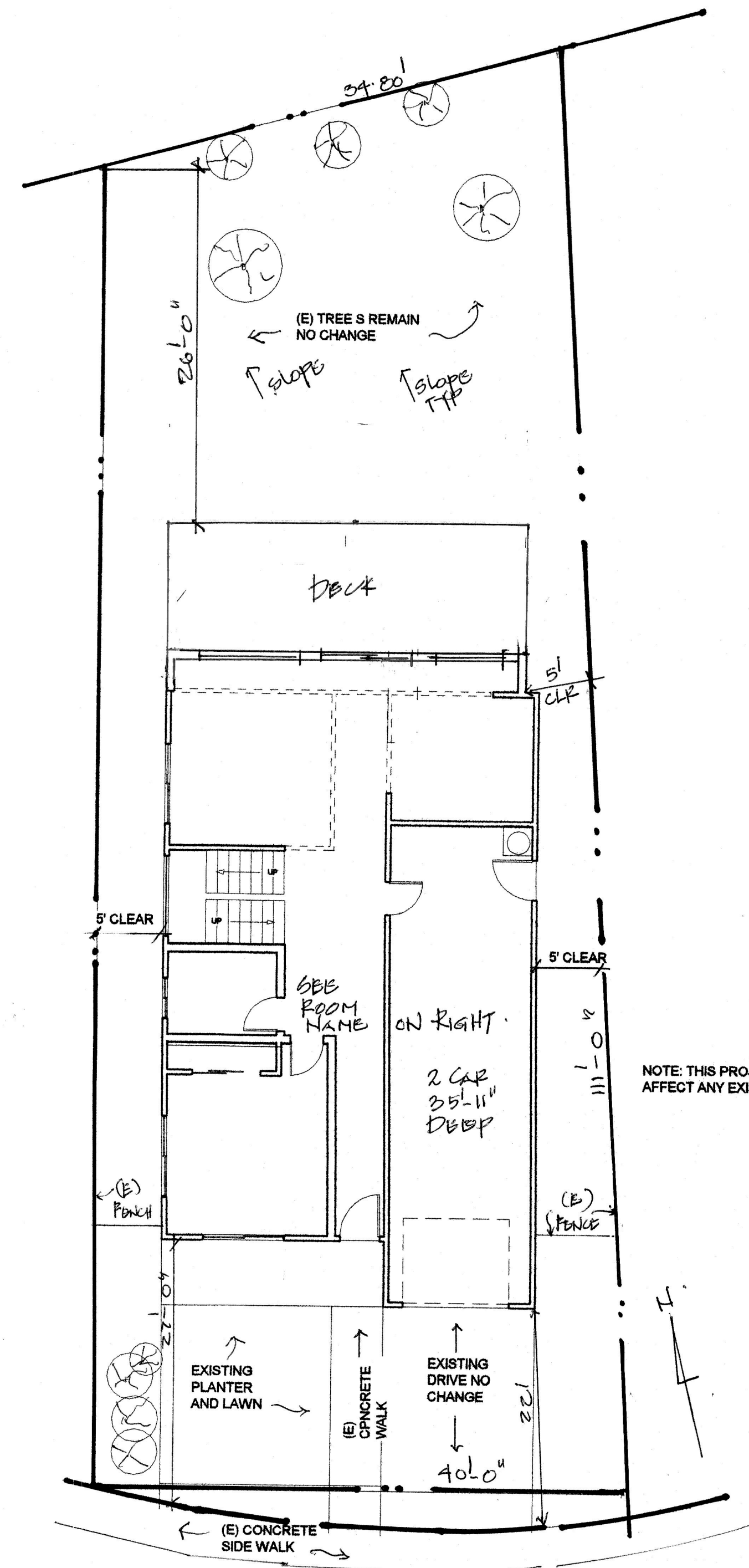


485 TRINITY AVE

LANDSCAPE &
SECURITY LIGHT PLAN

EXTERIOR MOTION LIGHTS
DUSK TO DAWN 0.5 FOOT CANDLES

NOTE: THIS PROJECT DOES NOT
AFFECT ANY EXISTING TREES



485 TRINITY AVE

SITE PLAN

1/8" = 1'-0"

