



AGENDA
CITY OF SEASIDE
ZONING ADMINISTRATION

REGULAR MEETING
VIRTUAL ONLY
Monday, October 25, 2021
6:00 PM

This meeting is compliant with Governor Newsom's Executive Order N-29-20 which allows local legislative bodies to hold public meetings electronically only, without a physical location for public participation, accessible only telephonically or otherwise electronically (video conferencing) to all members of the public seeking to observe and address the local legislative body, in order to avoid public gatherings, and until further notice.

- Before the Meeting via Email: Written comments can be emailed to CityClerk@ci.seaside.ca.us Include the following subject line: "Public Comment Item # (insert the agenda item number relevant to your comment). All submitted comments will be provided to the Zoning Administrator for consideration and compiled as part of the record.
- During the meeting via Public Comments: When the Chair calls for public comment, attendees can queue to speak with the "Raise Hand" feature. On the Zoom application, click the "Raise Hand" button. On the phone, press *9. The Clerk will call speaker names and unmute speaker microphones (on the phone, press *6). You will have up to 3 minutes to provide your comments, with time set by the discretion of the Chair.

VIRTUAL MEETING ACCESS

This meeting can be watched via the City of Seaside You Tube channel:

<https://bit.ly/SeasideYouTube>

Or by joining the Zoom webinar link: <https://ci-seaside-ca-us.zoom.us/j/83395404132>

Or call in phone number: 669-900-9128

Webinar ID: 833 9540 4132

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

4. BUSINESS ITEMS

- A. MINOR USE PERMIT APPLICATION NO. MUP-21-04: CHARLENE AND JANICE VUCINA, PROPERTY OWNERS, SEASIDE CRAFTERS, LLC, APPLICANT, ARE REQUESTING APPROVAL OF A MINOR USE PERMIT TO OPERATE A TYPE 6 CANNABIS MANUFACTURING FACILITY WITHIN AN EXISTING ONE-STORY BUILDING LOCATED AT 1230 PLAYA AVENUE IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1,**

SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

- B.** MINOR USE PERMIT APPLICATION NO. MUP-21-05: JACK C. CAMP, APPLICANT, AND MICHELLE BARTH, PROPERTY OWNER, ARE REQUESTING APPROVAL OF A MINOR USE PERMIT TO ADD 39 SQUARE FEET TO AN EXISTING SINGLE-FAMILY RESIDENCE, WHICH WILL ENCROACH INTO THE REQUIRED REAR SETBACK NO FURTHER THAN THE EXISTING NONCONFORMING PORTION OF THE STRUCTURE IN COMPLIANCE WITH SEASIDE MUNICIPAL CODE SECTION 17.72.030.B.1.B(2). THE PROPERTY IS LOCATED AT 1698 LUXTON STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

5. ADJOURNMENT

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 4.A.

TO: Zoning Administration

BY: Rick Medina, Senior Planner

DATE: October 25, 2021

SUBJECT: MINOR USE PERMIT APPLICATION NO. MUP-21-04: CHARLENE AND JANICE VUCINA, PROPERTY OWNERS, SEASIDE CRAFTERS, LLC, APPLICANT, ARE REQUESTING APPROVAL OF A MINOR USE PERMIT TO OPERATE A TYPE 6 CANNABIS MANUFACTURING FACILITY WITHIN AN EXISTING ONE-STORY BUILDING LOCATED AT 1230 PLAYA AVENUE IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

PURPOSE & RECOMMENDATION

Cannabis Manufacturing

BACKGROUND

PURPOSE & RECOMMENDATION

In accordance with Chapter 19 of the Seaside Municipal Code, a license to allow for the manufacturing and transportation/distribution/assembly of cannabis as a commercial cannabis business.

It is recommended that the Zoning Administrator approve the proposed cannabis manufacturing business as Exhibit A to Attachment 1.

BACKGROUND

The project site is located at 1230 Playa Avenue and is developed with an existing one-story 1,421 sf view photos.

The adjoining land uses consist of a California American Well site and multi-family residential dwelling family residential dwellings and an assisted senior living facility to the south, and commercial retail bu

On May 21, 2018, the Zoning Administrator conducted a public hearing to consider a previous cannabis implemented within 12 months of the approval, the permit expired. Web link to the May 29, 2018 Zon <https://seasidecityca.documents-on-demand.com/?l=2564abae44f3e811a2c8000c29a59557&r=78FB9>

PROJECT DESCRIPTION

The proposed project is for the non-volatile manufacturing and distribution of cannabis products. All p contaminants, pesticides, and molds. No product will be manufactured or distributed until lab safety s the grower or will be stored and disposed of in a locked dump container inside the facility.

The proposed number of employees is approximately 5 upon start-up. Operating hours will be from 10 of cannabis products.

The products to be manufactured and distributed are from the cannabis plant. The cannabis product t

Proposed Type 6 Manufacturing Activities

Seaside Crafters will be operating the manufacturing portion of the facility as follows to create consum

- **Packaging** - Seaside Crafters will be purchasing bulk concentrated cannabis product, through but is not limited to:
 - Bulk ground flower to drop into pre-roll cones and packaged and labeled for sale
 - Bulk concentrates such as crumble/diamonds/shatter/tincture and packaging and labelin
- **Infusion** - Seaside Crafters sees how, with the fluctuating consumer market, infused products following types of activities:
 - **Infused oils** - This would include using a commercial “crockpot” to slowly infuse cannab consumers to bake their own edibles at home.
 - **Topicals** - This would be similar to the infused oils but the oils would be more appropri
- **Grinding** - Seaside Crafters will be utilizing their distribution services to bring legally cultivated the flower and, using a device called a “Knockbox,” drop the ground flower into premade cones systems or chemicals of any sort. This activity is not expected to exceed the current existing po
- **Non-Volatile/Mechanical Extraction** - Seaside Crafters is seeing a change in consumer der chemicals. Therefore, Seaside Crafters has decided to first focus on non-volatile/mechanical ex
 - **Bubble Hash** - This method includes the usage of water and ice to mechanically extrac process.
 - **Rosin Press** - This method includes using a device that heats two plates, to the desired between the heated plates. This method is used on an independent, stand-alone, Rosin from the plant material, it is collected, weighed, and placed into packaging and labeled a

STAFF ANALYSIS

In accordance with Title 19 of the Seaside Municipal Code, a minor use permit for testing, manufactur not be granted by the city unless all of the following findings are made based on substantial evidence.

1. The activity, as proposed, will comply with all of the requirements of the state and city, and any development of cannabis or cannabis products, including approval of a cannabis development/operating agreement.

Evidence: The project site is located within the Community Commercial (CC) Zoning District. Location is a minimum of 600 feet from a K-12 school or youth center. The nearest K-12 school is Seaside High School, which is owned by the Monterey Peninsula Unified School District is currently in use as an adult education center. The proposed use is based on its current operations and not what it could be changed to in the future. The site is used for the storage and processing of cannabis. The proposed fencing on the western side yard and gate openings of cannabis are screened from public view.

1. The use, as approved and conditioned, will not result in significant unavoidable impacts on the environment.

Evidence: The project will include conditions to require the approval of a security plan by the Chief of Police. The plan includes adequate measures that minimize use of water at the site.

Evidence: The project will include conditions requiring that all water fixtures are retrofitted to comply with the most current water conservation standards.

1. Any cultivation includes adequate quality control measures to ensure cannabis cultivated at the site is of high quality.

Evidence: No cultivation occurring with the cannabis license.

1. The use shall include adequate measures that address the federal enforcement priorities for cannabis and cannabis products are not supplied to unlicensed and unpermitted persons within the state.

Evidence: The cannabis development/operating agreement by and between the city and owner will specify that the Police Department and Community Development Department will maintain oversight over this operation.

1. The applicant, owner, and permittees agree to submit to, and pay for, inspections of the operation as required by this chapter from any enforcement officer of the city of Seaside or their designee.

Evidence: The cannabis development/operating agreement by and between the city and owner will specify that the operation will comply with local and state laws.

1. Any person testing, manufacturing or performing research and development operations using cannabis shall enter into a cannabis development/operating agreement prior to commencing operations and must maintain such agreement.

Evidence: The cannabis development/operating agreement by and between the city and owner will specify that the operation will comply with local and state laws.

with local and state laws.

1. The owner shall be responsible for ensuring that all commercial cannabis activities at the site of the property shall be in compliance with applicable laws. The owner shall take appropriate action to evict or otherwise remove permittees and persons conducting commercial cannabis activities at the site of the property if their conduct is in violation of the standing with the city, county or state may be grounds to commence an action to suspend or revoke the cannabis development/operating agreement.

Evidence: The cannabis development/operating agreement by and between the city and owner will comply with local and state laws.

SUMMARY

To ensure neighborhood compatibility with the residential community to the east and south and commercial district, the applicant shall take appropriate measures to eliminate potential impacts associated with odors. Deliveries will occur during normal business hours and shall be made to the rear of the property along the side driveway. Cannabis materials will be contained in opaque containers and shall be stored in a secure area. Cannabis concentrates will not involve any type of significant audible noise generation. A security plan for the property shall be reviewed and approved by the Chief of Police.

ATTACHMENTS

1. Resolution Attachment 1
 2. Attachment 1 - Exhibit A
 3. Attachment 1 Exhibit B Fire Comments
 4. Attachment 2 Location Map
 5. Attachment 3 Site Photos
-

RESOLUTION NO. 21-XX

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A MINOR USE PERMIT TO ALLOW A CANNABIS MANUFACTURING FACILITY WITH TRANSPORTATION/DISTRIBUTION/ASEMBLY LOCATED AT 1230 PLAYA AVENUE IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.

WHEREAS, Charlene and Janice Vucina, property owners, and Seaside Crafters, applicant, have applied for a Minor Use Permit for:

- A. The establishment of a Cannabis Manufacturing facility with Transportation/Distribution/Assembly.

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Zoning Administrator to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Zoning Administrator considered oral comments and written information concerning the proposed amendment at a duly noticed public hearing at a special public meeting held on October 25, 2021; and

WHEREAS, the project is a Categorically Exempt, Class 1, Section 15301 meeting the following conditions:

- a) The proposed development will consist of converting an existing commercial office building into a cannabis manufacture facility which will not require any exterior alteration to the site or change in intensity of the site that would result in a significant environmental impact on the community and neighboring properties.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator adopts the following findings for Minor Use Permit Application No. MUP-21-04:

1. **The activity, as proposed, will comply with all of the requirements of the state and city, and any additional conditions of license for the testing, manufacturing, or research and development of cannabis or cannabis products, including approval of a cannabis development/operating agreement by and between the city and owner.**

Evidence: *The project site is located at 1230 Playa Avenue within the Community Commercial (CC) Zoning District. Locational restrictions at the local and state levels require that any cannabis licensee being located a minimum of 600 feet from a K-12 school. The nearest K-12 school is Seaside High School located approximately 1,000 feet to the north at 2200 Noche Buena Street.*

2. The use, as approved and conditioned, will not result in significant unavoidable impacts on the environment.

Evidence: *The project will include conditions to require the approval of a security plan by the Chief of Police, and the installation of air filtration systems to mitigate potential odors from the manufacturing and processing of cannabis. Additionally, the building department has requested supplemental information regarding the equipment and potential noise, vibration, fumes, odors at the proposed business to assess the potential impacts on the adjoining businesses.*

3. The use includes adequate measures that minimize use of water at the site.

Evidence: *The project will include a condition requiring that all water fixtures are retrofitted to comply with the water efficiency standards of the Monterey Peninsula Water Management District.*

4. Any cultivation includes adequate quality control measures to ensure cannabis cultivated at the site meets industry standards.

Evidence: *No cultivation will occur with the cannabis license.*

5. The use shall include adequate measures that address the federal enforcement priorities for cannabis activities including restricting access to minors, and ensuring that cannabis and cannabis products are not supplied to unlicensed and unpermitted persons within the state and not distributed out of state.

Evidence: *The cannabis development/operating agreement by and between the city and owner will specify parameters that the manufacturing process must adhere to. The agreement shall be approved to form by the City of Seaside. The Seaside Police Department and Zoning Administrator will maintain oversight over this operating agreement.*

6. The applicant, owner, and permittees agree to submit to, and pay for, inspections of the operations and relevant records or documents necessary to determine compliance with this chapter from any enforcement officer of the city of Seaside or their designee.

Evidence: *The cannabis development/operating agreement by and between the city and owner will specify parameters that the manufacturing process must adhere at all times in accordance with the Certificate of Occupancy issued by the Seaside Building Official and in accordance with local Governmental and state laws having oversight over a cannabis manufacturing business.*

7. Any person testing, manufacturing or performing research and development operations using cannabis shall obtain a valid and fully executed commercial cannabis development/operating agreement prior to commencing operations and must maintain such agreement in good standing in order to continue operations.

***Evidence:** The cannabis development/operating agreement by and between the city and owner will specify parameters that the manufacturing process must adhere at all times in accordance with the Certificate of Occupancy issued by the Seaside Building Official and in accordance with local Governmental and state laws having oversight over a cannabis manufacturing business.*

8. The owner shall be responsible for ensuring that all commercial cannabis activities at the site operate in good standing with all permits and licenses required by state law. Failure to take appropriate action to evict or otherwise remove permittees and persons conducting commercial cannabis activities at the site who do not maintain permits or licenses in good standing with the city, county or state may be grounds to commence an action to suspend or revoke the minor use permit pursuant to Chapter 17.80 SMC, or to revoke the required cannabis development/operating agreement.

***Evidence:** The cannabis development/operating agreement by and between the city and owner will specify parameters that the manufacturing process must adhere at all times in accordance with the Certificate of Occupancy issued by the Seaside Building Official and in accordance with local Governmental and state laws having oversight over a cannabis manufacturing business.*

Additionally, SMC 17.62.070.F requires the review authority make the following findings before issuing a minor use permit:

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

***Evidence:** This project is located within the CC Zoning District where a cannabis manufacturing facility may be established with minor use permit approval.*

***Evidence:** The applicant will be required to provide sufficient security measures to both deter and prevent unauthorized entrance into the facility and eliminate any unauthorized loitering inside and outside of the facility.*

2. The proposed use is consistent with the General Plan and any applicable specific plan.

***Evidence:** The site is designated as Community Commercial by the 2004 Seaside General Plan. The following Goals and Policies would apply:*

Land Use Element Policy LU-1.1: The proposed use would serve to implement and diversify the land uses within the Community Commercial land use category and improve the City's job-housing balance.

