



AGENDA
CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
440 HARCOURT AVE (COUNCIL CHAMBER)
Wednesday, January 24, 2024
6:00 PM

NOTICE: *The Planning Commission will hold its public meetings in person, with options for viewing and listening virtually or telephonically, based on availability.*

1. To view this meeting: Please click on the following link to the City of Seaside YouTube Channel: <https://www.youtube.com/c/CityofSeasideCalifornia>
2. To view this meeting: Using the Zoom application on your smart phone, laptop, tablet or desktop and click on this link: <https://us02web.zoom.us/j/81555467580>
WEBINAR ID: 815 5546 7580
3. To listen by phone: Please call (669) 900-9128
Enter the **meeting ID 815 5546 7580** when prompted. There is no participate code – press the pound sign # after the recording prompts you.
4. To make public comment, the following options are available:

Before the Meeting via Email: Written comments can be emailed to CityClerk@ci.seaside.ca.us Include the following subject line: "Public Comment Item # ____" (insert the agenda item number relevant to your comment). Written comments must be received at least two (2) hours prior to the meeting time on the day of the meeting.

During the Meeting via Oral Comments: When the Chair calls for public comment, members of the public participating in person and wishing to address the Commission may approach the podium when the Chair calls for public comment.

1. CALL TO ORDER

2. ROLL CALL - CITY COUNCIL

William Silva	Chair
Keith Dodson	Commissioner
John Owens	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
Danny Huynh	Commissioner

3. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. PUBLIC COMMENT FOR COMMISSIONS

Members of the public wishing to address the Commission on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three (3) minutes. Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. BUSINESS ITEMS

A. MASTER SIGN PROGRAM APPLICATION MSP-2023-03: MONTEREY SIGNS, INC., APPLICANT, AND ROBERT CARSWELL, PROPERTY OWNER, REQUEST APPROVAL OF A MASTER SIGN PROGRAM FOR A MULTIPLE TENANT BUILDING AT 344-348 ROBERTS AVENUE (APN 011-561-006) LOCATED IN THE COASTAL HEAVY COMMERCIAL (CCH) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT, CLASS 11, UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES SECTION 15311(A).

B. USE PERMIT APPLICATION UP-23-10: RAMONA LOWE, APPLICANT, AND RUDY CANCHOLA, PROPERTY OWNER, REQUEST APPROVAL OF A REDUCTION TO REQUIRED PARKING FOR A NEW TATTOO STUDIO LOCATED AT 1637B DEL MONTE BOULEVARD (APN 011-551-002) IN THE REGIONAL COMMERCIAL (CRG) ZONING DISTRICT. THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES SECTION 15061(b)(3).

6. REPORTS FROM COMMISSIONERS

7. REPORTS FROM STAFF

This is a time specifically set aside for the Staff Liaison to provide updates on non-agendized requests from the Commission, and to provide brief information on topics under the purview of the Commission.

8. ADJOURNMENT

Next Regularly Scheduled Meeting:
February 14, 2024
6:00 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. Agendas are posted at:

<http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



CITY OF SEASIDE STAFF REPORT

Item No.: 5.A.

TO: Planning Commission

BY: Eric Azriel, Assistant Planner

DATE: January 24, 2024

SUBJECT: MASTER SIGN PROGRAM APPLICATION MSP-2023-03: MONTEREY SIGNS, INC., APPLICANT, AND ROBERT CARSWELL, PROPERTY OWNER, REQUEST APPROVAL OF A MASTER SIGN PROGRAM FOR A MULTIPLE TENANT BUILDING AT 344-348 ROBERTS AVENUE (APN 011-561-006) LOCATED IN THE COASTAL HEAVY COMMERCIAL (CCH) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT, CLASS 11, UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES SECTION 15311(A).

PURPOSE & RECOMMENDATION

The purpose of this item is to consider a Master Sign Program to allow the creation of three signs for a multiple-tenant property. A Master Sign Program is required per Seaside Municipal Code (SMC) 18.02.060.D.1.b.

Staff recommends the Commission approve Master Sign Program MSP-2023-03 subject to Attachment: 1 Draft Resolution and Exhibit A Project Plans.

BACKGROUND

The 7,550 square foot (sf) site at 344, 346, and 348 Roberts Avenue (APN 011-561-006) is located in the Coastal Heavy Commercial (CCH) zoning district. Nearby uses include residences to the southwest, landscaping and auto repair businesses to the north, and residences to the northeast. To the southeast is the old railroad right-of-way. Beyond the right-of-way are businesses and governmental offices along Del Monte Boulevard. The location is shown in Attachment 2: Location Map.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The project is Categorically Exempt, Class 11, under the California Environmental

Quality Ave (CEQA) Guidelines Section 15311(a).

Evidence: *The project proposes the creation of three on-premises signs appurtenant to existing commercial facilities.*

PROJECT DESCRIPTION

The project proposes the creation of a Master Sign Program allowing three signs to exist on the premises. Two signs currently exist in the proposed locations B and C, albeit without permits. The existing sign at Location B is for the current property owner; the existing sign at Location C is from a previous tenant. Location A would be a completely new sign, while Location C would replace an existing sign with a sign of different shape and design.

Master Sign Program Required

A Master Sign Program is required by 18.02.060.D.1.b because the site has two or more tenants. Master Sign Programs may grant exceptions to the maximum size and number of signs based on design features including architectural style, proportion to landscaping, site visibility and building mass.

ANALYSIS OF STANDARDS

The project proposes three 3 ft. x 5 ft. wall signs, with one on the first-floor and two on the second floor. The locations and areas of the signs are shown in Table 1. First-floor signs, second-floor signs, and wall signs each have specific standards which are analyzed below.

Table 1. Proposed Signs

Location	Floor	Frontage	Proposed Area (sf)
Location A	Second floor	Primary	15
Location B	First floor	Primary	15
Location C	Second floor	Secondary	15

First-floor and Second-floor Sign Standards

Per 18.02.060.D.3 Table 6 the total ground-floor sign area allowed is:

- 1 sf for each linear foot of primary frontage
- 0.5 sf for each sf of secondary frontage
- Total area of signs on primary frontage shall not exceed 100 sf
- Total area of signs on secondary frontage shall not exceed 50 sf

Per 18.02.060.D.3 Table 6 the total second-floor sign area allowed is:

- 1 sign per tenant
- 12 sf for each tenant

The proposed first-floor sign is 15 sf in area, less than the maximum allowed as shown in Table 2. The proposed second-floor signs, both for one tenant, are greater than the maximum sign area and number of permitted signs. But Master Sign Programs may grant exceptions to sign number and size per SMC 18.02.060.D.1.b.

Table 2. First-floor Sign Area

	Length (ft.)	Allowed Sign Area (sf)	Proposed Sign Area
Primary frontage	62	62	15
Secondary frontage	62	31	0

Wall Sign Standards

The project proposes three wall signs. The maximum wall sign size is limited to 10% of the facade to which it is mounted per SMC 18.02.D.4.f. As shown in Table 3, the proposed signs are each less than 10% of their respective facade areas. SMC 18.02.D.4.f also limits wall signs to one per primary frontage and one per secondary frontage; the project proposes two signs on the primary frontage and one on the secondary frontage, but Master Sign Programs may grant exceptions to the number of signs. Finally, SMC 18.02.D.4.f also limits wall sign projections to 12 inches; the proposed wall signs are only 6 mm thick.

Table 3. Facade Area and Sign Size

	Facade Area (sf)	Sign Area (sf)
Location A	> 288	15
Location B	390	15
Location C	252	15

Height Standards

SMC 18.02.060.D.2.b.iii limits the top of first-story signs to the top of the wall to which the sign is attached. Location B's sign is below the top of the wall.

SMC 18.02.060.D.2.b.iii also limits the top of second-story signs to the lesser of:

- The window sills of the second story or
- Twenty feet above normal grade.

Location A and Location C are below the window sills and rise to 15 ft. at their highest points.

ATTACHMENTS

1. Attachment 1: Draft Resolution

2. Exhibit A: Project Plans
 3. Attachment 2: Location Map
-

**PLANNING COMMISSION
RESOLUTION NO. XX-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
SEASIDE, STATE OF CALIFORNIA, APPROVING MASTER SIGN
PROGRAM APPLICATION NO. MSP-2023-03 FOR A MASTER SIGN
PROGRAM FOR A MULTIPLE TENANT BUILDING AT 344-348
ROBERTS AVENUE (APN 011-561-006) LOCATED IN THE COASTAL
HEAVY COMMERCIAL ZONING DISTRICT.**

WHEREAS, Monterey Signs, Inc., applicant, and Robert Carswell, owner, applied for Master Sign Program No. MSP-2023-03; and

WHEREAS, the proposed project requires approval by the Planning Commission, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Planning Commission considered oral comments and written information concerning the Master Sign Program application No. MSP-2023-03 at a duly noticed public hearing that the Planning Commission held on January 24, 2024.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following finding:

**1. The project is Categorically Exempt, Class 11, under the California
Environmental Quality Act (CEQA) Guidelines Section 15311(a):**

Evidence: The project proposes the creation of three on-premises signs appurtenant to existing commercial facilities.

BE IT FURTHER RESOLVED, the Planning Commission approves MSP-2023-03 subject to the following Conditions of Approval:

Planning:

1. The Zoning Administrator shall have the authority to approve Sign Permits that are consistent with this Master Sign Program.
2. Street identification sign(s) shall be installed so as to be readily visible from a moving vehicle along Roberts Avenue. The street identification sign(s) may be included in the business sign(s) or may be separate, not exceeding 2 square feet in sign area each.