NOTE: THIS PROJECT DOES NOT
AFFECT ANY EXISTING TREES

SHEET INDEX

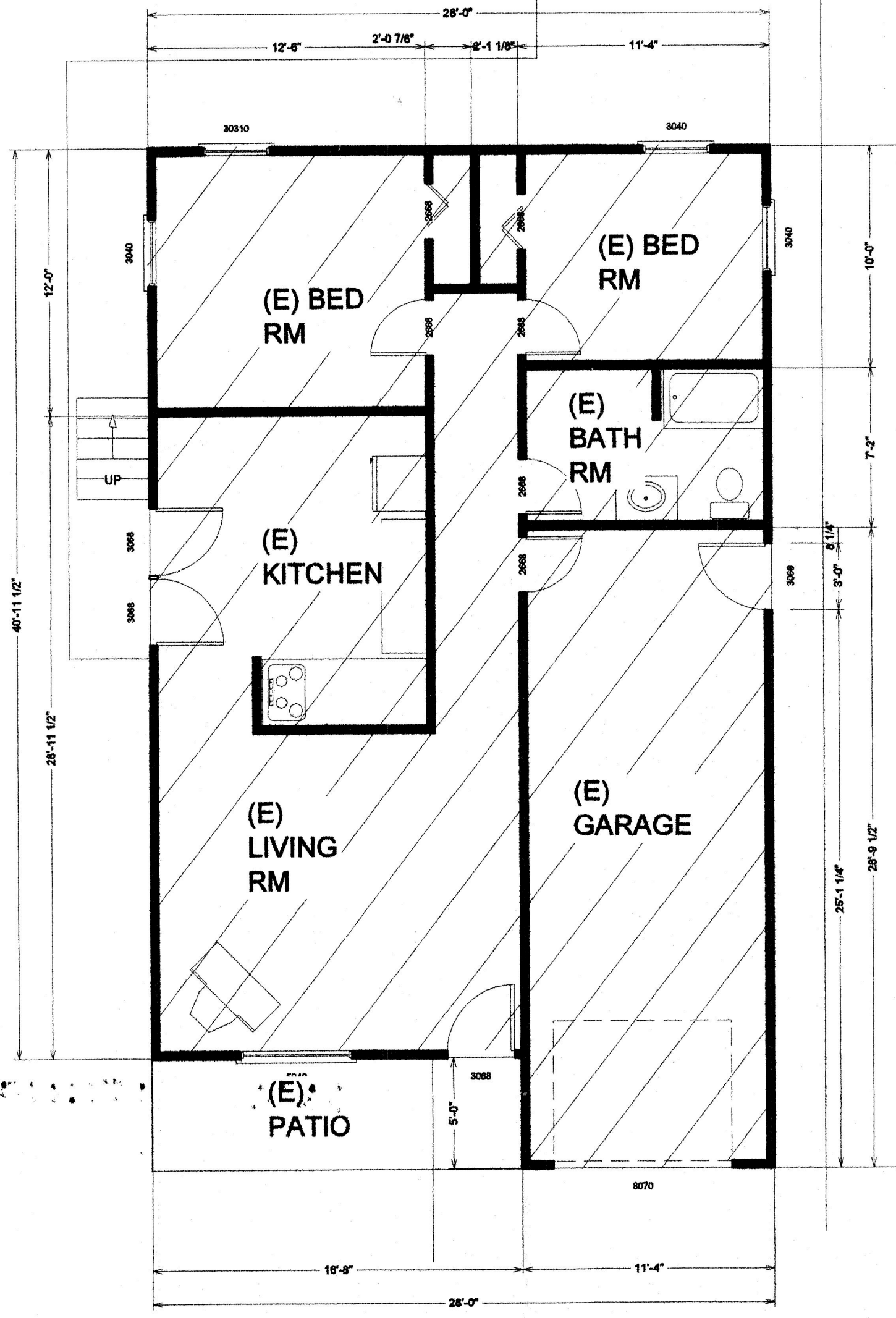
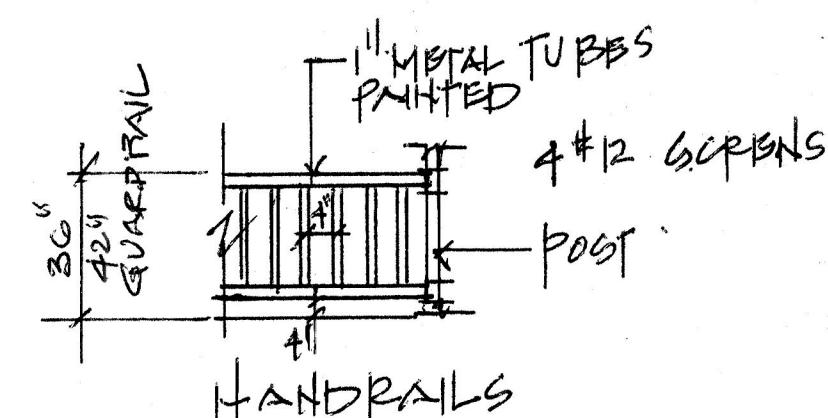