Land Use Element Policy LU-1.2: The proposed use would serve to provide additional jobs to improve the City's job-housing balance.

Land Use Element Policy LU-1.3: The cannabis manufacturing facility would serve to establish a regional commodity within the City of Seaside that will provide a substantial investment within the community.

Land Use Element Goal LU-2: Revitalize existing commercial areas.

Land Use Element Policy LU-2.1: The proposed project will serve to revitalize an existing vacant commercial space in the community.

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *The proposed cannabis manufacturing facility will meet the economic and jobs/housing needs of the community consistent with the Seaside General Plan and improve the overall business character with the infusion of monetary investment in the infrastructure of the site.*

4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project. The proposed conversion of a vacant commercial office building to a cannabis manufacturing facility with interior changes conforms to Land Use Elements of the Seaside General Plan.*

5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district where the manufacturing facility will provide for a community facility that is safe and attractive for a cannabis land use.

Evidence: *The proposed conversion of a commercial office building to a cannabis manufacturing facility would not be detrimental to the public health, safety and general welfare of the people of the City and surrounding neighborhood based on building code standards mandating filtration systems to control external odor associated with the delivery, manufacturing and storage of cannabis. Furthermore, to ensure neighborhood compatibility with the residential dwellings to the north and east and commercial retail businesses to the west and south, an air filtration system*

will be installed to eliminate potential impacts associated with odors. Air scrubbers and filtration systems will be constructed and installed within the existing ventilation system to eliminate cannabis odor from escaping and to ensure that odors are undetectable outside of the facility.

In accordance with Seaside Municipal Code sections 19.04.010.E and 17.62.070.F, the staff analysis includes evidence for the required findings for the issuance of a Minor Use Permit.

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: *This project is located within the CC Zoning District in which a Cannabis Manufacture facility may be established with minor use permit approval.*

Evidence: *The applicant will provide sufficient security measures to both deter and prevent unauthorized entrance into the facility and eliminate any unauthorized loitering inside and outside of the facility.*

2. The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: *The site is designated as Community Commercial by the 2004 Seaside General Plan. The following Goals and Policies would apply:*

Land Use Element Policy LU-1.1: The proposed use would serve to implement and diversify the land uses within the Community Commercial land use category and improve the City's job housing balance.

Land Use Element Policy LU-1.2: The proposed use will serve to provide additional jobs to improve the City's job housing balance.

Land Use Element Policy LU-1.3: The cannabis manufacture facility will serve to establish a Regional commodity within the City of Seaside that will provide a substantial investment within the community that will serve to improve the character of the northern Fremont Boulevard commercial area by rehabilitating a vacant underutilized parcel

Land Use Element Goal LU-2: Revitalize existing commercial areas

Element Policy –LU-2.1: The proposed project will serve to revitalize an existing vacant commercial area of the community.

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the

vicinity.

Evidence: *The proposed Cannabis Manufacture facility will meet the economic and jobs/housing needs of the community consistent with the Seaside General Plan and improve the overall business character with the infusion of monetary investment in the infrastructure of the site and eliminating blight with the occupancy of an existing commercial parcel.*

4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project. The proposed conversion of an office commercial building to a Cannabis Manufacture facility with interior changes and exterior façade changes conforms to Land Use Element of the Seaside General Plan.*

5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: *The proposed Cannabis Manufacture facility will provide for a community facility that is safe and attractive for a Cannabis land use.*

Evidence: *The proposed conversion of a commercial office building to a Cannabis Manufacture facility would not be detrimental to the public health, safety and general welfare of the people of the City and surrounding neighborhood, because the proposed use is located on an in-fill site and would help maintain a compact city form consistent with the scale and character of the surrounding commercial neighborhood*

BE IT FURTHER RESOLVED, that the Zoning Administrator approves Minor Use Permit Application No. MUP-21-04 subject to the following conditions:

Project Specific

Planning:

1. Except as modified by required conditions of approval, the permittee shall have the right to operate a Cannabis Manufacture Facility with transportation/distribution/assembly in accordance with the project material stamped "Received by the City of Seaside September 9, 2021". Project floor plan is provided as Exhibit "A".
2. Prior to the issuance of a Building Permit for interior or exterior improvements or the filing of a Certificate of Occupancy if no Building Permit is required, the applicant shall enter into a *cannabis development/operating agreement by and between the city and owner on a form approved by the City of Seaside. The agreement will specify the standards and conditions that must be met at all times by the City of Seaside, applicable regional agencies and State agencies.*
3. An annual audit or inspection maybe conducted by City staff to ensure compliance with local and state regulations regarding Cannabis manufacturing regulations.
4. Prior to the issuance of a Certificate of Occupancy, the applicant must submit a security plan to the Chief of Police for review and approval. The security will detail security cameras, storage of cannabis product, delivery/distribution.

Standard:

1. Use Permit approval is subject to revocation procedures contained in S.M.C.S. 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.
2. This Use Permit is subject to procedures and requirements of Chapter 17.54 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Municipal.

3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
5. The applicant shall comply with the security measures of the Seaside Police Chief outlined in Chapter 19 of the Seaside Municipal Code prior to receiving to a Certificate of Occupancy.
6. The applicant shall comply with measures of the Fire Marshall provided as Exhibit B.
7. The exterior façade will be improved per plans submitted to and approved by the Zoning Administrator.
8. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
9. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
10. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
11. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit

established by the review authority, unless use has commenced within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.54.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.

12. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at a special meeting of the Zoning Administrator of the City of Seaside, State of California, on the 25th of October, 2020.

Tevin Barber, Zoning
Administrator

ATTEST:

Planning Division Secretary

Minor Use Permit Application No. MUP-21-04
Zoning Administrator Resolution 21-XX

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Water Allocation Committee.

Applicant's Signature

Date

Property Owner's Signature

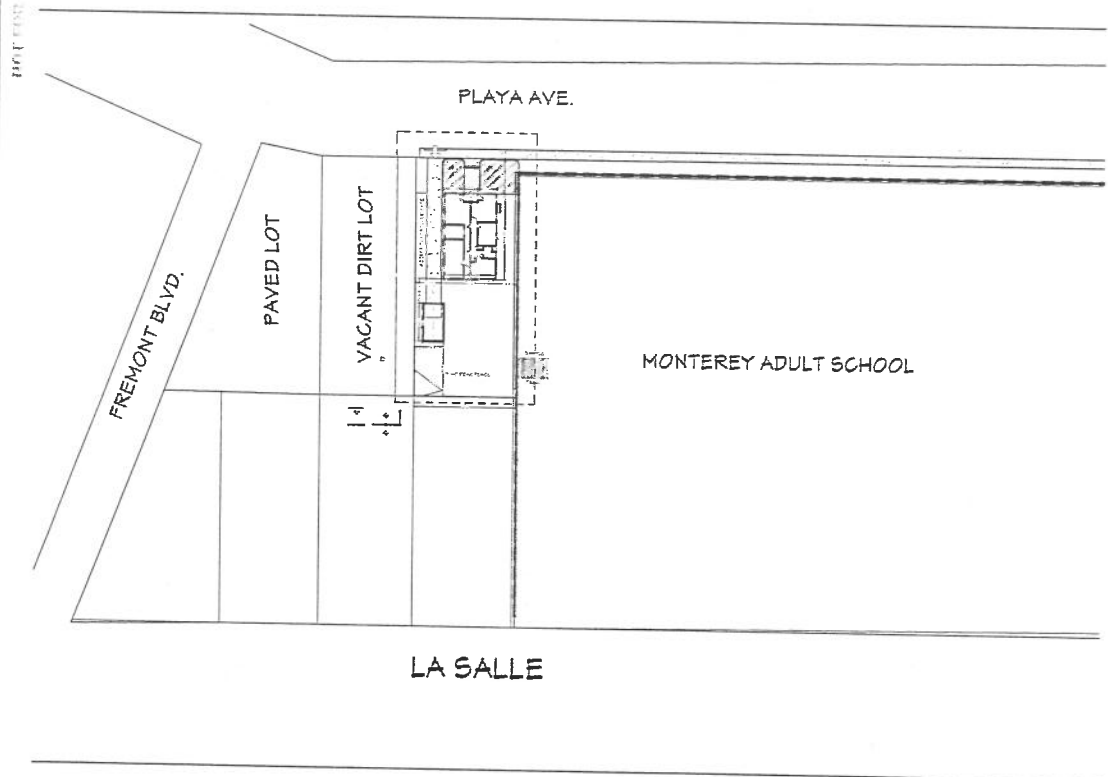
Date

Seaside Crafters, LLC. Cannabis Manufacturing & Distribution

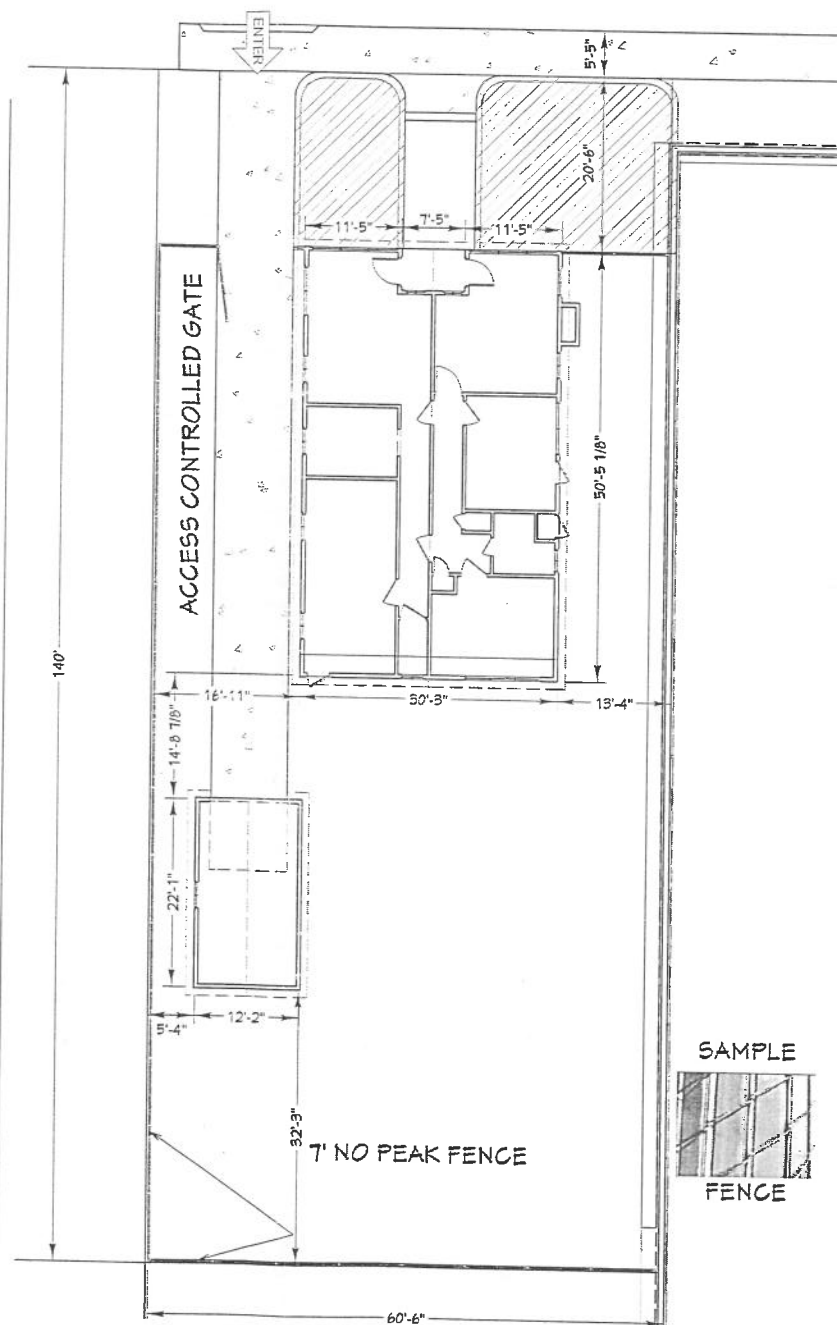
NOT FOR CONSTRUCTION

APN: 011-095-003
1230 Playa Ave., Seaside, CA. 93955

NOT FOR CONSTRUCTION



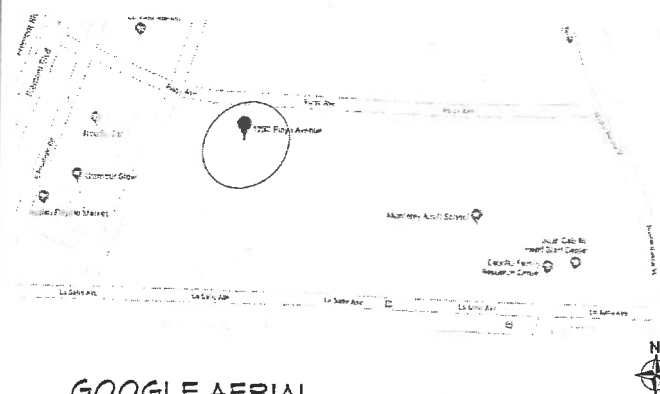
SITE PLAN
1 in = 50 ft



ENLARGED SITE PLAN
1 in = 10 ft

NOT FOR CONSTRUCTION

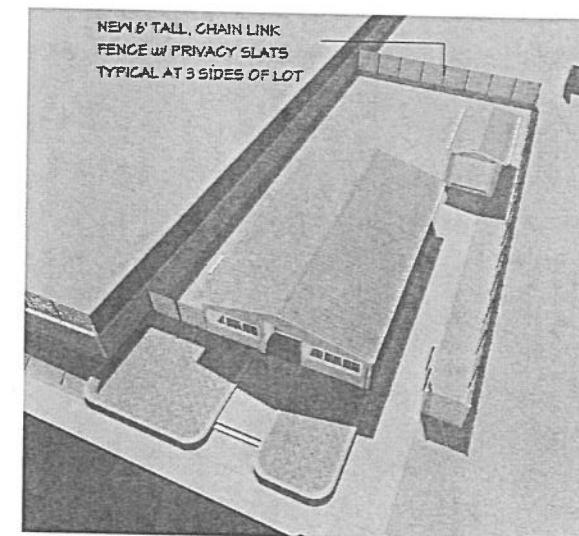
VICINITY MAP



GOOGLE AERIAL



3D AERIAL



Label	Title	Description	Comments
G-1	Project Overview		
A-1	Floor Plan		
A-2	Security Plan		