3. Landscaped areas, including trees and other plantings, as well as paving, walls, and fences, shall be regularly maintained.
4. Area lighting shall be designed to minimize the negative effects of lighting the night sky and employ control features so as to avoid light being directed off-site. The light source for externally-illuminated signs must be positioned so that light does not shine directly on adjoining properties or cause glare or shine in the eyes of motorists or pedestrians. All outdoor lighting shall be downlit and fully shielded. No outdoor lights shall be permitted that blink, flash, or change intensity.
5. Compliance with SMC 17.30.070 Outdoor Lighting is to be illustrated in the lighting plans of the building permit plan set.
6. The Zoning Administrator has the authority to approve minor changes to the landscaping, lighting, and architectural finishes of this project, given changes are kept in a similar design style, the colors and materials are within the same design family (metal, wood, composite siding), and the juxtaposition of the materials and colors achieves a similar design balance and aesthetic.

Building:

7. Construction must comply with all requirements of the California Building Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

Fire Department:

8. Construction must comply with all requirements of the California Fire Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

Standard:

9. Except as modified by the conditions of approval, plans submitted for Building Permits must be in compliance with Exhibit A Project Plans.
10. The applicant agrees as a condition and in consideration of the approval of this permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such

participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

11. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
12. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within 15 days from the date of its approval.
13. This approval shall become null and void unless a Building Permit application is submitted within twelve (12) months of January 31, 2024. Time extensions may be granted by the original approval body if a written request and associated fee are received by the Community Development Department within 30 days prior to the expiration. This approval shall also become null and void if the implementing Building Permit application expires.
14. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Seaside, State of California, on the 24th day of January 2024, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Will Silva, Chairperson

ATTEST:

Planning Commission Secretary

Exhibits:

Exhibit A: Project Plans

**MASTER SIGN PROGRAM APPLICATION No. MSP-2023-03
RESOLUTION No. XX-XX**

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature

Date

Master Sign Plan
346 Roberts Ave, Seaside, CA 93955



GC1 Signs to comply with the following ordinance and building regulations of the City of Seaside

- a. 2022 California Building Code
- b. 2022 California Fire Code
- c. 2022 California Electrical Code
- d. 2022 California CCALGren Code
- e. 2022 California Energy Standards
- f. City of Seaside Amendments and State Regulatory requirements

CBPC 5536.1/CBC 107.1.



DESIGNER TonyCalvert

PHONE 831.632-0490

EMAIL tony@montereysigns.com


Tony Calvert

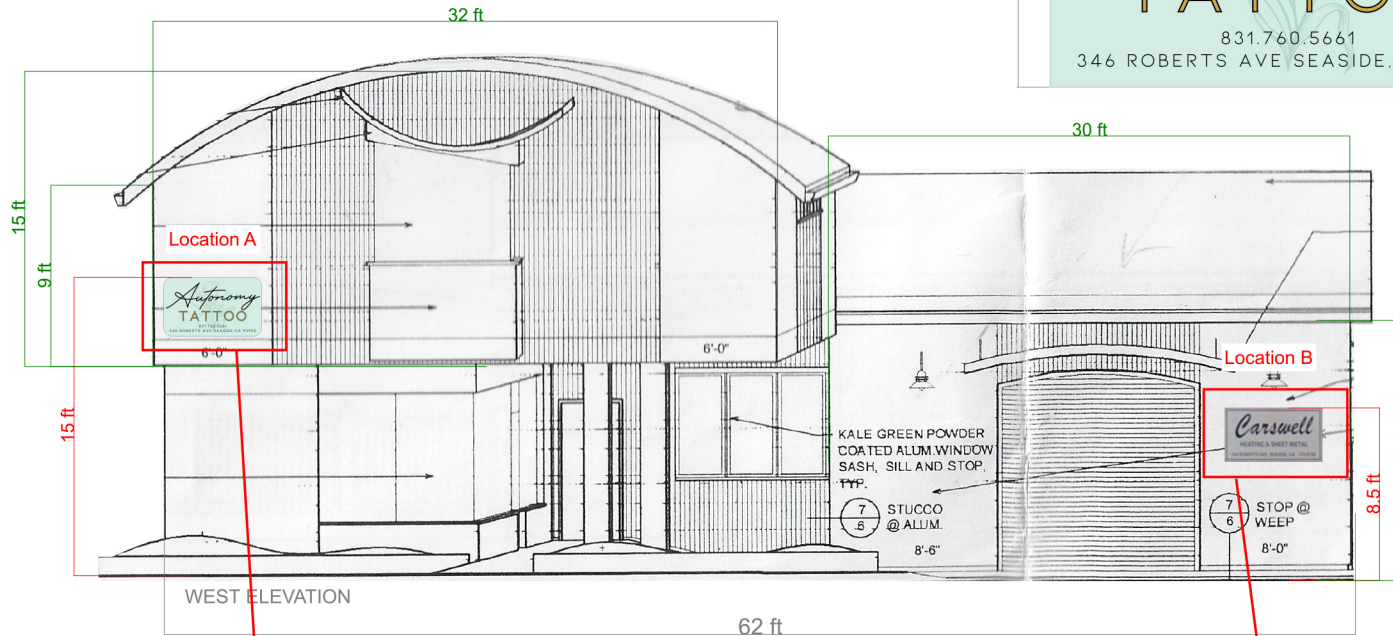
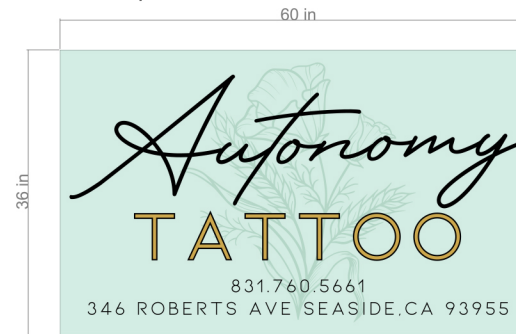
NOTE: This is an original unpublished drawing, created by Monterey Signs. It is submitted for your personal use in connection with a project being planned for you by Monterey Signs. It is not to be shown to anyone outside your organization, nor is it to be reproduced, copied, photographed, exhibited or used in any fashion without the express written permission of Monterey Signs.



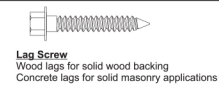
Single-sided full color printed signs.
Single-sided full color printed sign. Sign to be made from 6mm flat Aluminum Composite Panel (ACP) and protected with clear UV overlaminate, matte or gloss finish.
Sizing is 60" wide x 36" high.

Location A/B - West Elevation
Location C - South Elevation

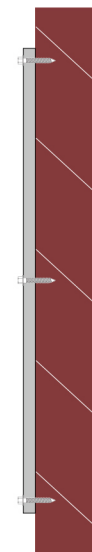
Example



(x6) screws per sign



Section



MONTEREY SIGNS
PH: 831.632.0490
855 Broadway Ave.
Seaside, CA 93955

DESIGNER Tony Calvert

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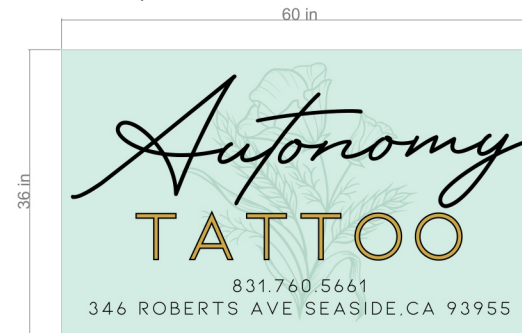


Single-sided full color printed signs.
Single-sided full color printed sign. Sign to be made from 6mm flat Aluminum Composite Panel (ACP) and protected with clear UV overlaminate, matte or gloss finish.
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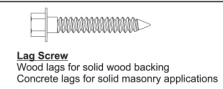
Location A/B - West Elevation