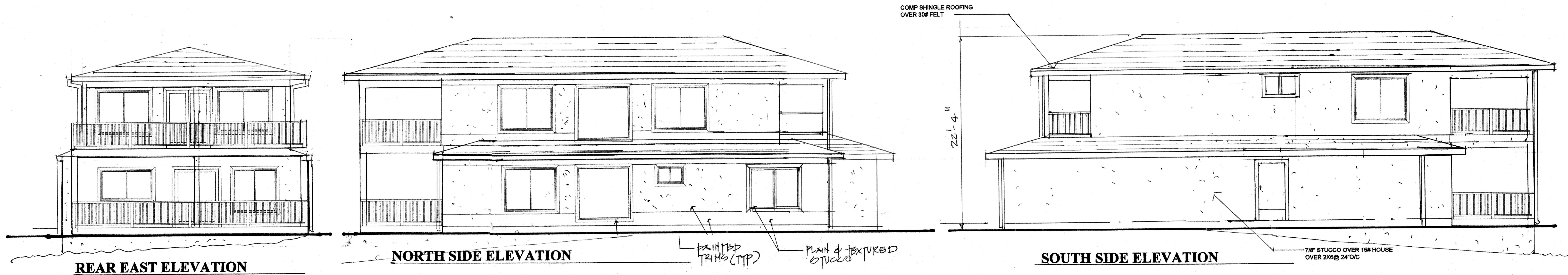
1. SITE, LANDSCAPE & ROOF PLAN.
2. ELEVATIONS, FLOOR AND BUILDING ANALYSIS,