NUMBER	DATE	DESIGNED BY	DESCRIPTION
1	12-26-19	ALEX	REVIEW 1
2	09-15-20		FLR PLAN UPDATE
3	05-30-21		FLR PLAN UPDATE
4	08-22-21		FLR PLAN + FENCE UPDATE

PROJECT:
Seaside Crafters, LLC.
Cannabis Manufacturing & Distribution

Project Overview
PAGE FOUR OF SEVEN PROJECT SHEETS

DRAWINGS BY:
834 Triple Crown CL
Orland, CA 95301
Direct: 209-840-3150
Email: dco@triplecrownbuilders.com

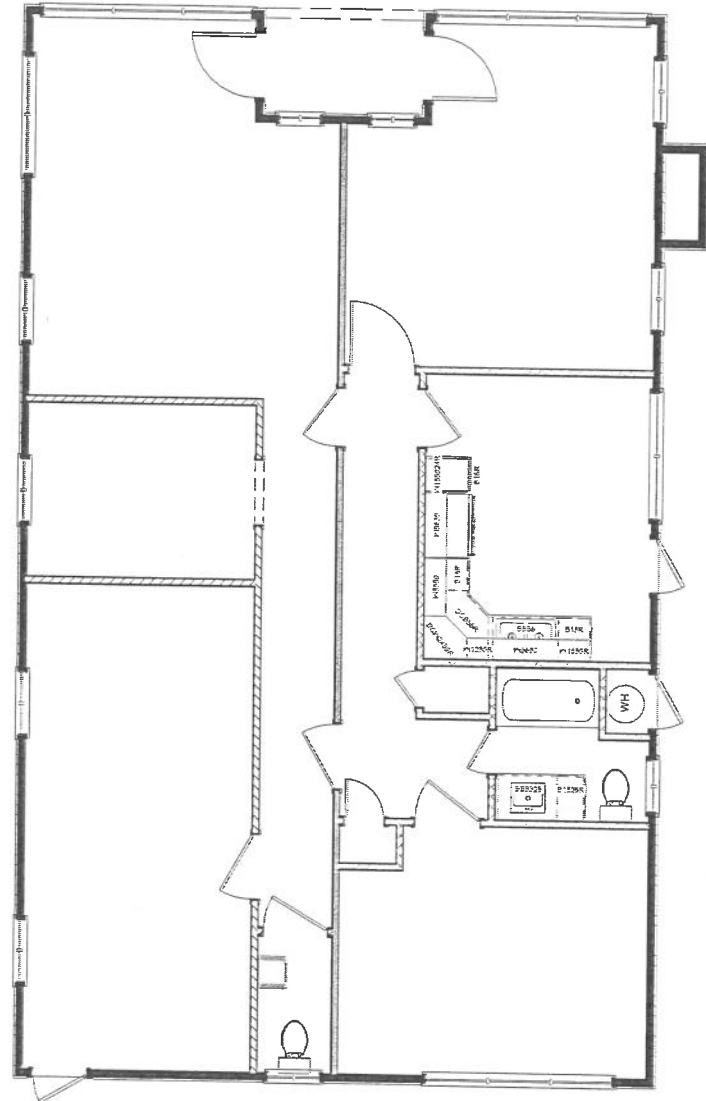


DATE:
8/23/2021

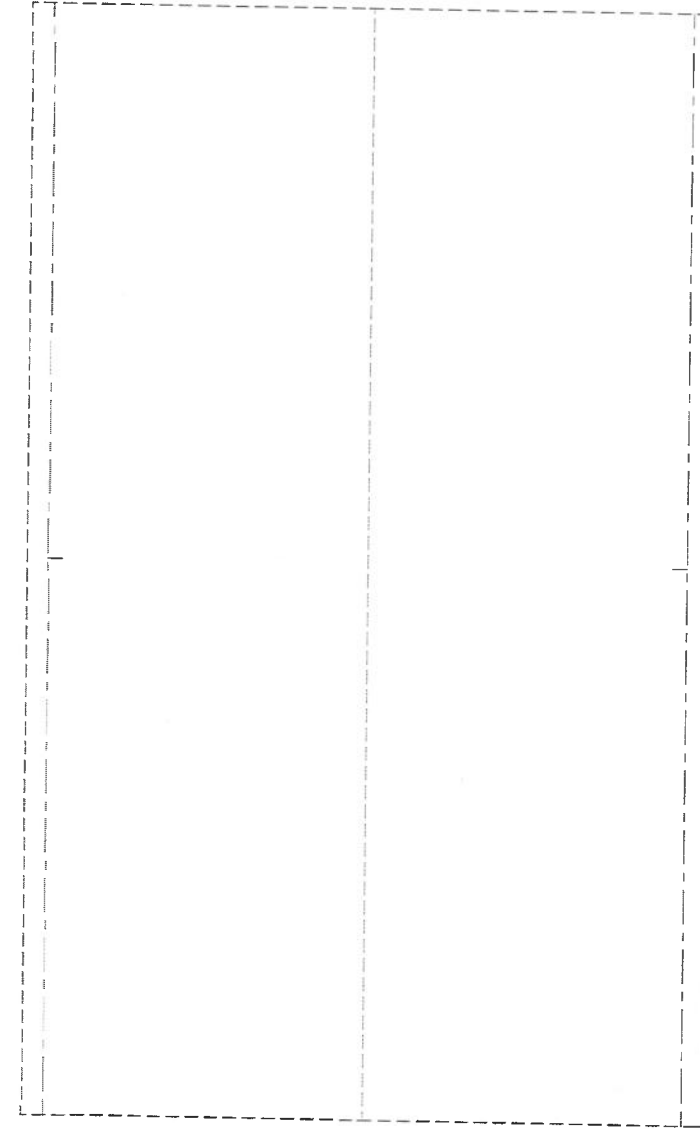
SCALE:
SEE PLAN

SHEET:
G-1

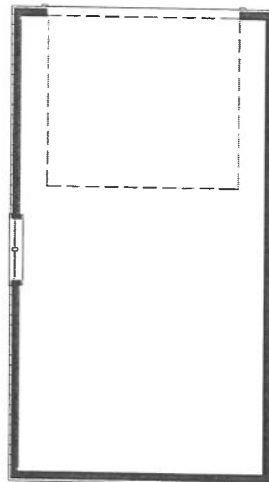
NOT FOR CONSTRUCTION



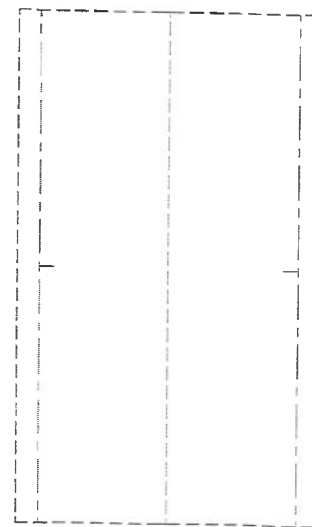
SECURITY PLAN



SECURITY ROOF PLAN



SECURITY GARAGE PLAN



SECURITY ROOF PLAN

NOT FOR CONSTRUCTION

10013 1200 PLAWAVE SEASIDE_03

NUMBER	DATE	REVISOR	DESCRIPTION
1	12-28-19	ALEX	REVIEW 1
2	03-15-20		FLR PLAN UPDATE
3	05-30-21		FLR PLAN UPDATE
4	08-22-21		FLR PLAN + FENCE UPDATE

PROJECT:
 Seaside Crafters, LLC.
 Cannabis Manufacturing &
 Distribution

Security Plan
 NOT FOR CONSTRUCTION

534 Triple Crown Ct.,
 Oakland, CA, 94612
 Direct: 209-840-3150
 Email: dan@m8builders.com



DATE:	8/23/2021
SCALE:	
SEE PLAN	
SHEET:	A-2

- KEY NOTES:**
- 1-18: INTERIOR CAMERAS
 - 21, 22: EXTERIOR ENTRANCE PAN-TILT-ZOOM CAMERAS
 - 23, 24: INTERIOR EXIT PAN-TILT-ZOOM CAMERAS
 - R1-R6: ROOF CAMERAS
 - B1-B6: LASER BEAM
 - S1-S6: SURROUNDING AREA CAMERAS

GENERAL NOTE:
 CAMERA'S TO RECORD VIDEO & VOICE IN PRODUCT SAMPLING ROOM



SecurityBud Inc

Daniel Hernandez

Sep 03, 2021

Seaside Crafters, LLC.

1230 Playa Ave Seaside, CA, 93955

Included Surveys

Legend

Seaside Crafters, LLC.- Access Control

Seaside Crafters, LLC.- Access Control (Duplicate)





Seaside Crafters, LLC.- Intrusion

Seaside Crafters, LLC.- Surveillance

Legend










Legend

Surveillance


-  - Fixed HD Camera
-  - Facial 4K Recognition
-  - 360° HD Camera
-  - ALPR Camera



Intrusion

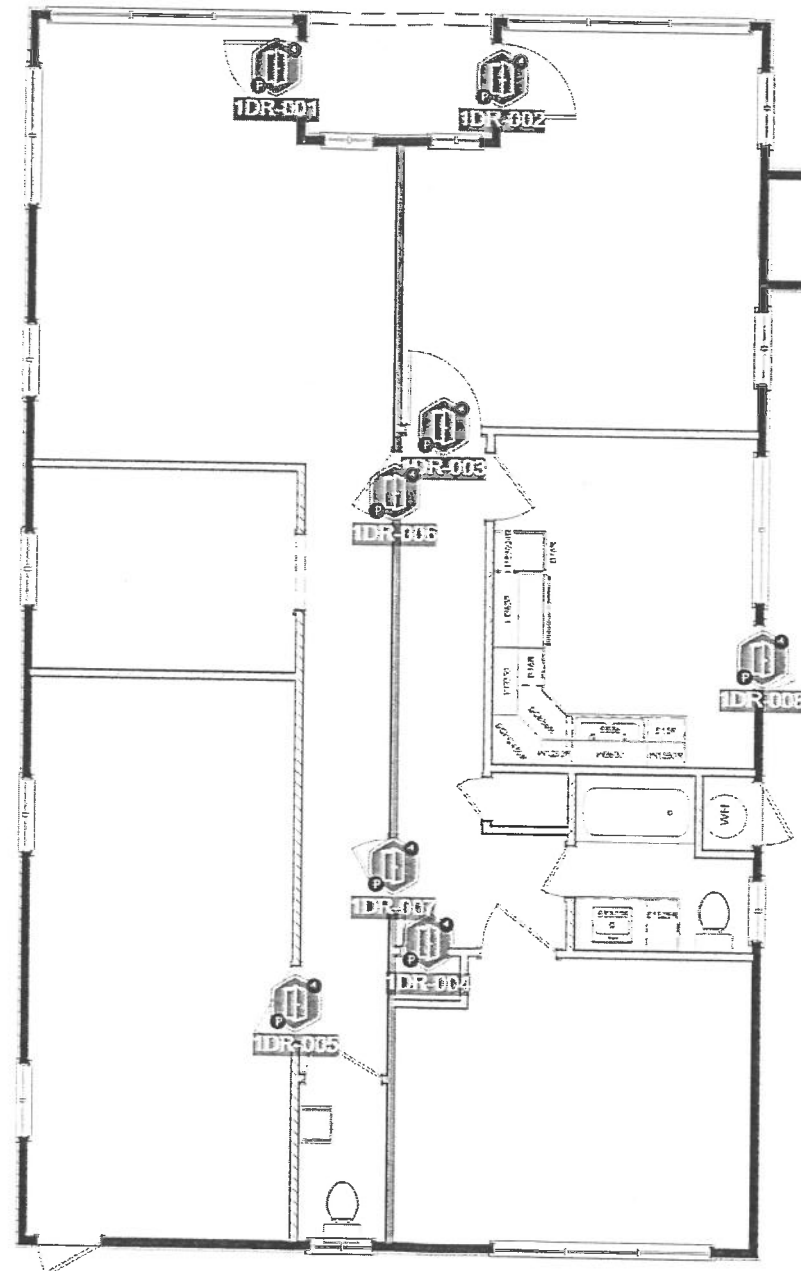
-  - Door Contact
-  - Motion Detector
-  - Glass Break Sensor
-  - Strobe/Siren Combo
-  - Keypad
-  - Panic Button
-  - Safe Vibration Sensor
-  - Indoor Speaker
-  - Outdoor Speaker