Location C - South Elevation

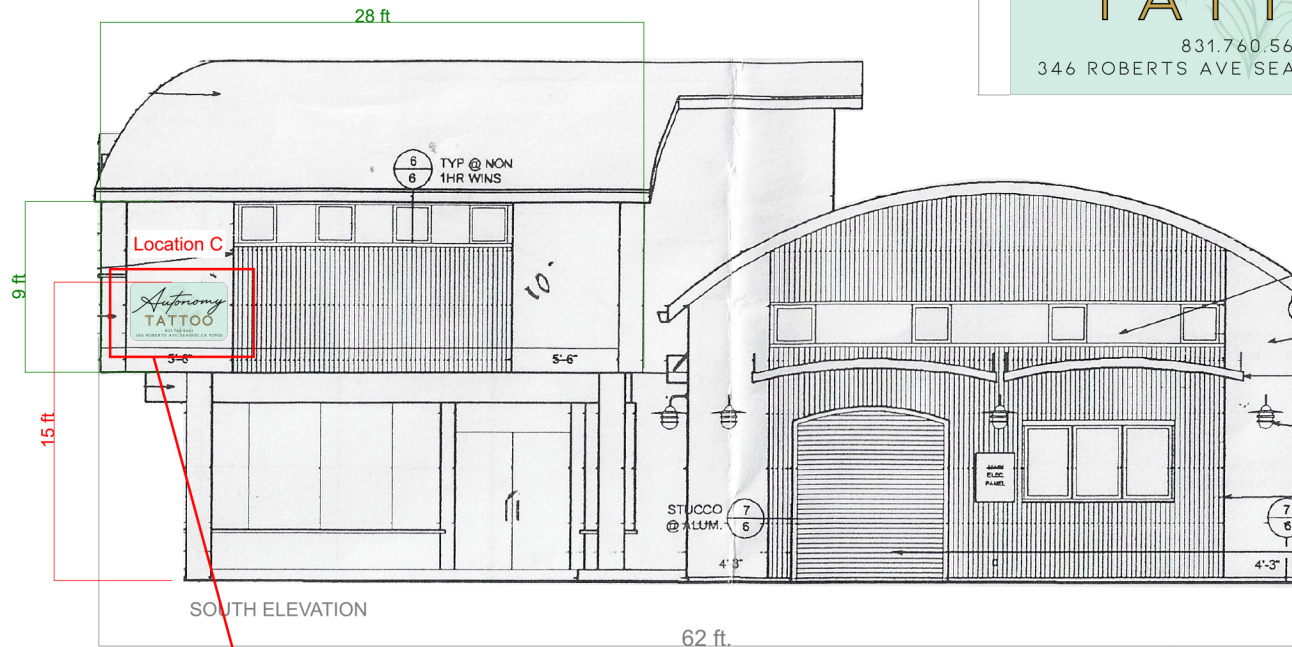
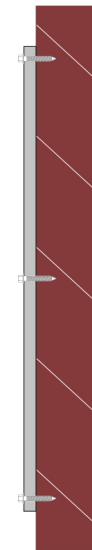
Example



(x6) screws per sign



Section



**MONTEREY
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346 Roberts Ave, Seaside, CA 93955



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Location 344-348 Roberts Ave





CITY OF SEASIDE STAFF REPORT

Item No.: 5.B.

TO: Planning Commission

BY: Beth Rocha, Senior Planner

DATE: January 24, 2024

SUBJECT: **USE PERMIT APPLICATION UP-23-10: RAMONA LOWE, APPLICANT, AND RUDY CANCHOLA, PROPERTY OWNER, REQUEST APPROVAL OF A REDUCTION TO REQUIRED PARKING FOR A NEW TATTOO STUDIO LOCATED AT 1637B DEL MONTE BOULEVARD (APN 011-551-002) IN THE REGIONAL COMMERCIAL (CRG) ZONING DISTRICT. THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES SECTION 15061(b)(3).**

PURPOSE & RECOMMENDATION

The purpose of this item is for the Planning Commission to review the request for reduction of required parking, in accordance with Seaside Municipal Code (SMC) 17.34.100.B.

Staff recommends approval of Use Permit Application Number UP-23-10 for requested reduction of required parking.

BACKGROUND

The existing single story commercial structure was established in 1981. Permit records show it was operated as a storage warehouse and there is no record of covered or enclosed on-site parking ever being available. The use is proposed to be changed from storage to a tattoo studio, a permitted use in the CRG zone under the category of "Personal Services."

CALIFORNIA ENVIRONMENTAL QUALITY ACT:

The project is Exempt the California Environmental Quality Act (CEQA) Guidelines Section 15061(b)(3):

Evidence: *The request for reduction of the required parking is covered by the common sense exemption that CEQA applies only to projects which have the potential for*

causing a significant effect on the environment. There is no possibility that the Use Permit and associated scope, if approved, would have a significant impact on the environment as there is currently no on-site parking and that condition would remain unchanged.

STAFF ANALYSIS:

In accordance with SMC 17.34.100.B, the Planning Commission may reduce the number of parking spaces required by Section 17.34.040 through the granting of a Use Permit, after making the required findings, in addition to the findings required by Section 17.62.070.

The proposed tattoo studio is 612 square feet and in accordance with SMC 17.34.040, Table 3-8 would be classified as a Group Two use with a "medium parking demand," requiring one space for each 300 sf or less, with a minimum requirement of five spaces. Therefore, five spaces are required and the applicant is requesting a reduction of the required parking to no parking spaces provided.

The existing 612 sf commercial structure is nonconforming with respect to parking, with no on-site or garage parking available. The existing structure's location limits access to the open space at the back of the property, for which there is no access easement at the rear. Additionally, if the site could provide interior parking space(s) accessed from Del Monte, then they would occupy a significant portion of the existing square footage and make the proposed use unfeasible, due to limited size. Additionally, exiting in reverse onto Del Monte Blvd. would be extremely dangerous to the public, due to lack of visibility and traveling vehicles speeds. The existing parcel size and structure's location eliminates the possibility of parking on the site. The one-seat tattoo studio would be by-appointment-only, which further supports the request for the reduction of the parking requirements, as the tattoo studio will only accommodate one customer at any given time.

Findings SMC 17.34.100.B. Reduction of Required Parking:

1. A structure with nonconforming parking is proposed for rehabilitation and the existing structure's location, underlying parcel size or topography, or public safety concerns render the applicable parking requirement unreasonable.

Evidence: *The existing 612 sf commercial structure is nonconforming with respect to parking, with no on-site or garage parking available. The existing structure's location limits access to the open space at the back of the property, for which there is no access easement at the rear. Additionally, if the site could provide one interior parking space(s) accessed from Del Monte, then they would occupy a significant portion of the existing square footage and make the proposed use unfeasible, due to limited size. Additionally, exiting in reverse onto Del Monte Blvd. would be extremely dangerous to the public, due to lack of visibility and traveling vehicles speeds. It's unlikely that a curb cut would be approved due to safety concerns. The existing parcel size and structure's location eliminates the possibility of parking on the site.*

2. An applicant is able to provide quantitative information that documents the need for fewer spaces (e.g., sales receipts, documentation of customer frequency).

Evidence: *The project includes a condition of approval that services are provided by-appointment only, which will reduce the number of walk-ins and the potential of multiple people being at the business at the same time.*

Findings SMC 17.62.070. Use Permit and Minor Use Permit:

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: *The proposed use of a tattoo studio in the existing nonconforming commercial structure is permitted by-right in the Regional Commercial Zone and the project would comply with all other applicable provisions of the zoning ordinance and the municipal code.*

2. The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: *Regional Commercial uses are defined as large scale commercial development with retail, entertainment, and or service uses of a scale and function to serve a regional market. However, on a parcel of approximately 2,250 sf the development potential is limited. The current 612 sf commercial building is proposed to accommodate a tattoo studio, a permitted by-right commercial use that is limited in Seaside and has the potential to attract a regional clientele.*

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *The existing structure and proposed use are compatible with the existing and planned future land uses in the vicinity, with existing small automotive repair shops in the vicinity, as well as restaurants and cafes. Additionally, the project site is located within a five-minute walk of the city's municipal parking lot on the corner of Broadway and Del Monte.*

4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The site is physically suitable for the proposed use, improving and existing site from a long-term vacated site to a small, locally-owned commercial business. The use is allowed in the zone and the by-appointment only condition of approval on the business will limit the intensity of the use. Additionally the hours of operation would be 10am-7pm every day. There is existing access to utilities and an absence of physical constraints.*

5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: *Granting the Use Permit for a reduction of the required parking would not be detrimental to the public interest, health, safety, convenience, or welfare, or*

materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located, as parking on-site would present safety concerns and there is free parking available to customers at the city's municipal parking lot, which is within a five minute walk of the subject site.

ATTACHMENTS

1. Attachment 1: Draft Resolution
 2. Exhibit A to Attachment 1: Plans
-

**PLANNING COMMISSION
RESOLUTION NO. XXXX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
SEASIDE, STATE OF CALIFORNIA, APPROVING USE PERMIT
APPLICATION NUMBER UP-23-10 FOR A REDUCTION TO
REQUIRED PARKING FOR A NEW TATTOO STUDIO LOCATED AT
1637B DEL MONTE BOULEVARD (APN 011-551-002) IN THE
REGIONAL COMMERCIAL (CRG) ZONING DISTRICT.**

WHEREAS, Ramona Lowe, applicant, and Rudy Canchola, property owner, applied for UP-23-10; and

WHEREAS, the proposed project requires approval by the Planning Commission, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Planning Commission considered oral comments and written information concerning Use Permit application No. 23-10 at a duly noticed public hearing that the Planning Commission held on January 24, 2024.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following finding:

1. The project is Exempt the California Environmental Quality Act (CEQA) Guidelines Section 15061(b)(3):

Evidence: *The request for reduction to the required parking is covered by the common sense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. There is no possibility that the Use Permit and associated scope, if approved, would have a significant impact on the environment as there is currently no on-site parking and that condition would remain unchanged.*

NOW, THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. 23-10 in accordance with SMC 17.34.100.B and 17.62.070:

1. A structure with nonconforming parking is proposed for rehabilitation and the existing structure's location, underlying parcel size or topography, or public safety concerns render the applicable parking requirement unreasonable.

Evidence: *The existing 612 sf commercial structure is nonconforming with respect to parking, with no on-site or garage parking available. The existing structure's location limits access to the open space at the back of the property, for which there is no access easement at the rear. Additionally, if the site could provide one interior parking space(s) accessed from Del Monte, then they would occupy a significant portion of the existing square footage and make the proposed use unfeasible, due to limited size. Additionally, exiting in reverse onto Del Monte Blvd. would be extremely dangerous to the public, due to lack of visibility and traveling vehicles speeds. It's unlikely that a curb cut would be approved due to safety concerns. The existing parcel size and structure's location eliminates the possibility of parking on the site.*

2. An applicant is able to provide quantitative information that documents the need for fewer spaces (e.g., sales receipts, documentation of customer frequency).