PROPOSED REMODEL AND
ADDITION
TO EXISTING HOUSE FOR
SHARMAS AT
485 TRINITY AVE SEASIDE,
MONTERAY, CA

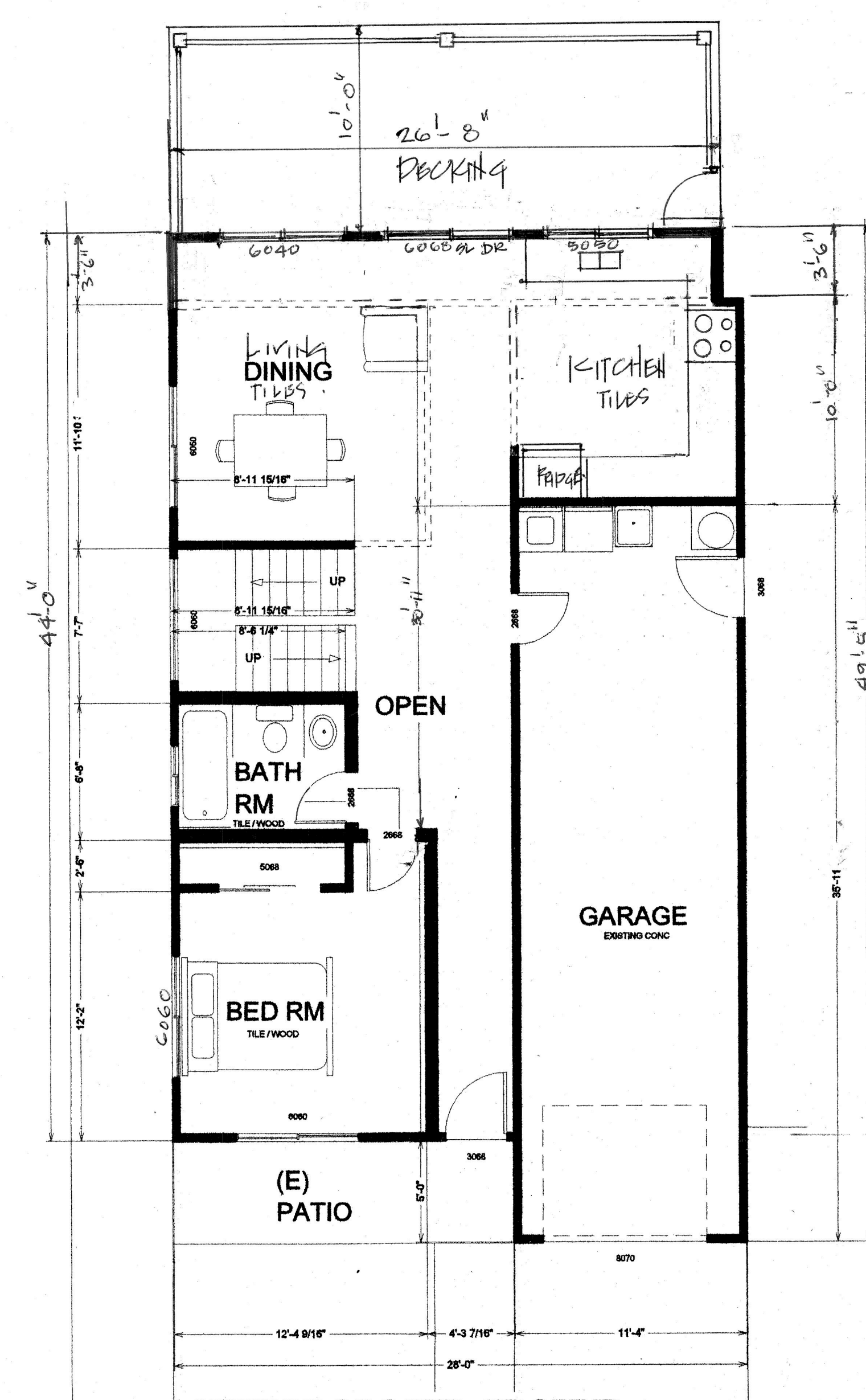
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KISHORE CONSULTANT
2705 PEEK CT
MODESTO, CA 95358
PH 209-958-7247