Access Control

-  - Access Control Door/Card Reader

Survey Layout

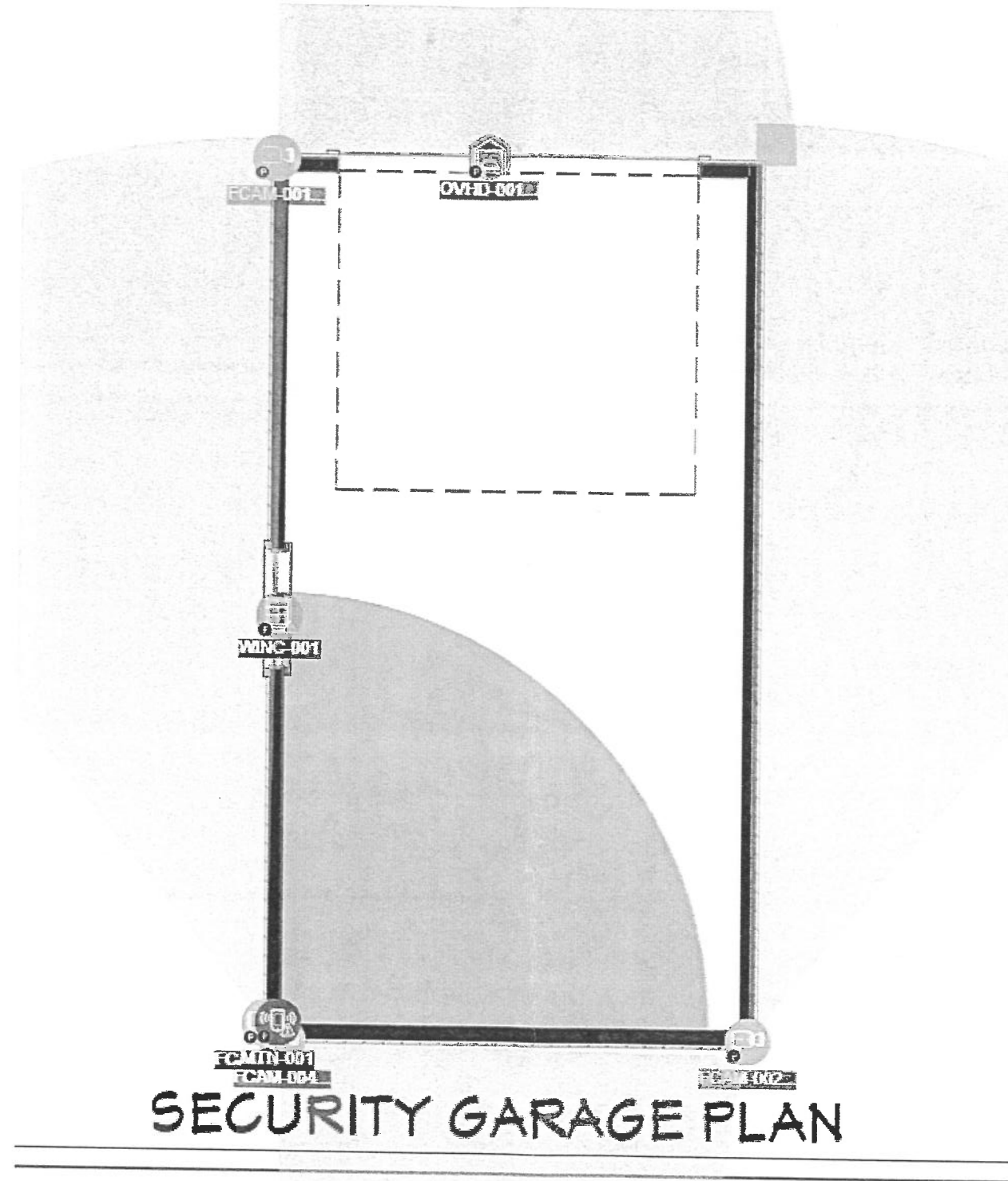
Seaside Crafters, LLC.- Access Control



SECURITY PLAN

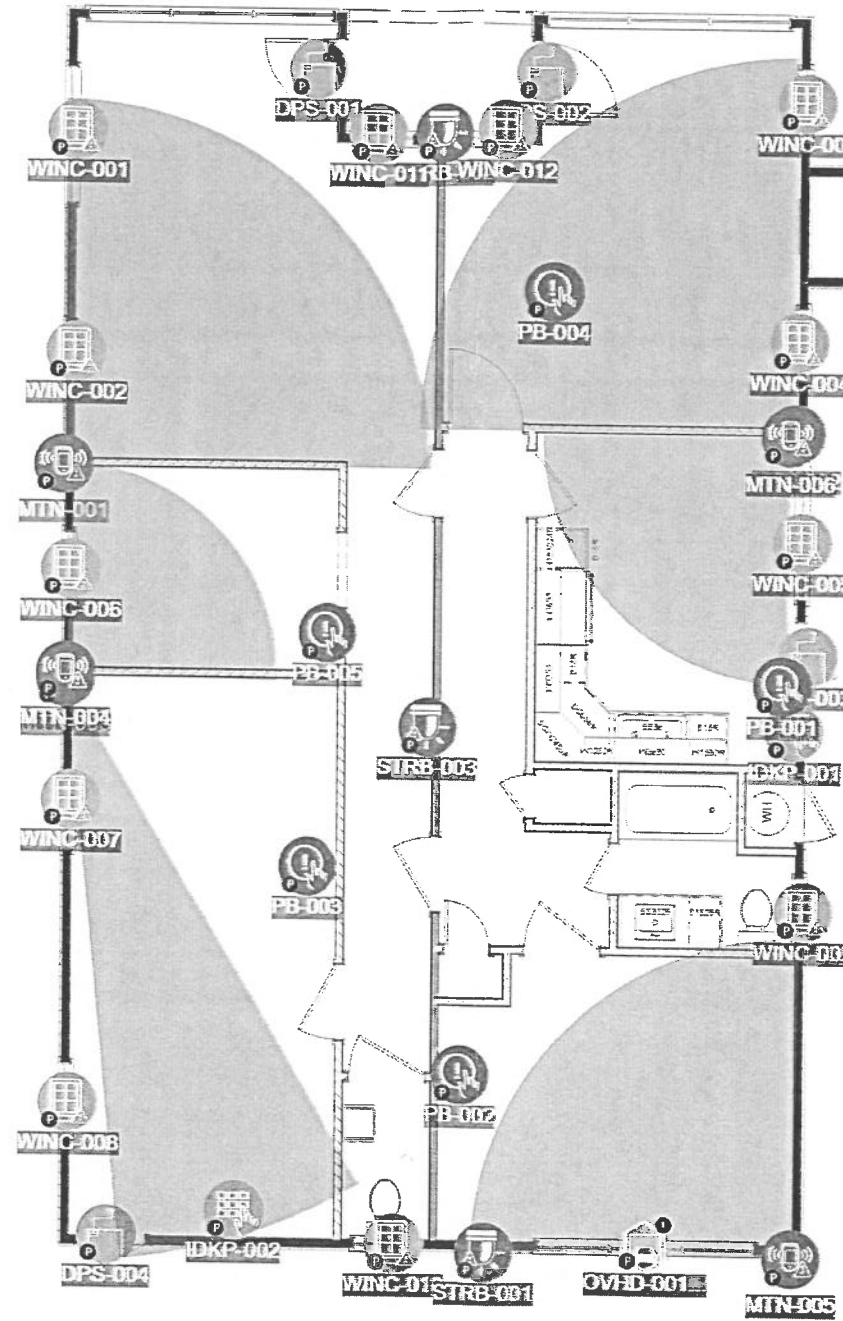
Survey Layout

Seaside Crafters, LLC.- Access Control (Duplicate)



Survey Layout

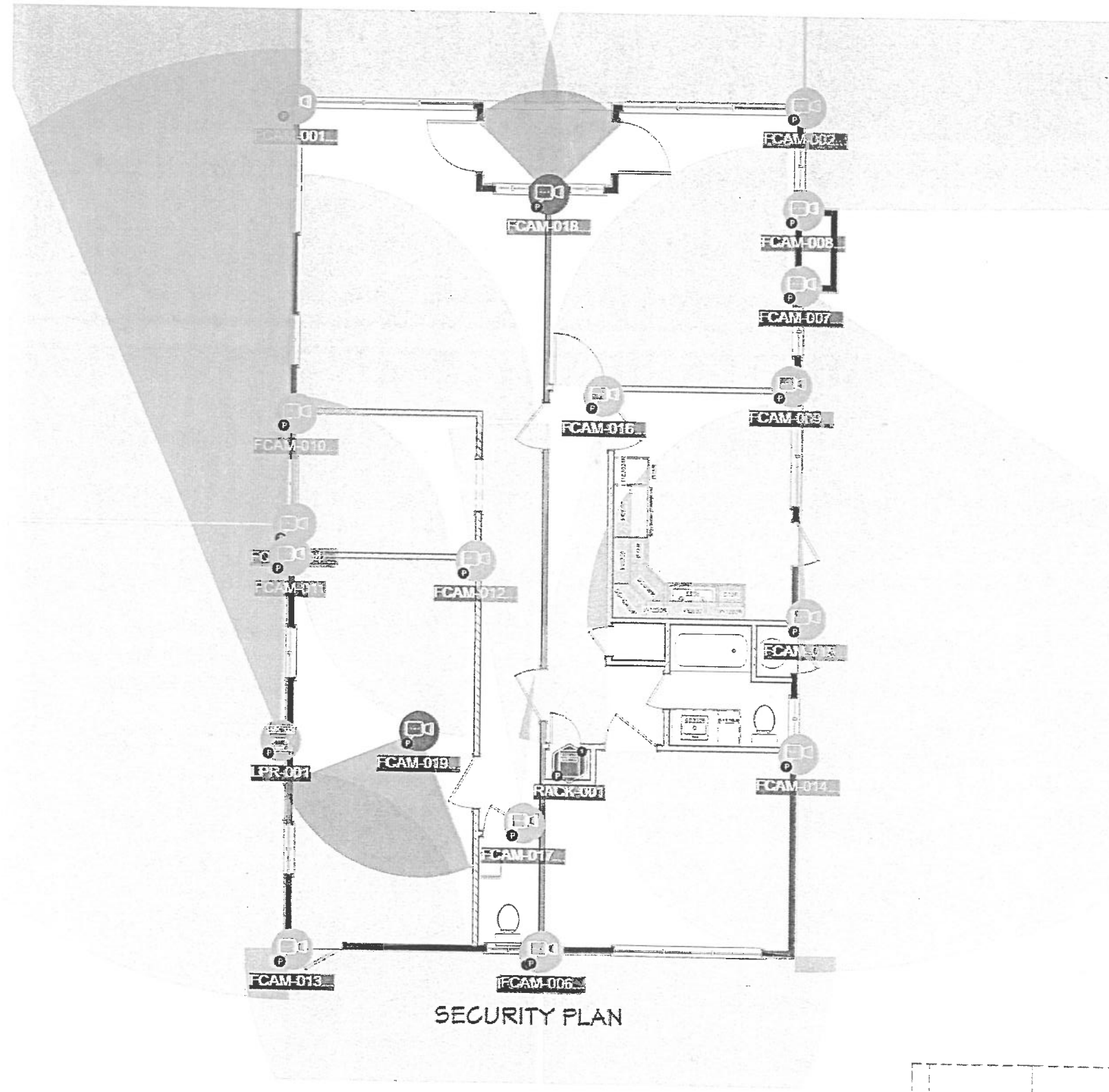
Seaside Crafters, LLC.- Intrusion



SECURITY PLAN

Survey Layout

Seaside Crafters, LLC.- Surveillance



Survey Layout

Seaside Fire Department comments related to project number: 0022765 - 1230 Playa Avenue - October 12, 2021

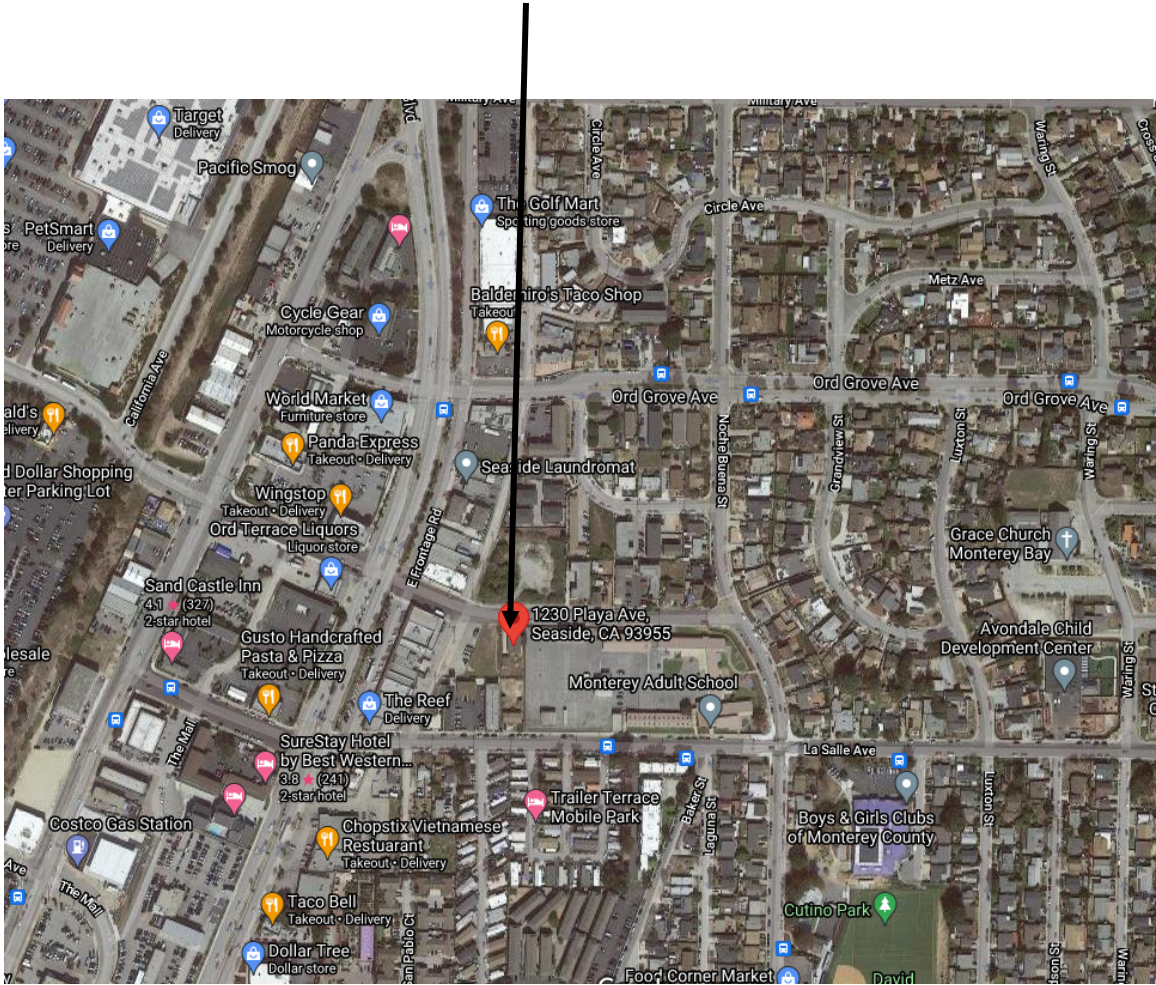
These comments are only related to this application and are primarily designed to let the applicant know in advance what some of the more important Fire Department requirements are.