Evidence: *The project includes a condition of approval that services are provided by-appointment only, which will reduce the number of walk-ins and the potential of multiple people being at the business at the same time.*

3. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: *The proposed use of a tattoo studio in the existing nonconforming commercial structure is permitted by-right in the Regional Commercial Zone and the project would comply with all other applicable provisions of the zoning ordinance and the municipal code.*

4. The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: *Regional Commercial uses are defined as large scale commercial development with retail, entertainment, and or service uses of a scale and function to serve a regional market. However, on a parcel of approximately 2,250 sf the development potential is limited. The current 612 sf commercial building is proposed to accommodate a tattoo studio, a permitted by-right commercial use that is limited in Seaside and has the potential to attract a regional clientele.*

5. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *The existing structure and proposed use are compatible with the existing and planned future land uses in the vicinity, with existing small automotive repair shops in the vicinity, as well as restaurants and cafes. Additionally, the project site is located*

within a five-minute walk of the city's municipal parking lot on the corner of Broadway and Del Monte.

6. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The site is physically suitable for the proposed use, improving and existing site from a long-term vacated site to a small, locally-owned commercial business. The use is allowed in the zone and the by-appointment only condition of approval on the business will limit the intensity of the use. Additionally the hours of operation would be 10am-7pm every day. There is existing access to utilities and an absence of physical constraints.*

7. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: *Granting the Use Permit for a reduction to the required parking would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located, as parking on-site would present safety concerns and there is free parking available to customers at the city's municipal parking lot, which is within a five minute walk of the subject site.*

BE IT FURTHER RESOLVED, the Planning Commission approves UP-23-10 subject to the following Conditions of Approval:

Building:

1. Construction must comply with all requirements of the California Building Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

Fire Department:

2. Construction must comply with all requirements of the California Fire Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

Planning:

3. Appointments are required for all clients to receive a tattoo.
4. The tattoo studio is limited to one tattoo chair for servicing clients.

Engineering and Public Works:

5. The project must implement storm water best management practices (BMPs) during construction. (SMC 8.46)
 - a. Complete and submit the Storm Water Compliance Tracking Form, with signature with building permit application.
 - b. A project specific Erosion and Sediment Control Plan (ESCP) is required of the applicant as part of building permit application.
6. Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Work Department.

Standard:

7. Except as modified by the conditions of approval, plans submitted for Building Permits must be in compliance with Exhibit A: Project Plans.
8. The applicant agrees as a condition and in consideration of the approval of this permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
9. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
10. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within 15 days from the date of its approval.
11. This approval shall become null and void unless a Building Permit application is submitted within twelve (12) months of January 31, 2024. Time extensions may be granted by the original approval body if a written request and associated fee are received by the Community Development Department within 30 days prior to

the expiration. This approval shall also become null and void if the implementing Building Permit application expires.

12. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Seaside, State of California, on the 24th day of January 2024, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Will Silva, Chairperson

ATTEST:

Planning Commission Secretary

Exhibits:

Exhibit A: Project Plans

USE PERMIT APPLICATION No. UP-23-10
RESOLUTION No. XXXX

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature

Date

CANCHOLA BUILDING REMODEL — 1637-B DEL MONTE BLVD.

PROJECT DIRECTORY

OWNER: RUDY CANCHOLA
P.O. BOX 271
MARINA, CA 93933
(831) 444-2753

DESIGNER: RAMONA LOWE
P.O. BOX 4035
MONTEREY, CA. 93942
(831) 402-1043

STRUCTURAL
ENGINEER: HOWARD CARTER AND ASSOCIATES INC.
9600 BLUE LARKSPUR LN. #202
MONTEREY, CA 93940
(831) 373-3119

BUILDING CODE DATA

USE OF STRUCTURE: SFR
OCCUPANCY: R-3
CONSTRUCTION TYPE: VB
AREA (S.F.):
STORY: 1
SPRINKLERS: NO

PROJECT INFORMATION

PROJECT DESCRIPTION:
Remodel of existing building.

ZONING: RCB

APN# 011-551-002

LOT: .

BLOCK: .

SITE COVERAGE: 2,131 S.F.

LOT COVERAGE:

EXISTING
BUILDING COVERAGE: 612 SQ. FT.

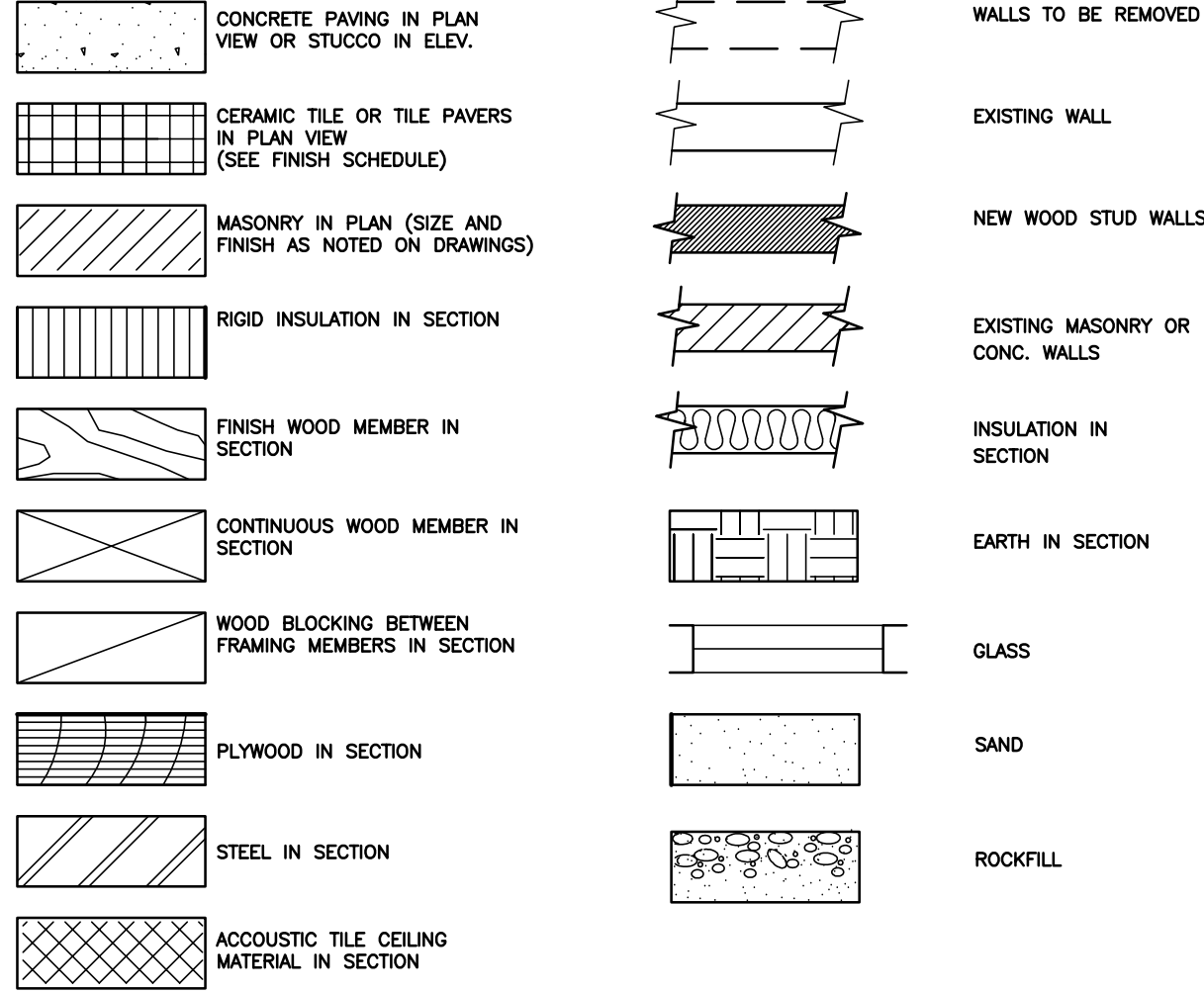
PROPOSED
BUILDING COVERAGE: 612 SQ. FT.

SETBACKS: 15'-0" SIDE
0'-0" REAR

INDEX

A0.1 TITLE SHEET
A0.2 GENERAL NOTES
A0.3 GENERAL NOTES
A1.1 EXISTING SITE PLAN
A2.1 PROPOSED SITE PLAN
A3.1 EXISTING FLOOR PLAN/ELEVATIONS
A5.1 PROPOSED FLOOR PLAN/ELEVATIONS
A9.1 SCHEDULES
A13.1 DETAILS
A14.1 ELECTRICAL PLAN

MATERIALS



GENERAL NOTES

THIS PROJECT SHALL COMPLY WITH TITLE 24 AND 2022 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ELECTRICAL CODE (CEC), AND CALIFORNIA ENERGY CODE (CEC).

BEST MANAGEMENT PRACTICES (BMP) - AT A MINIMUM THE FOLLOWING BMP'S ARE REQUIRED REGARDLESS OF WEATHER CONDITIONS. SHOW COMPLIANCE WITH ALL OF THE BELOW MEASURES ON THE EROSION AND SEDIMENT CONTROL PLANS.