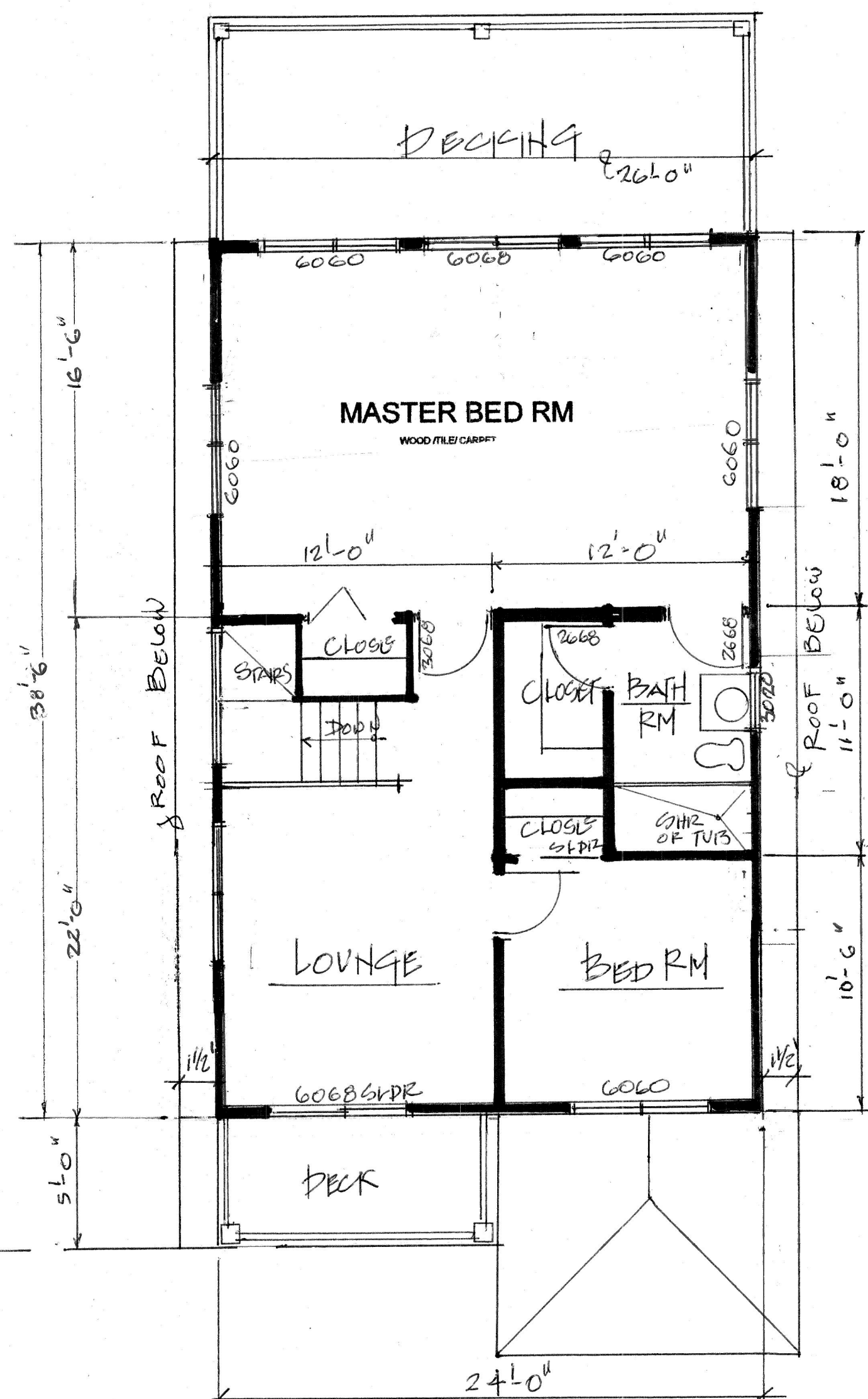
Scale 1



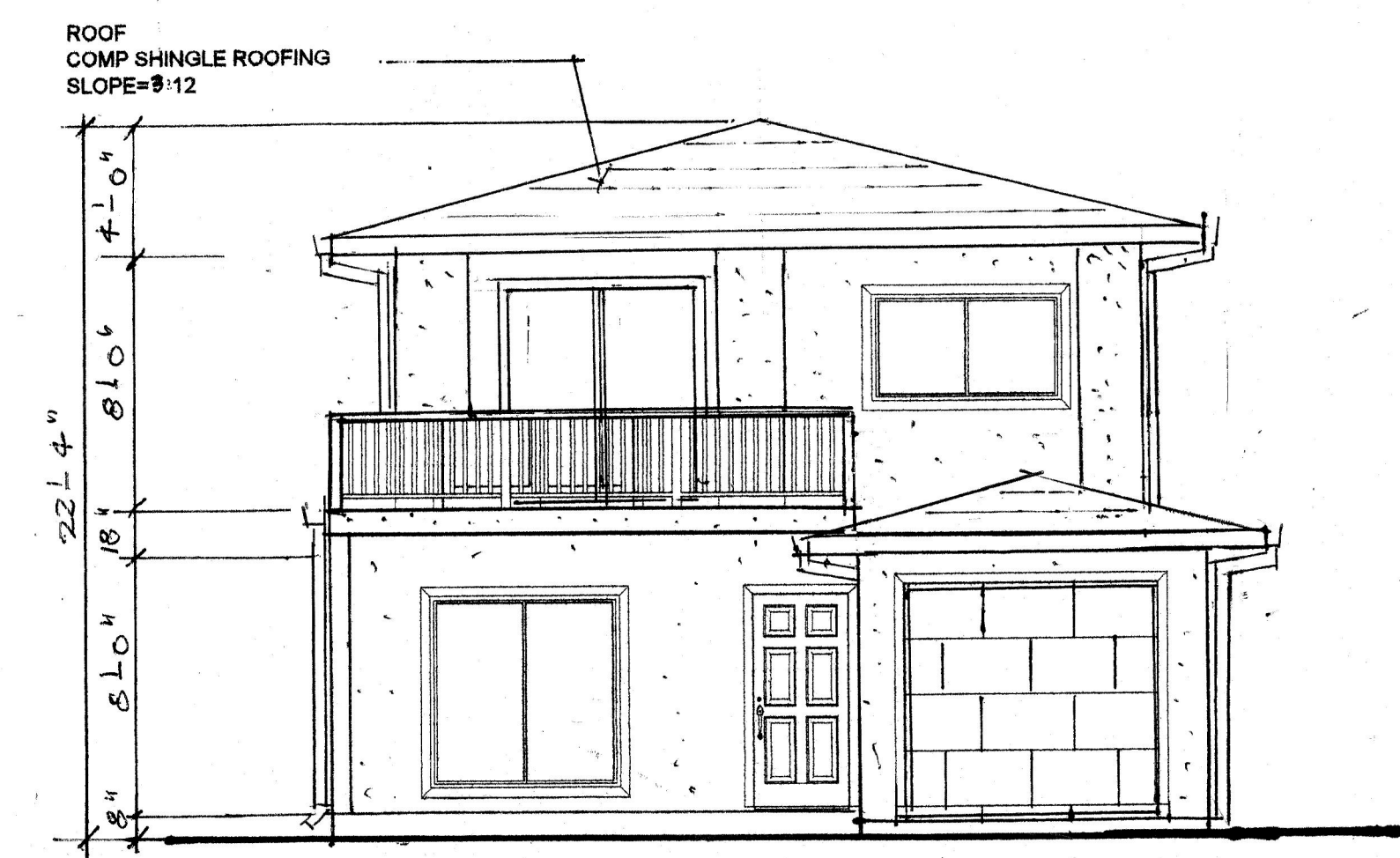
EXISTING HOUSE GROUND FLOOR PLAN



NEW PROPOSED GROUND FLOOR PLAN



NEW PROPOSED UPPER FLOOR PLAN



FRONT WEST ELEVATION

NOTE: WHOLE HOUSE WILL BE PAINTED BLUE

CODES: 2019 CBC, CPC, CPO, CMC, CEC, CQC, CUC & TITV 24

SCOPE OF WORK: PROPOSED REMODEL AND ADDITION TO (E) HOUSE AT GROUND FLOOR AND ADD NEW SECOND FLOOR (UPPER LEVEL)