1. Please advise the applicant that any new construction must now meet the requirements of the California Fire Code, Section 903.2 as amended by the City of Seaside. All new construction is required to have automatic fire sprinklers installed. The automatic fire sprinkler system must conform to NFPA Standard 13. Separate fire sprinkler plans must be submitted and approved to the fire department before the building framing inspection is completed. The applicant is also required to contact California American Water Company to file an application for a fire service connection.
2. The building must also conform to the California Fire Code, section 903.4, 903.4.1, and 903.4.2 in regards to the automatic fire sprinkler system monitoring and alarms. The system shall have water-flow and water supply valve monitoring by a UL Central Station company and approved audible water flow alarms on the exterior of the building. In accordance with NFPA Standard 72, one pull station shall also be located at the main exit door from the building.
3. The applicant shall provide a KNOX emergency access key box for emergency fire department building entrance. The key box is only for fire department operations after normal business operations have stopped, and prevents the need to damage doors or windows to gain entrance during an emergency.
4. A suitable number of 2A10BC fire extinguishers shall be placed throughout the building approximately 75 linear feet apart with the appropriate signage to make them visible.
5. Section 507.5.1.1 – Hydrant for standpipe systems of the 2019 California Fire Code – fire hydrant within 100 feet of the fire department connection.
6. If portion of the building is going to be used for EXTRACTION of cannabis, the extraction (booth) shall be protected by an extinguishing system. (This is not required as long as the extraction remains non-volatile)
7. Separate fire sprinkler plans and fire alarm plans need to be delivered to Seaside Fire Department, located at 1635 Broadway Avenue. A minimum of (3) set of plans are required.

Attachment 2

Location Map

Project site: 1230 Playa Avenue



Attachment 3

Site Photos



View of front façade from Playa Avenue



View of west elevation from Playa Avenue



View of site looking West from Playa Avenue



View of West Elevation from Alley



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 5.B.

TO: Zoning Administration

BY: Beth Rocha, Senior Planner

DATE: October 25, 2021

SUBJECT: MINOR USE PERMIT APPLICATION NO. MUP-21-05: JACK C. CAMP, APPLICANT, AND MICHELLE BARTH, PROPERTY OWNER, ARE REQUESTING APPROVAL OF A MINOR USE PERMIT TO ADD 39 SQUARE FEET TO AN EXISTING SINGLE-FAMILY RESIDENCE, WHICH WILL ENCROACH INTO THE REQUIRED REAR SETBACK NO FURTHER THAN THE EXISTING NONCONFORMING PORTION OF THE STRUCTURE IN COMPLIANCE WITH SEASIDE MUNICIPAL CODE SECTION 17.72.030.B.1.b(2). THE PROPERTY IS LOCATED AT 1698 LUXTON STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

PURPOSE & RECOMMENDATION

The purpose of this item is to consider Minor Use Permit approval for a 39 square foot (sf) addition to an existing nonconforming single-family structure that will encroach into the required 15' rear yard setback no further than the existing encroachment at 12'-6" in accordance with Seaside Municipal Code (SMC) 17.72.030.B.1.b., which states:

Any area of an addition that encroaches into a required setback no further than an existing nonconforming portion of the structure may be allowed with Minor Use Permit approval in accordance with Section [17.62.070](#); provided, that the area of the addition within the required setback is less than or equal to 25 percent of the total floor area of the existing structure, complies with the Building Code, and the review authority first determines that the addition will not adversely affect any neighboring property or the character of the surrounding neighborhood.

Staff recommends approval of MUP-21-05 subject to Attachment 1: Draft Resolution and Exhibit A to Attachment 1: Project Plans.

BACKGROUND

The project site is a 3,650sf lot developed with a 1,089sf single- family residence located in the RS-12 zoning district. The proposed 39sf addition complies with all other development regulations of the zone, including lot coverage, floor area ratio and maximum height.

STAFF ANALYSIS

Seaside Municipal Code (SMC) 17.72.030.B.1.b. sets a limitation on the allowable floor area increase/addition to a nonconforming structure at 25% of the floor area of the existing residence. At 1,089sf, the maximum allowable area increase is 272sft and the proposed addition is well below the permitted maximum at 39 square feet. The rear wall of the existing structure encroaches into the required rear setback of 15', observing a setback of 12'-6" for a length of approximately 23'. The proposed 39 square foot addition would be aligned with the existing nonconforming rear setback of 12'-6".

In accordance with SMC 17.62.070.F the following findings must be made in the consideration of granting a Minor Use Permit:

- 1.** The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: *The proposed use is a slightly expanded single-family residential structure that complies with all other provisions of this ordinance and the municipal code.*

- 2.** The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: *The proposed use is residential and the use is consistent with the General Plan designation of Single Family Residential – Low Density.*

- 3.** The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *The proposed design, siting of the addition and 39sf of floor area is compatible with existing single-family residential uses in the neighborhood and planned uses in the vicinity.*

- 4.** The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The residential parcel is suitable for the residential use and addition.*

5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

***Evidence:** Granting the MUP for a 39sf residential addition to accommodate relatively minimal changes to the residential floor plan would in no manner be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.*

ATTACHMENTS

Attachment 1: Draft Resolution

Exhibit A to Attachment 1: Project Plans

**ZONING ADMINISTRATOR
RESOLUTION NO. ZA-21-XX**

A RESOLUTION OF THE ZONING ADMINISTRATOR OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING MINOR USE PERMIT APPLICATION NO. MUP-21-05 TO ADD 39 SQUARE FEET TO AN EXISTING SINGLE-FAMILY RESIDENCE, WHICH WILL ENCROACH INTO THE REQUIRED REAR SETBACK NO FURTHER THAN THE EXISTING NONCONFORMING PORTION OF THE STRUCTURE IN COMPLIANCE WITH SEASIDE MUNICIPAL CODE SECTION 17.72.030.B.1.b(2). THE PROPERTY IS LOCATED AT 1698 LUXTON STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

WHEREAS, Jack C. Camp, applicant, and Michelle Barth, property owner, have applied for a Minor Use Permit; and

WHEREAS, the project requires the approval by the Zoning Administrator to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Zoning Administrator considered oral comments and written information concerning the proposed revisions at a duly noticed public hearing of the Zoning Administrator held at a Special Meeting on October 25, 2021; and

WHEREAS, the project is exempt pursuant to Section 15301(e) of the California Environmental Quality Act, Class 1, which exempts residential additions of no more than 50% of the existing floor area.

NOW, THEREFORE, BE IT RESOLVED, that the Zoning Administrator adopts the following findings for the project:

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: The proposed use is a slightly expanded single-family residential structure that complies with all other provisions of this ordinance and the municipal code.

2. The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: The proposed use is residential and the use is consistent with the General Plan designation of Single Family Residential – Low Density.

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: The proposed design, siting of the addition, and additional 39sf of floor area is compatible with existing single-family residential uses in the neighborhood and planned uses in the vicinity.

4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The residential parcel is suitable for the residential use and addition.

5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: Granting the MUP for a 39sf residential addition to accommodate relatively minimal changes to the residential floor plan would in no manner be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

BE IT FURTHER RESOLVED, the Zoning Administrator hereby grants Minor Use Permit MUP-21-05 subject to the following terms and agreements:

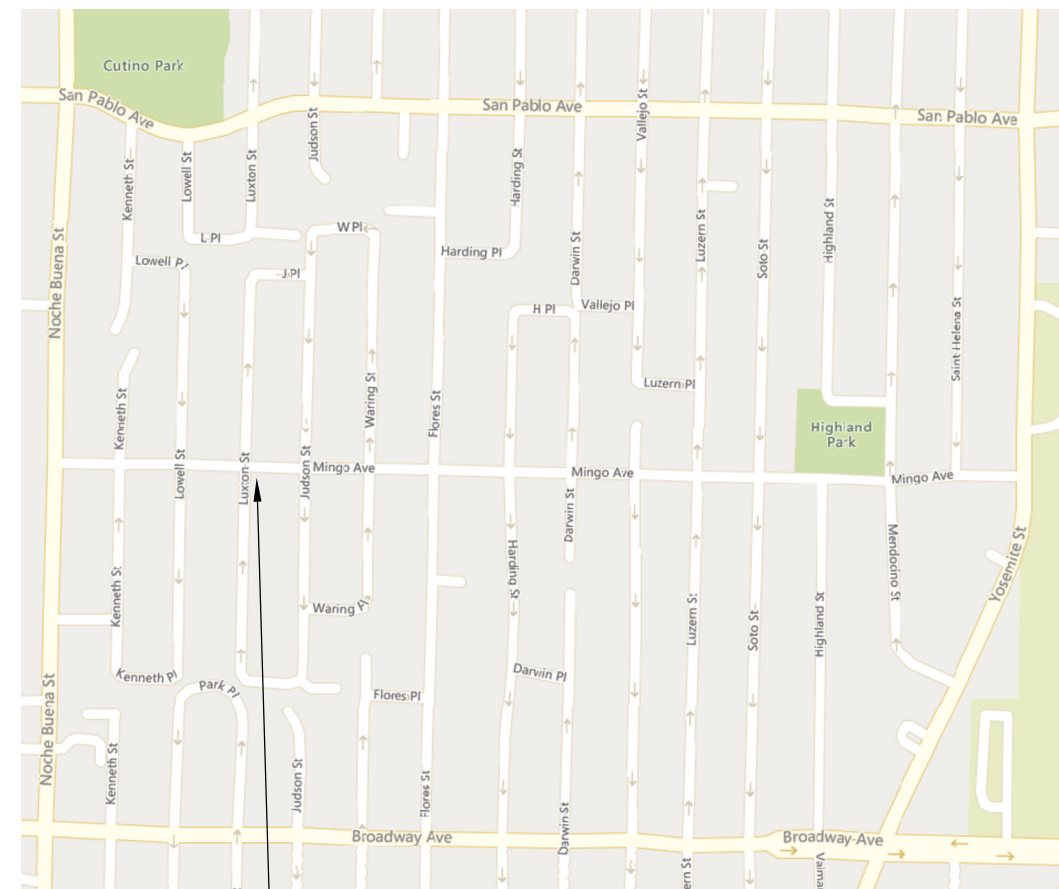
Standard:

1. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

2. The approval of a planning permit (i.e., Use Permit, Minor Use Permit, Variance, Minor Variance, or Planned Development Permit) shall become effective on the seventh day after the date of approval by the review authority; provided, that no appeal has been filed in compliance with Chapter [17.76](#) (Appeals), (SMC 17.64.020.A).
3. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within 15 days from the date of its approval.
4. If a project is to be developed in approved phases, each subsequent phase shall be exercised within 12 months from the date that the previous phase was exercised, unless otherwise specified in the permit, or the permit shall expire and become void, except where an extension of time is approved (SMC 17.64.080.A.4).
5. An appeal in compliance with SMC 17.76 be filed by any aggrieved person; except that in the case of a decision on a Use Permit, Minor Use Permit, Variance, Minor Variance, or Planned Development Permit which followed a public hearing, an appeal may only be filed by a person who, in person or through a representative, appeared at the public hearing in connection with the decision being appealed, or who otherwise informed the City in writing of the nature of their concerns before the hearing (SMC 17.76.030.A.1).

PASSED AND ADOPTED by the Zoning Administrator of the City of Seaside, State of California, on the 25th day of October, 2021.

Trevin Barber
Acting Zoning Administrator



PROJECT LOCATION
VICINITY MAP
NOT TO SCALE

MINOR USE PERMIT for BARTH RESIDENCE EXPANSION & REMODEL

1698 LUXTON ST
SEASIDE, CA

OWNER:

MICHELLE BARTH
1698 LUXTON ST
SEASIDE, CA 93955

PROJECT SUMMARY:

ONE-STORY WOOD-FRAME RESIDENCE:	
POST & BEAM W/ PERIMETER FOOTING	
EXISTING BUILDING COVERAGE	= 1,510 FT ²
PROPOSED BUILDING COVERAGE	= 1,549 FT ²
EXISTING RESIDENCE	= 1,089 FT ²
EXISTING COVERED PORCH	= 128 FT ²
EXISTING GARAGE	= 235 FT ²
EXISTING STORAGE SHED	= 58 FT ²
PROPOSED ADDITION	= 39 FT ²

CONSTRUCTION TYPE: VB
FIRE SPRINKLERS: NO
OCCUPANCY GROUP: R-3/U
ZONING: RS-12
LAND USE: 65%
LOTS 1789 & 1791 / BLK 25 / DMH MAP NO. 3 HANNON PROJECT UNIT NO. 1
LOT SIZE: 3,650 FT² (0.084 ACRES)
EXISTING SITE COVERAGE: 1,510 FT²
PROPOSED SITE COVERAGE: 1,549 FT²
HEIGHT OF EXISTING: 12'-3"
WATER SOURCE: CAL-AM
SEWER SYSTEM: MUNICIPAL SEWER

DESIGN CRITERIA:

- 2019 CRC
- 2019 CPC
- 2019 CEC
- 2019 CMC
- 2019 CFC
- 2019 CGBC
- 2019 CALIFORNIA ENERGY CODE
- ASCE 7-16
- CITY OF SEASIDE AMENDMENTS & STATE REGULATORY REQUIREMENTS
- 20 PSF ROOF LIVE LOAD
- 12" FROST DEPTH
- 92 MPH WIND 3-SEC. GUST EXP. B
- SEISMIC DESIGN CATEGORY D

SCOPE OF WORK:

- THE SCOPE OF WORK FOR THIS PROJECT INCLUDES:
- EXPAND HABITABLE AREA OF FOOTPRINT/PERIMETER ON THE SOUTH SIDE OF THE STRUCTURE @ SOUTHEAST CORNER OF THE STRUCTURE
 - CONSTRUCT NEW PRIMARY CLOSET
 - REMODEL EX. POWDER ROOM TO CREATE PRIMARY BATHROOM

SHEET INDEX:

- T1 TITLE SHEET & BUILDING ELEVATIONS
- C1.0 EXISTING SITE PLAN
- C1.1 PROPOSED SITE PLAN
- A1.0 EXISTING FLOOR & DEMOLITION PLAN
- A1.1 PROPOSED FLOOR PLAN