- EXISTING VEGETATION - PROTECT EXISTING VEGETATION AND AVOID REMOVAL AS REQUIRED AND WHERE- EVER POSSIBLE; INSTALL APPROPRIATE/PROTECTIVE FENCING/PERIMETER CONTROLS PRIOR TO WORK.
- SWEEPING - ALL IMPERVIOUS SURFACES SHALL BE SWEEPED (NOT WASHED OR HOSED DOWN), AND MAIN- TAIN FREE OF DEBRIS AND ACCUMULATION OF DIRT.
- WASTE MANAGEMENT - ALL CONSTRUCTION WASTE SHALL BE CONTAINED ON SITE AND COVERED, IN- CLUDING TRASH, PAINT, GROUT, CONCRETE, ETC. ANY WASH OUT FACILITY SHALL BE CONTAINED, MAIN- TAINED, AND ITS CONTENTS DISPOSED OF PROPERLY; NO MATERIAL SHALL BE WASHED INTO THE STREET.
- CATCH BASIN/INLET PROTECTION - CATCH BASINS AND/OR DROP INLETS THAT RECEIVE STORM WATER MUST BE COVERED OR OTHERWISE PROTECTED FROM RECEIVING SEDIMENTS, MUD, DIRT, OR ANY DEBRIS, INCLUDING PRIOR GUTTER FILTRATION AS APPROPRIATE AND IN A MANNER NOT IMPEDING TRAFFIC SAFELY.
- PERIMETER CONTROLS/EROSION AND SEDIMENT CONTROL - PROPERLY INSTALLED SILT FENCE OR EQUI- VALENT CONTROL SHALL BE SHOWN ALONG THE SITE PERIMETER TO PREVENT MOVEMENT OF SEDIMENT AND DEBRIS OFF-SITE. NO SEDIMENT MAY LEAVE OR RUNOFF THE SITE.
- STOCKPILE MANAGEMENT - ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY. STOCKPILES SHALL BE COVERED OVERNIGHT, AND PRIOR TO, DURING AND AFTER RAIN EVENTS. NO MATERIALS SHALL LEAVE THE SITE OR MOVE INTO THE STREET.
- VEHICLES AND EQUIPMENT - RESPONSIBLE PARTIES MUST ENSURE ALL CONSTRUCTION VEHICLES AND EQUIPMENT ARE MAINTAINED IN GOOD WORKING ORDER, AND WILL NOT CAUSE DIRT, MUD, OIL, GREASE, OR FUEL TO BE DISCHARGED OR TRACKED OFF-SITE INTO THE STREET.

THIS PROJECT SHALL BE SUBJECT TO THE GREEN BUILDING PROGRAM, TO THE SATISFACTION OF THE DEPT. OF PUBLIC WORKS.

ALL OUTDOOR LIGHTING ON THE PROPERTY MUST COMPLY WITH THE STANDARDS OUTLINED IN THE RURAL OUT- DOOR LIGHTING DISTRICT, AS OUTLINED IN TITLE 22, CHAPTER 22.44, PART 9. CONTROL PLANS.

PROPERTY MUST BE MAINTAINED IN COMPLIANCE WITH THE CSD, INCLUDING: TO THE EXTENT POSSIBLE, DEVELOPMENT SHALL PRESERVE EXISTING NATURAL CONTOURS, NATIVE VEGETATION, AND NATURAL ROCK OUTCROPPING FEATURES.

ALL PORTIONS OF ANY LOT OR PARCEL OF LAND THAT ARE VISIBLE FROM A PUBLIC STREET OR PRIVATE STREET SHALL BE KEPT FREE OF DEBRIS, TRASH, LUMBER, OVERGROWN OR DEAD VEGETATION, BROKEN OR DISCARDED FURNITURE, AND HOUSEHOLD EQUIPMENT INCLUDING BUT NOT LIMITED TO REFRIGERATORS, STOVES AND FREEZERS.

NO GARAGE DOORS OF ANY KIND, REGARDLESS OF COLOR OR UNIFORMITY OF DESIGN, SHALL BE USED FOR FENCING. FENCES WITHIN A REQUIRED YARD ADJOINING ANY PUBLIC OR PRIVATE ROAD SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 22.48.160 AND SHALL BE MADE OF CHAIN LINK, SPLIT RAIL, OPEN WOOD, ROCK, BLOCK, SPLIT-FACED OR WHOLE BRICK, WOODEN PICKETS, IRON, ANY COMBINATION OF THE ABOVE, OR OTHER MATERIALS APPROVED BY THE DIRECTOR.

PER SENATE BILL 407 (2009) AND CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 301, PROPERTY OWNERS SHALL SELF-CERTIFY THAT RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. WATER-CONSERVING PLUMBING FIXTURES ARE THOSE WITH WATER CONSUMPTION RATES NOT EXCEEDING:

- * KITCHEN FAUCETS: 1.8 GPM @ 60 PSI, KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE MAX. FLOW RATE, BUT NOT TO EXCEED 2.2 GPM @ 60 PSI.
- * LAVATORY FAUCETS: 1.2 GPM @ 60 PSI MAX., 0.8 GPM @ 20 PSI MIN.
- * SHOWERHEAD: 2.0 GPM @ 80 PSI
- * WATER CLOSET: 1.28 GPF

CONTROL VALVES AND SHOWER HEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS, ARRANGED SO THAT THE SHOWER HEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER SPRAY.

WATER CLOSETS: 15" FROM CENTER TO SIDEWALL, 30" FROM CENTER TO CENTER OF SIMILAR FIXTURE; 24" MIN. CLEAR IN FRONT OF FIXTURE.

SHOWER COMPARTMENTS: 1,024 SQUARE INCHES AND CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRCLE AND A 22-INCH CLEAR OPENING/DOOR.

ABBREVIATIONS

ABBREVIATIONS:

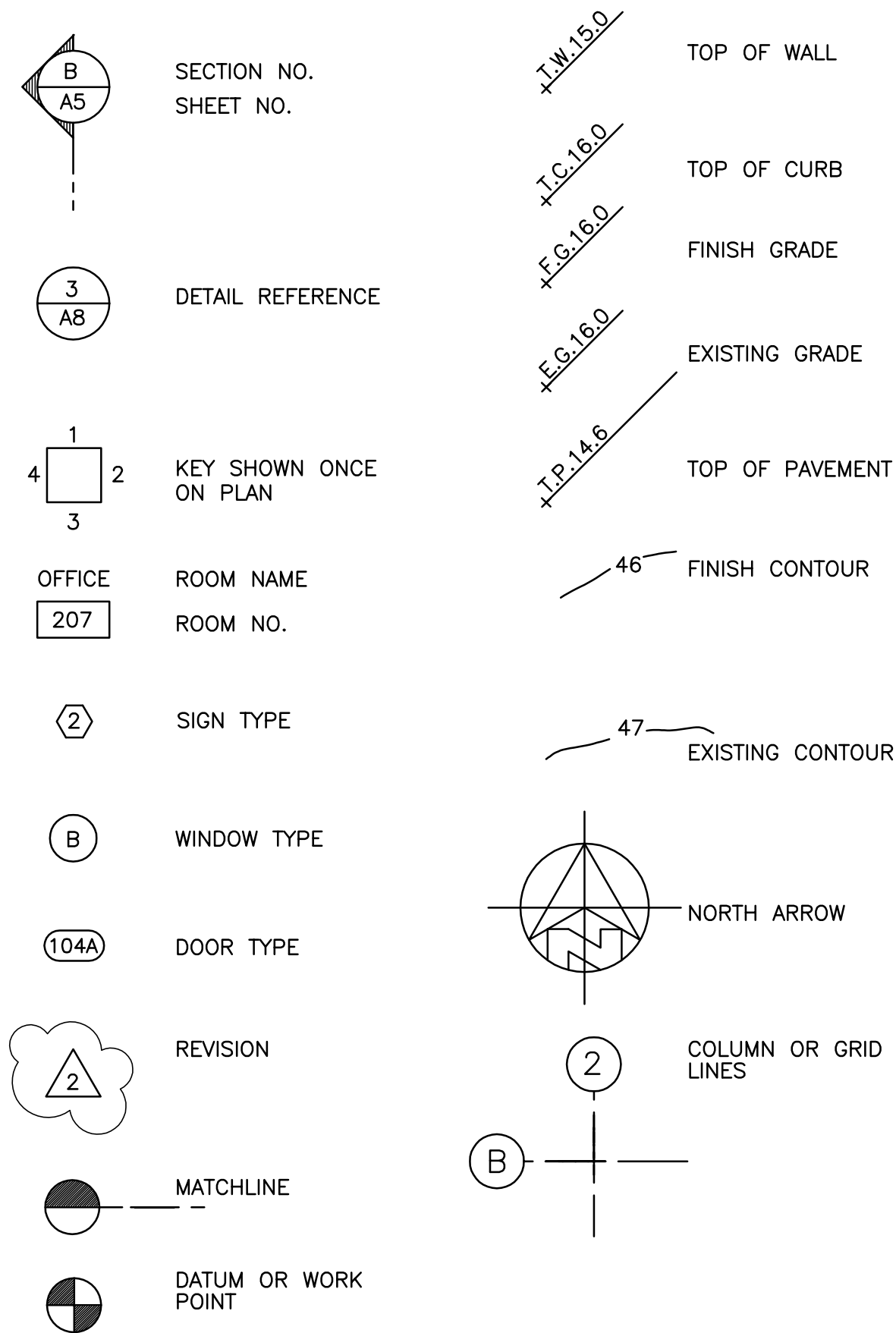
ACOUS.	ACOUSTICAL	CORR.	CORRIDOR	FLASH	FLASHING	L.H.	LEFTHAND(ED)	PTN.	PARTITION	SYS.	SYSTEM
A.B.	ANCHOR BOLT	CPR.	COPPER	FLOUR.	FLOURESCENT	L.L.	LIVE LOAD	P.T.R.	PAPER TOWEL RECEPTACLE	T.	TREAD
ABV.	ABOVE	CPT.	CARPET	F.O.C.	FACE OF CONCRETE	LT.	LIGHT	PVC.	POLYVINYL CHLORIDE	T.B.	TOWEL BAR
A/C	AIR CONDITIONING	CSMT.	CASEMENT	F.O.F.	FACE OF FINISH	LT. WT.	LIGHT WEIGHT	PWD.	PLYWOOD	T.B.N.	TYP. BOUNDARY NAIL
ACC.	ACCESS	CTR.	CENTER	F.O.M.	FACE OF MASONRY	LVR.	LOUVER	Q.T.	QUARRY TILE	T.C	TOP OF CURVE
A.D.	AREA DRAIN	CTSK.	COUNTERSUNK	F.O.S.	FACE OF STUD	MAT.	MATERIAL	R.	RISER	TEL.	TELEPHONE
ADH.	ADHESIVE	CU.	CUBIC	FPL.	FIREPLACE	MAX.	MAXIMUM	R.	RISER	T.E.N.	TYPICAL EDGE NAIL
ADJ.	ADJACENT	DBL.	DOUBLE	FPRF.	FIREPROOF	M.B.	MACHINE BOLT	RAD.	RADIUS	T.& G.	TOUNGE & GROOVE
AGGR.	AGGREGATE	DBL.	DOUBLE	FR.	FRAME(NG)	M.C.	MEDICINE CABINET	R.D.	ROOF DRAIN	THK.	THICK
AL.	ALUMINUM	DEPT.	DEPT.	FT.	FEET	MED.	MEDIUM	REF.	REFERENCE	T.P.	TOP OF PAVEMENT
ALT.	ALTERNATE	D.F.	DRINKING FOUNTAIN	FTG.	FOOTING	MECH.	MECHANICAL	REFR.	REFRIGERATOR	T.P.D.	TOILET PAPER DISPENSER
ANOD.	ANODIZED	DET.	DETAIL	FURR.	FURRING	MEM.	MEMBRANE	REIN.	REINFORCED	T.V.	TELEVISION
APPROX.	APPROXIMATE	DH.	DOUBLE HUNG	G.A.	GAUGE	MFR.	MANUFACTURER	REQ.	REQUIRED	T.O.W.	TOP OF WALL
ARCH.	ARCHITECTURAL	DIA.	DIAMETER	GALV.	GALVANIZED	M.H.	MAN HOLE	RESIL.	RESILIENT	TYP.	TYPICAL
ASPH.	ASPHALT	DISP.	DISPLAY	G.I.	GALVINIZED IRON	MIN.	MINIMUM	RET.	RETURN	UNF.	UNFINISHED
AUTO.	AUTOMATIC	D.L.	DEAD LOAD	GL.	GLASS	MISC.	MISCELLANEOUS	R.H.	RIGHTHAND(ED)	U.O.N	UNLESS OTHERWISE NOTED
AWN.	AWNING	DN.	DOWN	GND.	GROUND	M.O.	MASONRY OPENING	RM.	ROOM	UR.	URINAL
BD.	BOARD	DR.	DOOR	GRD.	GRADE	M.R.	MOISTURE RESISTANCE	RWD.	REDWOOD	V.C.T.	VINYL COMPOSITION TILE
BEL.	BELOW	DRN.	DRAIN	GRVL.	GRAVEL	MTD.	MOUNTED	R.W.L.	RAIN WATER LEADER	VERT.	VERTICALLY
BET.	BETWEEN	DRWG.	DRAWING	GWB.	GYPSPUM WALLBOARD	MTL.	METAL	S.	SOUTH	VEST.	VESTIBULE
BIT.	BITUMINOUS	DS.	DOWNSPOUT	GYP.	GYPSPUM	(N)	NEW	S.	SOUTH	VNR.	VENEER
BLDG.	BUILDING	DRW.	DRAWER	H.B.	HOSE BIBB	NAT.	NATURAL	S.B.	SOLID BLOCKING	W.	WEST OR WIDTH
BLK.	BLOCK	E.	EAST	H.C.	HOLLOW CORE	N.I.C.	NOT IN CONCRACT	S.C.	SOLID CORE	W.	WEST OR WIDTH
BLKG.	BLOCKING	EA.	EACH	HDR.	HEADER	NO.	NUMBER	S.C.D.	SEAT COVER DISPENSER	W/	WITH
BM.	BEAM	E.J.	EXPANSION JOINT	HDCP	HANDICAPPED	N.T.S.	NOT TO SCALE	SCHD.	SCHEDULE	W.C.	WATER CLOSET
BSMT.	BASEMENT	EL.	ELEVATION	HDWD.	HARDWOOD	O/	OVER	S.D.	STORM DRAIN	WD.	WOOD
BOT.	BOTTOM	ELEC.	ELECTRICAL	H.M.	HOLLOW METAL	O.A.	OVERALL	S.DISP.	SOAP DISPENSER	W/O	WITHOUT
BRG.	BEARING	ELEV.	ELEVATOR	HORIZ.	HORIZONTAL	O.A.	OVERALL	SECT.	SECTION	W.W.M.	WELDED WIRE MESH
B.U.R.	BUILT UP ROOF	EMERG.	EMERGENCY	HR.	HOUR	OBS.	OBSURE	S.F.	SQUARE FOOT	WP.	WATERPROOF
CAB.	CABINET	ENCL.	ENCLOSURE	HT.	HEIGHT	O.C.	ON CENTER	SH.	SHELF	WT.	WEIGHT
C.B.	CATCH BASIN	EQ.	EQUAL	HTG.	HEATING, VENTILATION,	O.D.	OUTSIDE DIAMETER (DIM.)	SHOW.	SHOWER	YD.	YARD
CEM.	CEMENT	EQPT.	EQUIPMENT	HVAC	AIR CONDITION	O.H.	OVERHEAD	SHT.	SHEET		
CER.	CERAMIC	E.W.C.	ELECTRICAL WATER COOLER	I.D.	INSIDE DIMENSION	OPNG.	OPENING	SIM.	SIMILAR		
C.G.	CORNER GUARD	(E)	EXISTING	IN.	INCH	OPP.	OPPOSITE	SL.	SKYLIGHT	£	AND
C.I.	CAST IRON	EXH.	EXHAUST	INT.	INTERIOR	PER.	PERIMETER	S.N.D.	SANITARY NAPKIN DISPENSER	£	ANGLE
CIR.	CIRCLE	EXP.	EXPANSION	INTM.	INTERMEDIATE	PERF.	PERFORATED	S.N.R.	SANITARY NAPKINS RECEPTACLE	•	AT
C.J.	CONSTRUCTION JOINT	EXPO.	EXPOSED	INV.	INVERT	PL.	PLATE	SPEC.	SPECIFICATION	£	CENTERLINE
CLG.	CEILING	EXT.	EXTERIOR	J.	JOIST	P.L.F.	POUNDS PER LINEAL FOOT	SPK.	SPEAKER	φ	DIAMETER
CLKG.	CAULKING	F.A.	FIRE ALARM	JAN.	JANITOR	P.LAM.	PLASTIC LAMINATED	SQ.	SQUARE	d	PENNY
CLR.	CLEAR	F.B.	FACE BRICK	J.H.	JOIST HANGER	PLAS.	PLASTER	S.S.T.	STAINLESS STEEL	⊥	PERPENDICULAR
C.M.U.	CONCRETE MASONRY UNIT	F.C.O.	FLOOR CLEAN-OUT	JT.	JOINT	PNL.	PANEL	STA.	STATION	⊞	SQUARE FOOT
CNTR.	COUNTER	F.D.	FLOOR DRAIN	KIT.	KITCHEN	PR.	PAIR	STD.	STANDARD		
C.O.	CLEAN OUT	FDN.	FOUNDATION	K.O.	KNOCK OUT	PREFAB.	PREFRFRICATED	STL.	STEEL		
COL.	COLUMN	F.E.	FIRE EXTINGUISHER	L.	LONG (LENGTH)	P.S.F.	POUNDS PER SQ. FOOT	STOR.	STORAGE		
COMP.	COMPOSITION	F.E.C.	FIRE EXTINGUISHER CABINET	LAM.	LAMINATE	P.S.I.	POUNDS PER SQ. INCH	STRUC.	STRUCTURAL		
CONC.	CONCRETE	F.G.L.	FIBERGLASS	PT.	POINT	P.T.D./R	PAPER TOWEL DISPENSER & RECEPTACLE	SUSP.	SUSPENDED		
CONN.	CONNECTION	F.H.C.	FIRE HOSE CABINET	LAV.	LAVATORY			SYM.	SYMMETRICAL		
CONSTR.	CONSTRUCTION	FIN.	FINISH	LB.	LAG BOLT			SYN.	SYNTHETIC		
CONT.	CONTINUOUS	FLR.	FLOOR								