OCCUPANCY = R3/U
WIND = 110MPH
SEISMIC = D
EXPOSURE = C
SPRINKLER = YES
SECURITY SYSTEM WITH NIGHT LIGHTS = YES

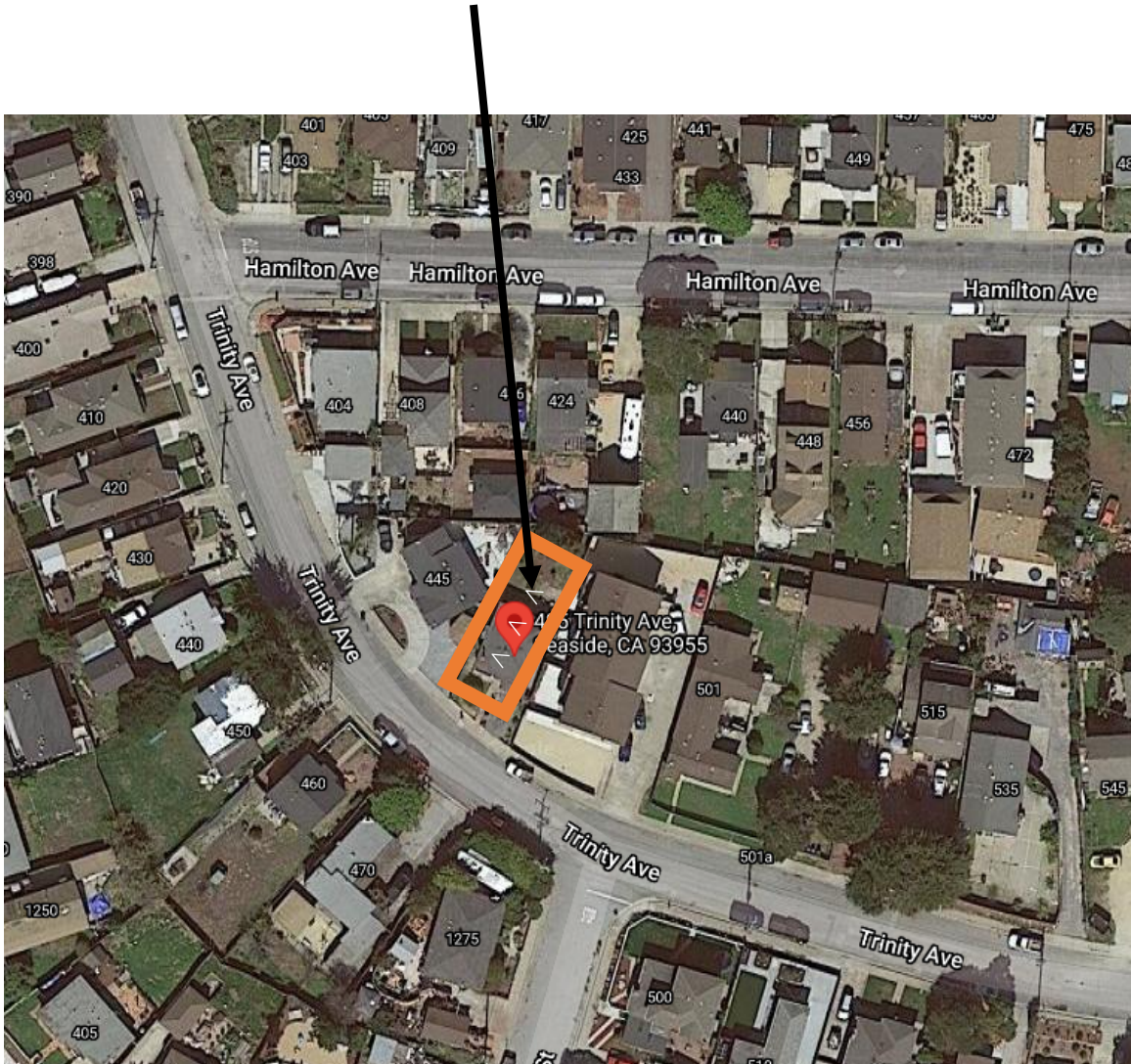
NOTE: ALL WORK SHALL CONFORM TO 2019 CBC, CPC, CMC, CPC, CEC, CQC AND TITLE 24 INCLUDING FIRE CODE.
PROJECT ANALYSIS OF EXTERIOR WALL
(E) FLOOR AREA = 751 SF
(E) GROUND LEVEL = 845 SF - (E) GARAGE = 285 SF
(N) ADDITION TO GROUND LEVEL = 345 SF - (N) GARAGE = 123 SF
(N) UPPER LEVEL = 868 SF - (N) GARAGE = 396 SF
TOTAL FLOOR AREA NEW = 1713 SF
TOTAL (E) AND (N) = 1713 SF
(E) PATIO = 83 SF
(N) DECK = 568 SF
LOT COVERAGE = $\frac{1713 \text{ SF}}{4000 \text{ SF}} = .42$
DRIVE WAY & LANDSCAPE
* FLOOR AREA RATIO = .42 IS FOR THIS PROJECT 4000 SF LOT.

PROPOSED REMODEL AND ADDITION TO EXISTING HOUSE FOR SHARMAS AT 485 TRINITY AVE, SEASIDE, MONTERAY CALIFORNIA

ATTACHMENT 2

LOCATION MAP

485 Trinity Avenue



ATTACHMENT 3

Site Photos



View of front elevation from Trinity Avenue



View of southern side yard from Trinity Avenue



View of northern side yard from Trinity Avenue

Attachment 4

Roof Color and Exterior Stucco color