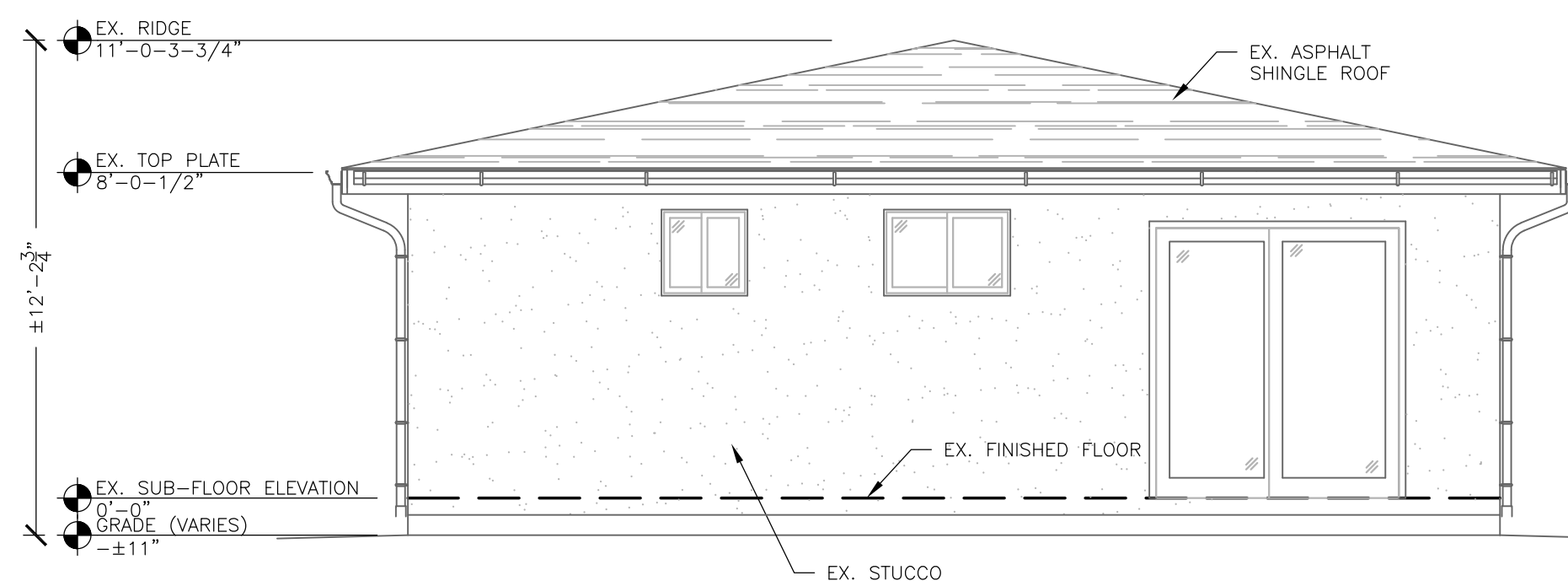
APPROVALS:

APPLICATION NO. _____

CITY OF SEASIDE BUILDING DEPARTMENT

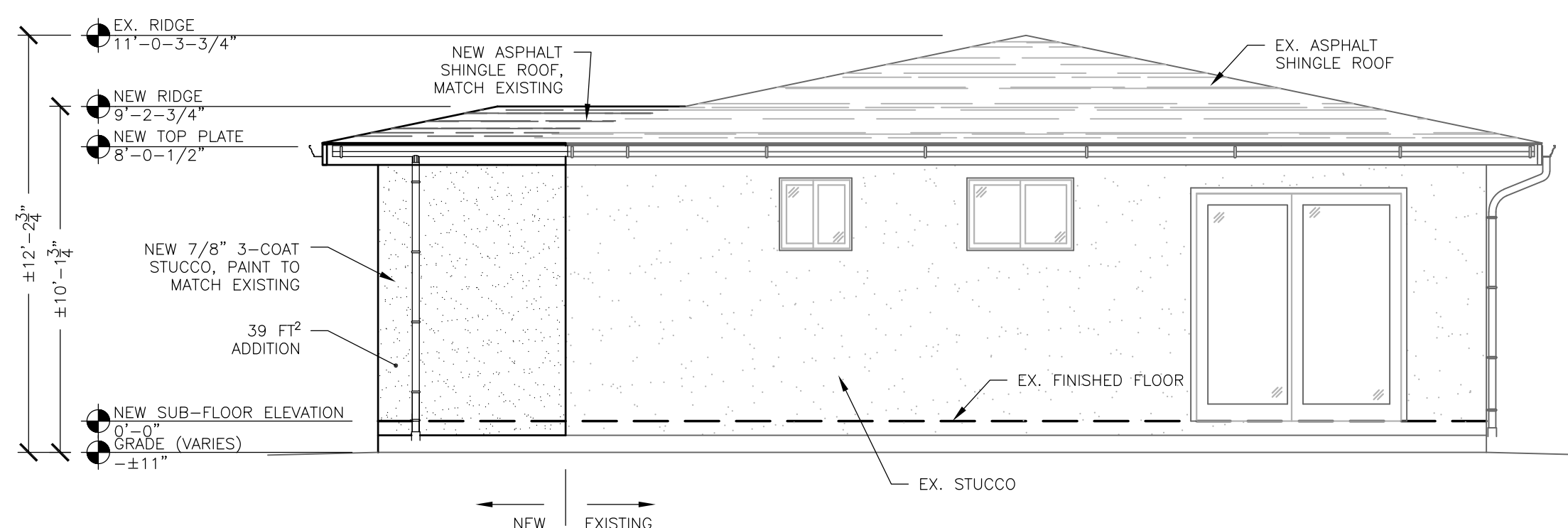
NOTES:

- THE CONTRACTOR SHALL OBTAIN A PERMIT PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE LIMITS OF THE RIGHT-OF-WAY
- THE CONTRACTOR SHALL INFORM THEIR SELF OF THE EXACT LOCATION OF ALL EXISTING UTILITIES ENCOUNTERED DURING EXCAVATION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE OPERATION OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN EXPENSE
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL AND SAFETY PROGRAM IN COMPLIANCE WITH STATE AND FEDERAL LAWS DURING CONSTRUCTION
- REFER TO CALTRANS STANDARD SPECIFICATIONS FOR SPECIFICATIONS EXCEPT AS MODIFIED BY THESE PLANS AND SPECIAL PROVISIONS
- CONSTRUCTION SIGNS AND BARRICADES SHALL CONFORM TO THE REQUIREMENTS OF THE M.U.T.C.D. MANUAL, LATEST EDITION, AND THE CALIFORNIA SUPPLEMENT THERETO
- THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) (48) HOURS PRIOR TO THE START OF CONSTRUCTION
- LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE UTILITY COMPANY FOR THE EXACT DEPTH AND LOCATION OF THE UTILITY
- THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES
- ALL CLEARING, GRADING OR FILLING OF LAND IS SUBJECT TO SECTION 1803 OF THE CALIFORNIA BUILDING CODE



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

DIRECTORY OF PROFESSIONALS:

ENGINEER OF RECORD:

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.
JACK C. CAMP, PE
536 ABREGO ST
MONTEREY, CA 93940

ABBREVIATIONS

AC ASPHALT CONCRETE	EX EXISTING	LP LOW POINT	S SOUTH
AB AGGREGATE BASE	BFC BACK FACE OF CURB	LT LEFT	SD STORM DRAIN
BOW BOTTOM OF WALL	FF FINISH FLOOR	MAX MAXIMUM	SS SANITARY SEWER
CC CORNER CONCRETE	FFC FRONT FACE OF CURB	SDMH SANITARY SEWER MANHOLE	STA STATION
C/L CENTERLINE	FG FINISH GRADE	MIN MINIMUM	SW SIDEWALK
COMP COMPACTION	FH FIRE HYDRANT	N NORTH	TC TOP OF CURB
CONC CONCRETE	FL FLOWLINE	P/L PROPERTY LINE	TW TOP OF WALL
E EAST	GB GRADE BREAK	R RADIUS	TYP TYPICAL
ELEV ELEVATION	HP HIGH POINT	RT RIGHT	W WEST
EP EDGE OF PAVEMENT	IE INVERT ELEVATION	R/W RIGHT-OF-WAY	
FFE FINISHED FLOOR ELEVATION	LF LINEAL FEET		

Date	
Rev. No.	
1	
2	
3	
4	
5	
6	

CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.
536 Abrego St., Monterey, CA 93940
Phone: 831.760.9344
e-mail: jack@cccseng.com
www.cccseng.com

BARTH
TITLE SHEET & BUILDING ELEVATIONS

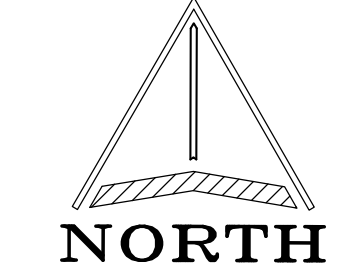
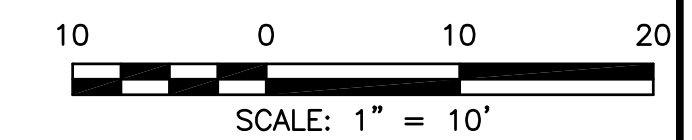
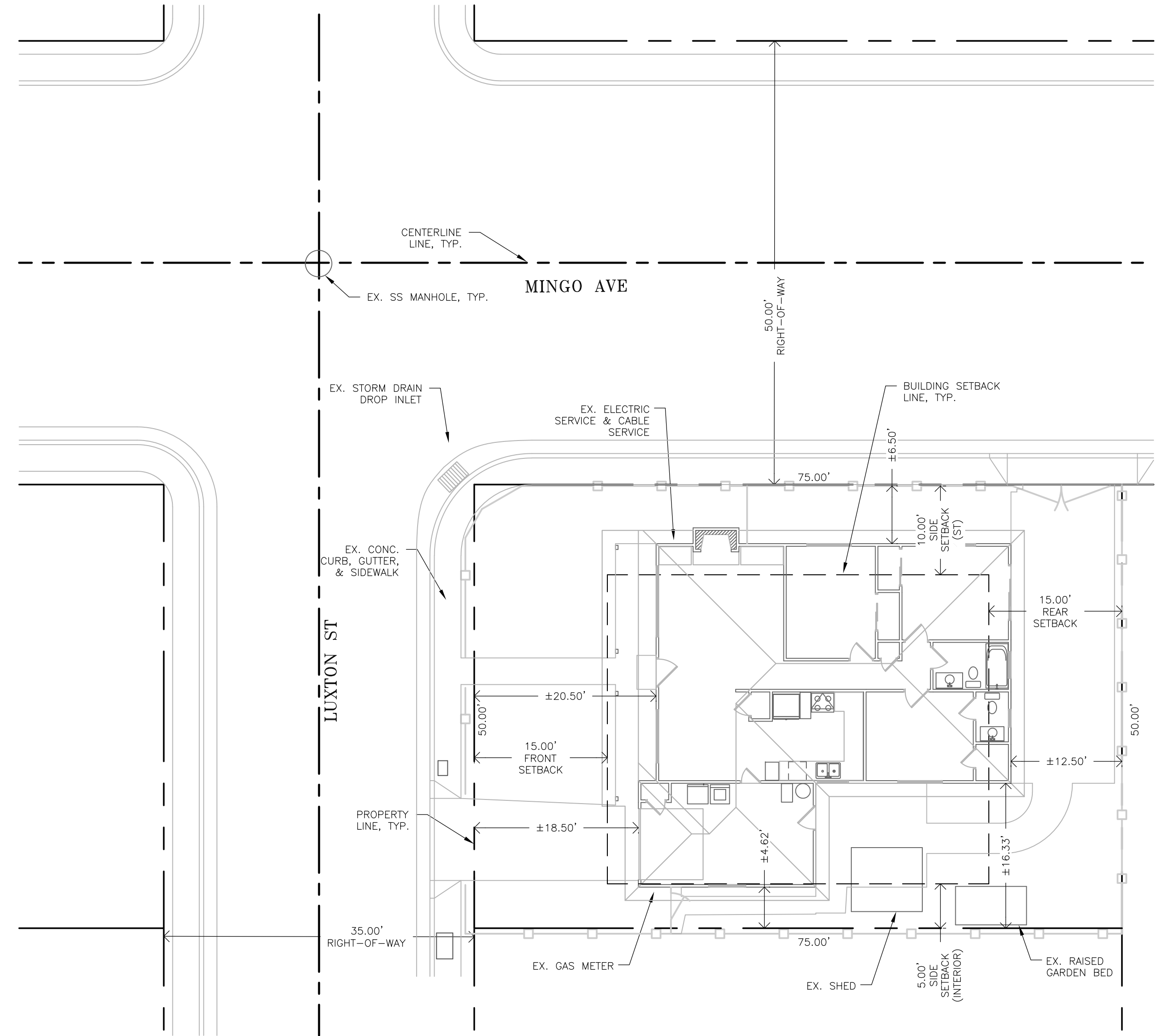
JOB #	210302
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	10/06/2021
SHEET:	T1

GENERAL NOTES:

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS), THE LATEST REVISION OF THE CITY OF PACIFIC GROVE STANDARD DETAILS, STANDARD PROPERTY DEVELOPMENT SPECIFICATIONS, THE 2016 CALIFORNIA BUILDING CODE, AND OSHA REQUIREMENTS. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE PACIFIC GROVE PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST (24) HOURS, (1) WORKING DAY, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST (48) HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LEAVE A (24) HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL FAMILIARIZE THEIR SELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND/OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR FOR THE ACCURACY OF THE DELINEATION OF UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND/OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND/OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT. THIS SHALL BE DONE EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
- ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 8:00AM TO 5:00PM.
- CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
- CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY, FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE 831-443-3050
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
- FOR ALL TRENCH EXCAVATIONS (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS CALIFORNIA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- AT COMPLETION OF THE CONSTRUCTION, THE CONTRACTOR SHALL FURNISH REPRODUCIBLE AS-BUILT PLANS TO THE ENGINEER AND THE MONTEREY COUNTY PLANNING AND BUILDING DEPARTMENT PUBLIC WORKS. SAID PLANS SHALL SHOW ALL CHANGES AND ADDITIONS/DELETIONS IN RED ON THE REPRODUCIBLE PLANS.
- TREES WHICH ARE LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION AND DELINEATION OF SHOWN PROPERTY LINE. PROPERTY LINE LOCATION AND TOPOGRAPHIC SURVEY PERFORMED BY OTHERS.