SPECIAL INSPECTIONS

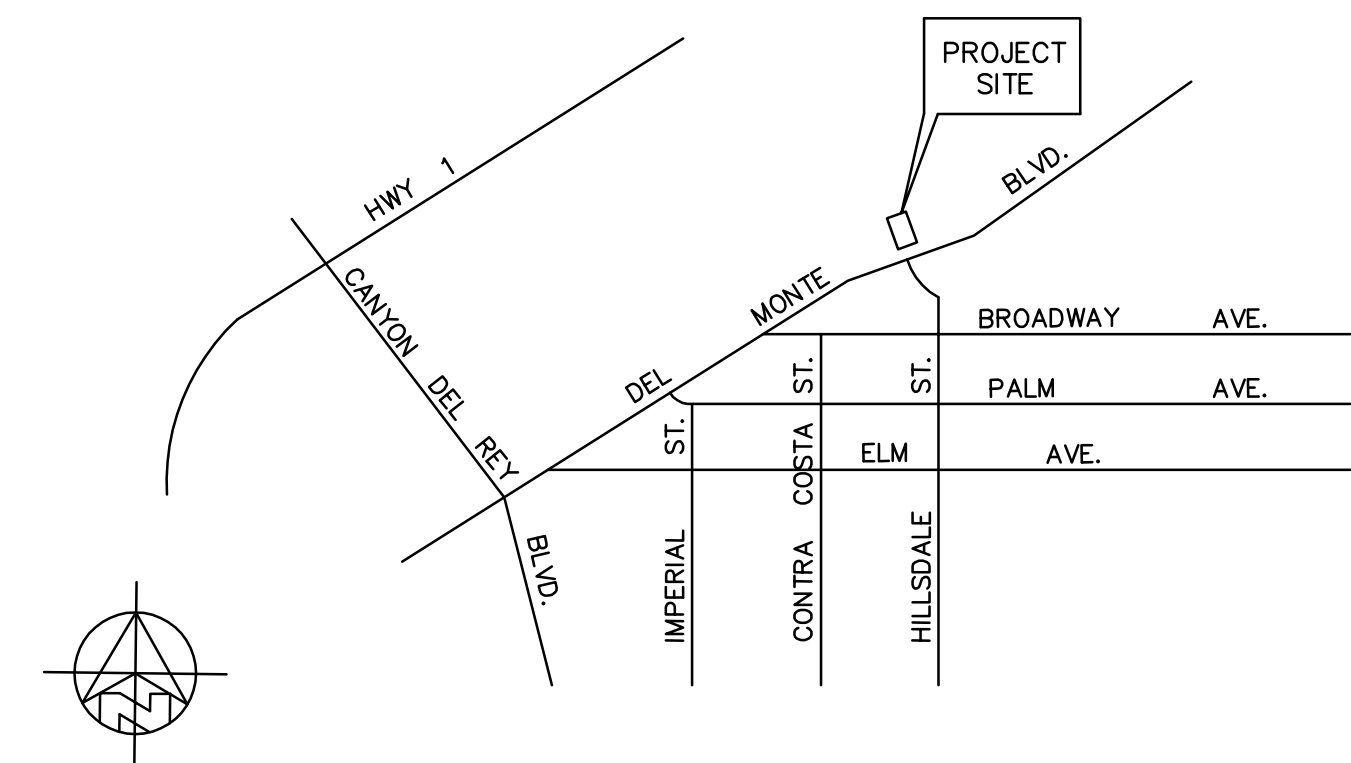
SPECIAL INSPECTIONS REQUIRED FOR:

1.

SYMBOLS



VICINITY MAP



Project / Owner:

CANCHOLA
BUILDING
REMODEL

1637-B DEL MONTE BLVD.
SEASIDE, CA

RAMONA LOWE
DESIGN
P.O. BOX 4035, MONTEREY CA 93942
(831)402-1043

Ramona Lowe

Drawn By: R.L.

Drawing Date: 02/10/23

Revisions:

1 07/10/23
2 .
3 .
4 .

Sheet Title:
TITLE SHEET

Sheet Number:

A0.1

CANCHOLA
BUILDING
REMODEL
1637-B DEL MONTE BLVD.
SEASIDE, CA



Ramona Lowe

Drawn By: R.L.

Drawing Date: 02/10/23

Revisions:

- 1 07/10/23
- 2 07/10/23
- 3 07/10/23
- 4 07/10/23
- 5 07/10/23
- 6 07/10/23
- 7 07/10/23
- 8 07/10/23
- 9 07/10/23
- 10 07/10/23

Sheet Title:
GENERAL NOTES

Sheet Number:

A0.2

General Notes

- This project shall comply with 2022 California Code of Regulations Title 24 and the 2022 editions of CRC, CMC, CPC, CEC, CEC-C, CA Green Building Standards, CA Fire Code and all City of Seaside Ordinances.
- Drawings and Specifications. Any part of the work not mentioned in the specifications but shown on the drawings or any part not shown on the drawings but described in the specifications shall be done as if fully described in the specifications and shown on the drawings. Where work is not dimensioned, calculated dimensions shall govern. Scaled dimensions shall not be used. Dimensions shall take precedence over scale at all times and large scale details shall take precedence over smaller scale details. The contractor shall verify all details and dimensions and shall be held responsible for the correctness of same. The segregation of various items of work under specified headings in the specifications is only done for the convenience of bidders. The contractor assumes all responsibility in connection with proper and completed bids whether any and all items of work are shown under the proper headings or not.
- Property lines determined by existing fence lines and are approximate.
- Bedroom windows shall be min. 20" wide, 24" tall openable area. Min. 5.7 sq. ft. Max. sill ht. 44".
- Toilets shall be maximum 1.6 gallons per flush. Shower head flow to be 2 1/2 GPM maximum faucet flows to be 2.2 gallons per minute maximum at 40 PSI. Water pressure to building shall be 50 PSI maximum. Insulate all hot water pipes.
- Seismic anchorage of water heater to include straps at a point within upper and lower third of the height of the unit. Lower strap to be located a minimum 4 inches above controls per UPC, 510.5. Provide a watertight 0.0276-inch thick, 1-1/2" deep pan with 1" drain to approved location at attic mount water heaters. Sec. 1004.3, 308.1 CMC.
- Appliances designed to be fixed in position shall be securely fastened in place. Sec. 308.1, UMC.
- Provide 12" square minimum access door panel or utility space for all plumbing fixtures with slip joint connections per 405.2 CPC.
- Plumbing system shall be installed in accordance with the California Plumbing Code, 2019. Provide clean outs for every aggregate change in direction exceeding 135 degrees. If the water supply in an accessible location to reduce the service pressure to 60 PSI or less. Hose bibs shall be protected by a non-removable backflow prevention device per UPC 603.1. Waste pipe risers and connections to second floor shall be insulated. Waste pipe may be ABS. Water supply piping shall be Type L copper below grade and Type M copper within the building. Gas lines shall be Schedule 40 black iron pipe.

PLUMBING FIXTURE CONNECTION SCHEDULE

TYPE	WASTE	VENT
LAVATORY	2.5"	1-1/2"
BATH/SHOWER	2"	1-1/2"
KITCHEN SINK	1.5"	1-1/2"
WASHER	4"	1-1/2"
WATER CLOSET	2.5"	1-1/2"
HOSEBIB	2.5"	

- All nailing per CBC Table 23-II-B-I; unless otherwise noted. (U.O.N.).
- Smoke detectors:
 - A 110 volt smoke detector shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area and each floor. Mount at ceiling at least 4" from wall or on the wall with the top of the detector within 4" to 12" of the highest point of the ceiling.
 - In new construction, required smoke detectors shall receive their primary power from the building wiring and they shall be equipped with a battery backup.
 - Battery operated only okay at existing.
 - The detectors shall emit a signal when the batteries are low.
 - Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection. Sec. 310.9.1 CBC.
- | SYMBOL | HOT | COLD |
|--------|------|------|
| LV | 1/2" | 1/2" |
| BT/SH | 1/2" | 1/2" |
| KS | 1/2" | 1/2" |
| WS | 1/2" | 1/2" |
| WC | 1/2" | 1/2" |
| HB | | |
- Penetrations of fire rated walls to be as per CBC 709. Specify required fire blocking around penetrations, electric outlet boxes staggered 24" on opposing wall sides, and methods for sealing pipes or conduits. Duct penetrations shall be minimum 26 gage sheet metal.
- Light fixtures installed in wet or damp locations (bathtub, shower, exterior, etc.) shall be labeled. Lights in clothes closets to comply with Article 410-8 CEC for clearances.
- Provide a permanent 100W light fixture at or near furnace and water heater locations controlled by a switch at passageway opening or access door. HVAC equipment to be served by a dedicated and individual branch air unit.
- Bathroom receptacle outlets shall be supplied by at least one 20-amp circuit. Such circuits shall have no other outlets. Art. 210-52 CEC.
- Exterior stucco to be 7/8", 3 coat on 2 layers of Grade 'D' paper with lath. A weep screed at or below foundation plate is required at 4" minimum above grade and 2" minimum above finish paving. CBC 2506.5.
- Occupancy separation between the garage and house shall provide 5/8" type X gypsum wallboard on all walls, ceilings, and supporting construction at garage side with one-hour construction. At door, provide a self-closing hinge, tight fitting, solid wood, 1-3/4" thick 20 minute rated weather-stripped door. Per CBC 302.4. If the separation is floor to ceiling, provide protection of supporting construction also, and provide no openings into any room used for sleeping purposes. Sections 302.4, Ex. 3, CBC.
- At showers and tub/showers, provide a smooth, non-absorbent wall surface to a height of 70" minimum above drain per CBC 807.1.3. All shower compartments shall have a minimum finished interior of 1024 square inches and shall also be capable of encompassing a 30" diameter circle. Thresholds shall be sufficient width to accommodate a minimum of 22" door. Sec. 412.1 CPC.
- Vent clothes dryer to the exterior, 14" maximum length. Provide 4" diam. minimum exhaust fan to outside air at laundry alcoves. Sec. 504.3.2 & 908.1 CMC.
- Strap water heater top and bottom.
- Carbon monoxide device(s) shall be installed on the ceiling or wall outside sleeping areas in existing dwelling units having a fossil burning heater or appliance, fireplace or an attached garage.