EXISTING BASE FLOOR AREA/COVERAGE ANALYSIS

SITE APN 012-745-001	3,650 ft ²	
BASE FLOOR AREA		
MAIN RESIDENCE	1,089 ft ²	FLOOR AREA RATIO
		29.8%
EXISTING BUILDING COVERAGE		
MAIN RESIDENCE	1,089 ft ²	BUILDING COVERAGE RATIO
COVERED PORCH	128 ft ²	
GARAGE	235 ft ²	
SHED	58 ft ²	
	1,452 ft²	39.7%



NOTES:

- THE INFORMATION SHOWN ON THIS DRAWING WAS COMPILED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL SURVEY

EXISTING SITE PLAN

SCALE: 1" = 10'

Rev. No.	Date
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This drawing has not been published, but other has been prepared by Central Coast Structural Engineering, Inc. for use by the client named in the title block, construction, operation, and maintenance of the facility. Central Coast Civil & Structural Engineering, Inc. shall not be responsible for any other purpose.

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BARTH
 EXISTING
 SITE PLAN
 1698 LUXTON ST
 SEASIDE, CA 93955 APN 012-745-001

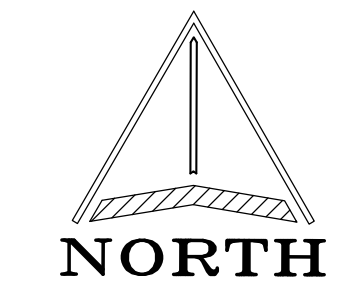
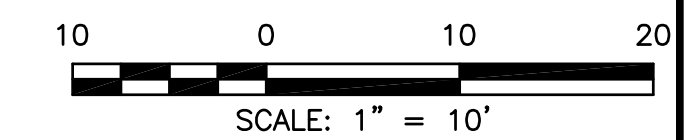
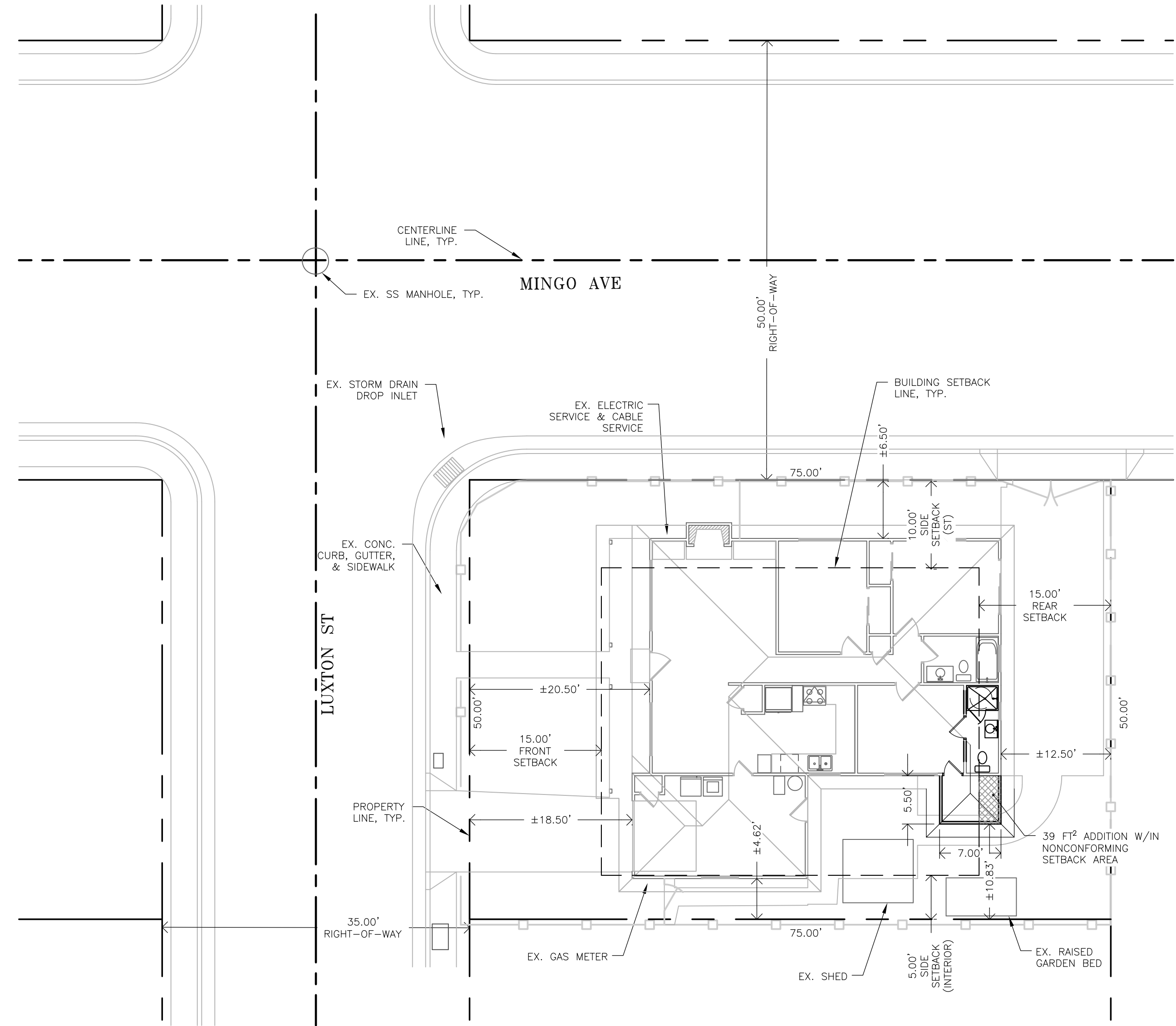
JOB #	210302
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	10/06/2021
SHEET:	C1.0

GENERAL NOTES:

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS HERE ON. IN ADDITION ALL WORK SHALL ALSO CONFORM WITH THE LATEST REVISION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS (STATE SPECIFICATIONS), THE LATEST REVISION OF THE COUNTY OF MONTEREY STANDARD DETAILS, STANDARD PROPERTY DEVELOPMENT SPECIFICATIONS, THE 2019 CALIFORNIA BUILDING CODE, AND OSHA REQUIREMENTS. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE PACIFIC GROVE PLANNING AND BUILDING INSPECTION DEPARTMENT AT LEAST (24) HOURS, (1) WORKING DAY, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AT LEAST (48) HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL LEAVE A (24) HOUR EMERGENCY TELEPHONE NUMBER WITH THE SHERIFF, FIRE DEPARTMENT, AND PRIVATE SECURITY COMPANY (IF APPLICABLE), AND KEEP THEM INFORMED DAILY REGARDING ANY CONSTRUCTION RELATED ACTIVITY IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL FAMILIARIZE THEIR SELF WITH THE PLANS, DETAILS, SPECIFICATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION.
- IN THE EVENT THAT THE CONTRACTOR FINDS A CONFLICT OR A DEFICIENCY IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND/OR THE OWNER'S REPRESENTATIVE(S) IMMEDIATELY.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE ENGINEER PRIOR TO THEIR CONSTRUCTION, AND SHALL BE ACCURATELY SHOWN ON DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE. ANY CHANGES TO OR DEVIATIONS FROM THE PLANS MADE WITHOUT AUTHORIZATION SHALL BE AT THE CONTRACTOR'S SOLE RISK AND SHALL ABSOLVE THE ENGINEER OF ANY AND ALL RESPONSIBILITY ASSOCIATED WITH THE CHANGE OR DEVIATION.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING TOPOGRAPHY SHOWN, NOR FOR THE ACCURACY OF THE DELINEATION OF UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED AND ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT, PRIOR TO COMMENCING CONSTRUCTION HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VISUAL VERIFICATION OF THEIR UNDERGROUND UTILITIES AND/OR FACILITIES. REPAIR OF DAMAGE TO ANY UNDERGROUND UTILITY OR FACILITY SHALL BE MADE AT THE CONTRACTORS EXPENSE.
- EXISTING CURB, GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER IMPROVEMENTS WITHIN PROJECT SITE THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AS DIRECTED BY THE COUNTY AND/OR THE ENGINEER AT THE CONTRACTOR'S EXPENSE WHETHER SHOWN ON THE PLANS OR NOT. THIS SHALL BE DONE EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THE PROJECT AND SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, CLAIMS, LOSSES OR DAMAGES ARISING FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN EXCEPT THOSE ARISING FROM THE SOLE NEGLIGENCE OF ANY OF THE PREVIOUSLY MENTIONED PEOPLE OR ENTITIES. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT AIRBORNE DUST FROM BECOMING A NUISANCE TO NEIGHBORING PROPERTIES. THE CONTRACTOR SHALL CONFORM TO THE STANDARDS FOR DUST-CONTROL AS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT. DUST CONTROL MEASURES TO BE IMPLEMENTED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - PROVIDE EQUIPMENT AND MANPOWER REQUIRED FOR WATERING ALL EXPOSED OR DISTURBED EARTH.
 - COVER STOCKPILES OF DEBRIS, SOIL, OR OTHER MATERIALS WHICH MAY CONTRIBUTE TO AIRBORNE DUST.
 - KEEP CONSTRUCTION AREAS AND ADJACENT STREET FREE OF MUD AND DUST.
 - LANDSCAPE, SEED, OR COVER PORTIONS OF THE SITE AS SOON AS CONSTRUCTION IS COMPLETE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO KEEP STREETS AND ROADS FREE FROM DIRT AND DEBRIS. SHOULD ANY DIRT OR DEBRIS BE DEPOSITED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE IT IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, OFF-HAUL, AND PROPER DISPOSAL OF ALL ITEMS TO BE REMOVED INCLUDING BUT NOT LIMITED TO: DEBRIS FROM THE SITE, TREES, ROOT BALLS AND FENCING.
- ALL CUT AND FILL SLOPES EXPOSED DURING CONSTRUCTION SHALL BE COVERED, SEEDED OR OTHERWISE TREATED TO CONTROL EROSION WITHIN 48 HOURS AFTER GRADING. CONTRACTOR SHALL RE-VEGETATE SLOPES AND ALL DISTURBED AREAS THROUGH AN APPROVED PROCESS AS DETERMINED BY MONTEREY COUNTY PUBLIC WORKS DEPARTMENT. THIS MAY CONSIST OF EFFECTIVE PLANTING OF RYE GRASS, BARLEY OR SOME OTHER FAST GERMINATING SEED.
- CONSTRUCTION ACTIVITY SHALL BE RESTRICTED TO THE HOURS OF 8:00AM TO 5:00PM.
- CONSTRUCTION EQUIPMENT SHALL HAVE MUFFLERS IN GOOD CONDITION.
- CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTIONAL BODY. FOR INFORMATION REGARDING THIS PROVISION, THE CONTRACTOR IS DIRECTED TO CONTACT STATE OF CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, SALINAS, CA. PHONE 831-443-3050
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND TRAFFIC CONTROL WITHIN THE CONSTRUCTION AREA.
- FOR ALL TRENCH EXCAVATIONS (5) FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF OCCUPATIONAL SAFETY AND HEALTH, 21 WEST LAUREL DRIVE, SUITE 45, SALINAS CALIFORNIA 93906, PHONE (831) 443-3050, PRIOR TO ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
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PROPOSED BASE FLOOR AREA/COVERAGE ANALYSIS

SITE APN 012-745-001	3,650 ft ²	
BASE FLOOR AREA		
MAIN RESIDENCE	1,089 ft ²	FLOOR AREA RATIO
ADDITION TO MAIN RESIDENCE	39 ft ²	30.9%
PROPOSED BUILDING COVERAGE		
MAIN RESIDENCE	1,128 ft ²	
COVERED PORCH	128 ft ²	
GARAGE	235 ft ²	BUILDING COVERAGE RATIO
SHED	58 ft ²	40.8%
	1,491 ft²	
PROPOSED BUILDING COVERAGE ADDITION INTO NONCONFORMING SETBACK AREA		
STRUCTURE ADDITION ON EX. NONCONFORMING PROPERTY		
ADDITION TO MAIN RESIDENCE IN SETBACK AREA	39 ft ²	3.6% < 25%
(NO FURTHER THAN EX. NONCONFORMING STRUCTURE)		< 25% EX FLOOR AREA
		Section 17.72.030.B.1.b



- NOTES:**
- THE INFORMATION SHOWN ON THIS DRAWING WAS COMPILED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A LEGAL SURVEY

PROPOSED SITE PLAN

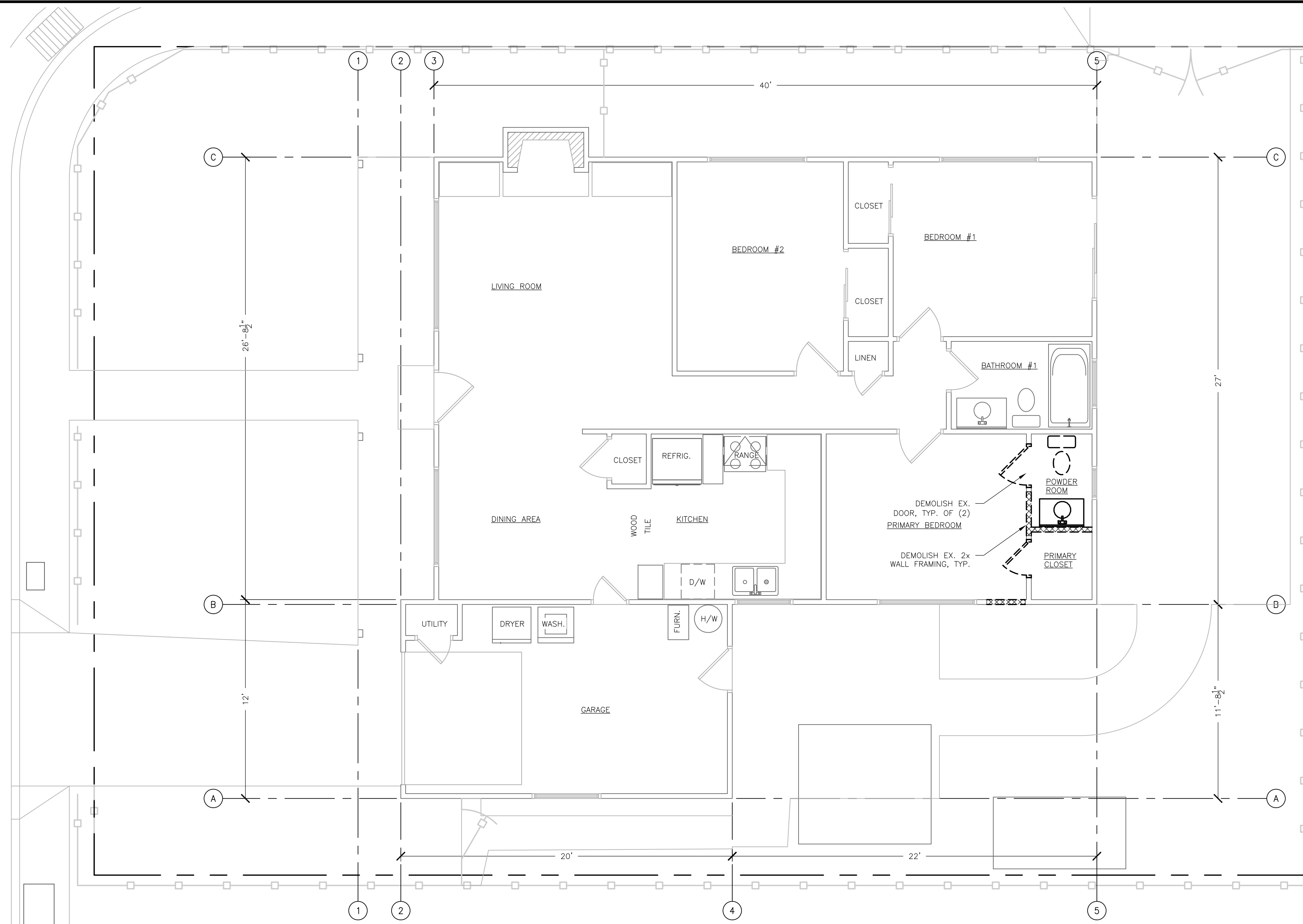
SCALE: 1" = 10'

Rev. No.	Date
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 www.cccseng.com

BARTH
PROPOSED
SITE PLAN
 1698 LUXTON ST
 SEASIDE, CA 93955 APN 012-745-001

JOB #	210302
DESIGN BY:	JCC
DRAWN BY:	JCC
CHECKED BY:	JCC
DATE:	10/06/2021
SHEET:	C1.1



LEGEND:

- (Y/Sx) DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "Sx"
- (X) GRID LINE
- (T) TEMPERED GLASS

WALL LEGEND:

- [] EX. 2x4 WALL
- [X] EX. 2x4 WALL TO BE REMOVED



EXISTING FLOOR & DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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CENTRAL COAST CIVIL & STRUCTURAL ENGINEERING, INC.

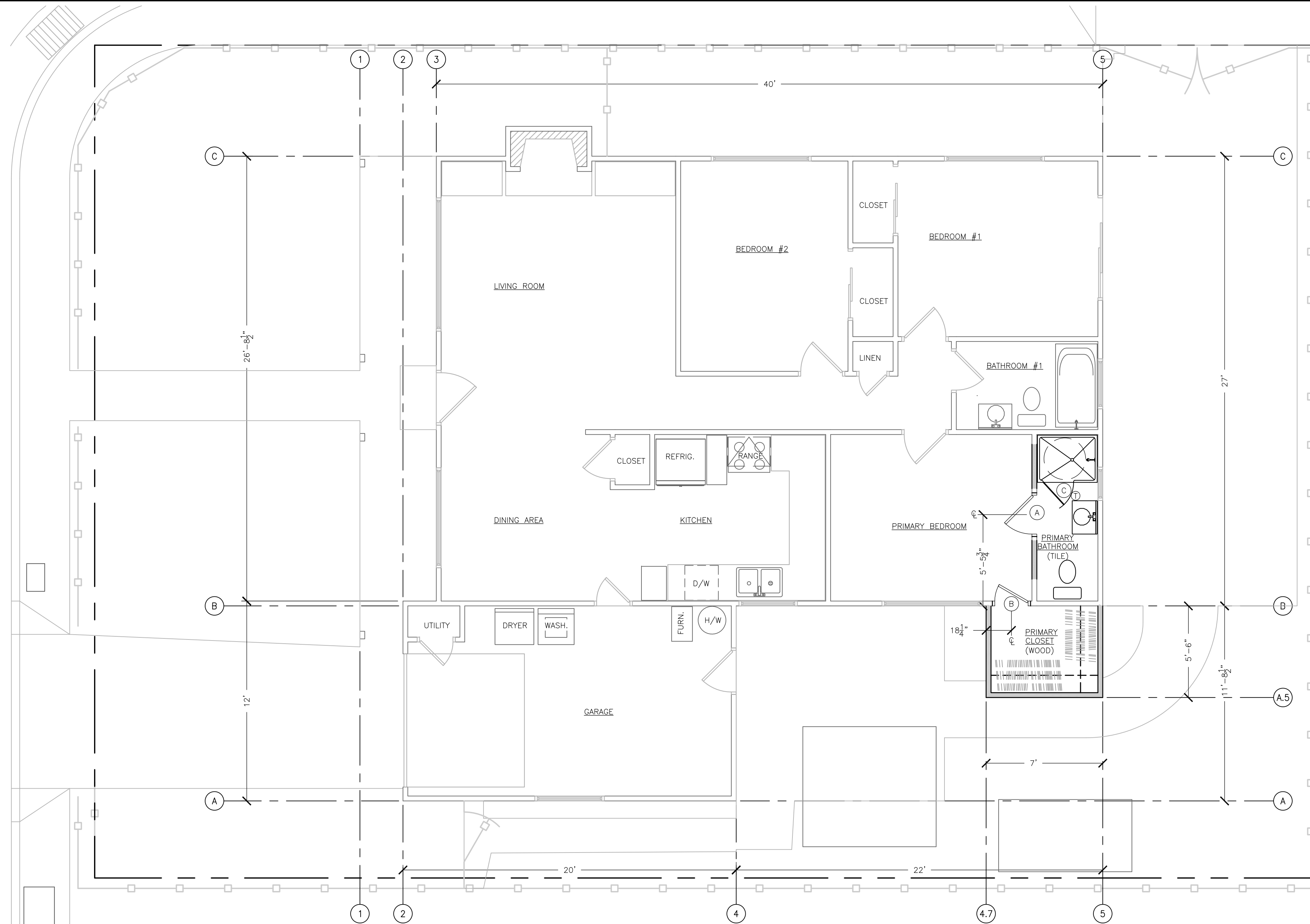
536 Abrego St. Monterey, CA 93940
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EX. FLOOR & DEMOLITION PLAN
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FLOOR PLAN NOTES:

1. EACH BEDROOM SHALL HAVE A DOOR DIRECTLY TO THE EXTERIOR OR A WINDOW THAT WILL PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 FT² IN THE OPEN POSITION, AND A MINIMUM CLEAR OPENING WIDTH OF 20" AND CLEAR OPENING HEIGHT OF 24" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FINISHED FLOOR. SLEEPING ROOMS AT GRADE FLOOR LEVEL MAY HAVE A CLEAR SPACE OPENING OF 5 FT² (CRC R310.1, 310.2.1, 310.2.2)
2. PROVIDE SMOKE ALARMS WHERE NOTED ON PLANS (SEE SHEET A1) (CRC 314.3, CRC 314.3.3 NFPA 72 SECTION 29.8.3.4)
 - 2.1. SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM AND 3' MINIMUM BATHROOM DOORS (CRC 314.3.1)
 - 2.2. SMOKE ALARMS SHALL BE LOCATED OUTSIDE EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOOR(S) AND 3' MINIMUM FROM BATHROOM DOORS (CRC 314.3.2)
 - 2.3. SMOKE ALARMS SHALL BE LOCATED A MINIMUM OF 20' HORIZONTALLY FROM PERMANENTLY INSTALLED COOKING APPLIANCES (CRC 314.3.3)
3. HARDWIRING OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED (CRC 314.4 EXC. 2)
4. SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHERE UNDERGOING ALTERATIONS OR REPAIRS THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILINGS FINISHES EXPOSING THE STRUCTURE (CRC R314.6 EXC. 2)
5. SMOKE ALARMS INSTALLED IN ROOMS WITH VAULTED CEILINGS WITH EXPOSED BEAMS WHERE THE BEAM DEPTH IS LESS THAN 10% OF THE OVERALL CEILING HEIGHT SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72 SECTION 17.7.3.2.4.2
 - 5.1. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 15' FROM WALLS
 - 5.2. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 30" ON-CENTER
6. SMOKE ALARMS INSTALLED WITH ROOMS WITH LEVEL CEILINGS SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 72 SECTION 17.7.3.2.3.1
 - 6.1. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 15' FROM WALLS
 - 6.2. SMOKE DETECTORS SHALL BE LOCATED NOT MORE THAN 30" ON-CENTER
7. PROVIDE CARBON MONOXIDE ALARMS WHERE NOTED ON PLANS (CRC 315.3)
 - 7.1. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING ROOM IN THE IMMEDIATE VICINITY OF THE BEDROOM DOORS (CRC 315.3.1)
 - 7.2. EXISTING BUILDINGS BUILT PRIOR TO 01/01/2011 SHALL NOT BE REQUIRED TO PHYSICALLY INTERCONNECT CARBON MONOXIDE ALARMS WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE (CRC 315.5 EXC. 1)
8. PROVIDE CARBON MONOXIDE ALARMS WHERE NOTED ON PLANS (CRC 315.2.1, CRC 315.2.2, CRC 315.3)
 - 8.1. IN DWELLINGS CONTAINING FUEL FIRED APPLIANCES OR FIREPLACES
 - 8.2. OUTSIDE EACH SEPARATE SLEEPING ROOM DOOR(S) (CRC 315.3.1)
9. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS (CRC 315.4)
10. EXISTING BUILDINGS BUILT PRIOR TO 01/01/2011 SHALL NOT BE REQUIRED TO PHYSICALLY INTERCONNECT CARBON MONOXIDE ALARMS WHERE ALTERATIONS OR REPAIRS DO NOT RESULT IN REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE (CRC 315.5 EXC. 1)
11. CARBON MONOXIDE ALARMS INSTALLED IN ACCORDANCE WITH CRC SECTION R315.2.2 (SEE NOTE 7, ABOVE) SHALL BE PERMITTED TO BE BATTERY POWERED
12. MATERIAL OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWERS SHALL BE A TYPE NOT ADVERSELY AFFECTED BY MOISTURE. SHOWERS SHALL BE FINISHED TO A HEIGHT OF 72" ABOVE THE DRAIN INLET (CRC R307.2)
13. WATER CLOSETS SHALL HAVE 15" CLEAR, EACH SIDE, TO FINISHED SURFACES & 24" CLEAR IN FRONT (CPC 402.5)
14. EXHAUST FANS (FANS REQUIRED TO BE ENERGY STAR RATED) IN BATHROOMS (WITH BATHING) SHALL BE SWITCHED SEPARATELY FROM LIGHT WHERE PERMITTED BY LAW (SEE SHEET E1). PROVIDE MIN. FIVE COMPLETE AIR CHANGES PER HOUR (50 CFM, MIN.). ALL VENTS LEAD TO OUTSIDE AIR. FANS SHALL PROVIDE 20/50 CFM AND BE CONTROLLED BY HUMIDISTAT (CRC 303.3.1).
15. SHOWERS AND SHOWER-TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES FOR THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE (CPC 408.3)
16. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT (CPC 408.9)
17. SHOWER COMPARTMENT SHALL HAVE NOT LESS THAN 1,024 IN² (32"x32") FLOOR AREA AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE (CPC 408.6)
18. SHOWER COMPARTMENT SHALL HAVE A CLEAR WIDTH OPENING OF 22" (CPC 408.5)
19. PROVIDE 30" CLEAR WIDTH (FINISHED SURFACES) AND 24" CLEARANCE IN FRONT OF WATER CLOSET (CPC 402.5)
20. ALL TOILETS SHALL BE ULTRA-LOW FLUSH WITH A MAXIMUM OF 1.28 GALLONS PER FLUSH (GPF) (4.301.1.1)
21. ALL SHOWER HEADS SHALL HAVE A MAXIMUM OF 1.8 GALLONS PER MINUTE (GPM) AT 80 POUNDS PER SQUARE INCH (PSI) FLOW CAPACITY. SHOWERHEADS SHALL BE CERTIFIED TO US EPA WATERSENSE PERFORMANCE CRITERIA (4.303.1.3)
22. ALL LAVATORY FAUCETS SHALL HAVE A MAXIMUM OF 1.5 GPM AT 60 PSI FLOW CAPACITY. MINIMUM FLOW CAPACITY SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI (4.301.1.4.1)
23. ALL KITCHEN FAUCETS SHALL HAVE A MAXIMUM OF 1.8 GPM AT 60 PSI (4.301.4.4)



DOOR SCHEDULE

MARK	QUANTITY	SIZE	MATERIAL	TYPE	REMARKS
(A)	1	2'6"	WOOD	INTERIOR - SINGLE	-
(B)	1	2'6"	WOOD	INTERIOR - SINGLE	-
(C)	1	1'0"	GLASS	SHOWER	TEMPERED

DOOR SCHEDULE NOTES:

1. ALL DOORS ARE 6'-8" TALL, U.N.O.
2. ALL DOORS ARE SOLID WOOD CORE, PAINT GRADE
3. 1-3/4" EXTERIOR DOORS, 1-5/8" INTERIOR DOORS
4. GARAGE MAN-DOOR SHALL BE PROTECTED BY A 1-3/8" TIGHT-FITTING, SELF-CLOSING & SELF-LATCHING, SOLID WOOD CORE DOOR OR SOLID HONEYCOMB STEEL DOOR, OR A TIGHT FITTING, SELF-CLOSING & SELF-LATCHING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MIN. (CFC 701, CRC R302.5.1)

LEGEND:

- (Y) DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "Sx"
- (X) GRID LINE
- (T) TEMPERED GLASS

WALL LEGEND:

- EX. 2x4 WALL
- NEW 2x4 WALL



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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