Energy Notes

- Pipe and duct insulation and construction shall conform to Section 2-1312, Title 24, Part 2, Chapter 13 and Table 1-T Insulation contractor shall submit written certification of compliance with 2-1311 and 2-1313. All air-distribution ducts shall be either insulated to a minimum of R4.2 or be enclosed entirely in conditioned space. Openings shall be sealed w/ mastic tape, aerosol sealant or other duct closure system that meets the applicable requirements of UL 181, UL 181A or UL 181B (CBC sec. 150m)
- All gas appliances shall have pilotless ignition per 2-1314(c).
- Provide all exhaust fans, outside air intakes and gravity relief's with backdraft or automatic dampers in the discharge duct per 2-1316(b).
- Ventilation shall be provided per 2-5316, 2-1343 and CBC 203.
- Lamps used in luminaries for general lighting in kitchens and bathrooms shall have efficacy of not less than 40 lumens per watt.
- Insulation materials shall meet CEC 2-1311(a). Insulation shall meet flame spread and smoke density requirements of CEC 2-1311(b).
Wall R-13
Roof R-30
- At new windows and exterior doors, fully weatherstrip and seal. Set bottom plate in mastic and seal exterior joints per CEC 2-1317. Gasket all wall penetrations in exterior walls-outlet boxes, piping, etc.. All manufactured windows shall meet the 2016 ANSI Air Filtration Standards not exceeding 0.3 cfm/sf. and shall be certified and labeled. Each window shall have attached to it a clearly visible temporary label certificate that lists U-Factor, solar heat gain coefficient of the product and compliance with air leakage. Label not to be removed before inspection. Fenestration products shall be certified for overall U-factors as rated in accordance with the National Fenestration Rating Council's (NFRC) and be certified for overall SHGC (CEC Sec. 116-a2)

CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) MATERIALS & WASTE MANAGEMENT Non-Hazardous Materials

- Berm and securely cover stockpiles of sand, dirt, or other construction materials with tarps when rain is forecast or if stockpiles are not actively being used. For best results, this should be done at the end of the work day throughout construction when feasible.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Waste Management

- The California Green Building Code requires all permitted residential and non-residential construction, demolition and additions/alterations projects to recycle or salvage a minimum 65% of non-hazardous construction materials from the project.
- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills. Incorporate secondary containment and locate them away from storm drain inlets.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste (the Monterey Reginal Waste Management District offers a Household Hazardous Waste Facility that accepts these items).

EQUIPMENT MANAGEMENT & SPILL CONTROL

Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipemtn, etc.
- Inlet protection is the last line of spill defense. Drains/inlets that receive storm water must be covered or otherwise protected from receiving sediment/dirt/mud, other debris, or illicit discharges, and include gutter controls and filtration where applicable in a manner not impeding traffic or safety.

Spill Prevention and Control

- Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly (see the Monterey Regional Waste Management Districts' guidelines for accepting hazardous waste materials).
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil (see the Monterey Regional Waste Management District's Contaminated Soil Acceptance Criteria).

- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: Dial 911.

EARTHWORK & CONTAMINATED SOILS

Erosion Control

- Schedule grading and excavation work for dry weather only.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filler, berms, etc.
- Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- Keep excavated soil on the site where it will not collect into the street.
- Transfer excavated materials to dump trucks on the site, not in the street.
- If any of the following conditions are observed, test for contamination and contact the Monterey County Environmental Health Department, Regional Water Quality Control Board, and local municipal inspector:
 - Unusual soil conditions, discoloration, or odor
 - Abandoned underground tanks
 - Abandoned wells
 - Buried barrels, debris, or trash

PAVING/ASPHALT WORK

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt or concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, inlet filters, berms, etc.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

CONCRETE, GROUT & MORTAR APPLICATION

- Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

LANDSCAPE MATERIALS

- Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

PAINTING & PAINT REMOVAL

Painting Cleanup

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint Removal

- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

DEWATERING

- Effectively manage all run-on, all run-off within the site, and all run-off that discharges from the site.
- Divert run-on water from offsite away from all disturbed areas or otherwise ensure protection of its water quality for compliance.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap, and/or disposal in sanitary sewer may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer and municipal staff to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

LAS MEJORES PRACTICAS DE CONSTRUCCION LOS PROYECTOS DE CONSTRUCCION DEBEN IMPLEMENTAR LAS MEJORES PRACTICAS DE CONSTRUCCION DADAS EN ESTA PAGINA YA QUE SON PERTINENTES A SU PROYECTO TODO EL ANO	
MANEJO DE MATERIALES Y RESIDUOS	
MATERIALES NO PELIGROSOS	
1.	HAGA UN BORDE ALREDEDOR Y CUBRA CON LONAS IMPERMEABLES LAS PILAS DE ARENA, TIERRA U OTROS MATERIALES DE CONSTRUCCION CUANDO HAYA PRONOSTICO DE LLUVIA O SI NO VAN A SER USADOS ACTIVAMENTE EN LOS PROXIMOS 14 DIAS.
2.	USE (PERO NO ABUSE) AGUA RECLAMADA PARA CONTROLAR EL POLVO.
MATERIALES PELIGROSOS	
1.	PONGALES ETIQUETA CON NOMBRE A TODOS LOS MATERIALES Y RESIDUOS PELGROSOS (COMO PESTICIDAS, PINTURA, DILUYENTES, SOLVENTES, GASOLINA, ACEITE Y ANTICONGELANTE) DE ACUERDO CON LAS REGLAMENTACIONES DE LA CIUDAD, DEL CONDADO, DEL ESTADO Y FEDERALES.
2.	PONGA LOS MATERIALES Y RESIDUOS PELIGROSOS EN CONTENEDORES QUE NO PIERDAN, PONGALOS LUEGO EN CONTENEDORES SECUNDARIOS APROPIADOS Y CUBRALOS DESPUES DE CADA DIA DE TRABAJO, O DURANTE LA TEMPORADA LLUVIOSA, O CUANDO SE HAYA PRONOSTICADO LLUVIA.
3.	AL APLICAR LOS MATERIALES PELIROSOS, SIGA LAS INSTRUCCIONES DEL FABRICANTE Y TENGA CUIDADO DE NO USAR MAS DE LO NECESARIO. NO APLIQUE PRODUCTOS QUIMICOS EN EL EXTERIOR CUANDO SE HAYA PRONOSTICADO LLUVIA EN LAS PROXIMAS 24 HORAS.
4.	ASEGURESE DE DESHACERSE APROPIADAMENTE DE TODOS LOS RESIDUOS PELIGROSOS.
MANEJO DE RESIDUOS	
1.	CUBRA BIEN CON LONAS IMPERMEABLES LOS CONTENEDORES CON RESIDUOS PELIGROSOS AL TERMINAR CADA DIA DE TRABAJO, Y DURANTE LA TEMPORADA DE LLUVIAS.
2.	CHEQUEE LOS CONSTENEDORES DE RESIDUOS. NUNCA USE UNA MANGUERA PARA LAVAR UN CONTENEDOR DE BASURA EN EL SITIO DE CONSTRUCCION.
3.	LIMPIE O REEMPLACE LOS EXCSADOS PORTATILES E INSPECCIONELOS CON FRECUENCIA PARA CONTROLAR PERDIDAS O DERRAMES.
4.	DESHAGASE CORRECTAMENTE DE TODOS LOS RESIDUOS Y DE LA BASURA. RECICLE LOS MATERIALES Y RESIDUOS QUE PUEDAN SER RECICLADOS (COMO ASFALTO, CONCRETO, MATERIALES AGREGADOS DE BASE COMO GRAVA Y ARENA, MADERA, TABLONES DE YESO, CAFIOS, ETC.)
5.	DESHAGASA DE LOS RESIDUOS LIQUIDOS COMO PINTURAS, DILUYENTES, SOLVENTES, COLAS Y LIQUIDOS DE LIMPIEZA CONSIDERANDOLOs COMO RESIDUOs PELIGROSOS.
ENTRADAS Y PERIMETROS DE LOS SITIOS DE CONSRUCCION	
1.	ESTABLEZCA Y MANTENGA CONTROL EFECTIVO DE LOS PERIMETROS Y ESTABILICE TODAS LAS ENTRADAS Y SALIDAS DEL SITIO DE CONSTRUCCION PARA CONTROLAR SUFICIENTEMENTE LA EROSION Y LA DESCARGA DE SEDIMENTOS DEL SITIO PARA QUE NO SALGAN DEL SITIO.
2.	BARRA O ASPIRE INMEDIATAMENTE LO QUE HAYA PASADO A LA CALLE Y CONTROLE LA FUENTE DE ORIGEN PARA PREVENIR QUE SIGA SUCEDIENDO. NUNCA LAVE CON MANGUERA LAS CALLES PARA LIMPIAR LO QUE HAYA SIDO ACARREADO O LLEVADO DEL SITIO DE CONSTRUCCION.
MANEJO DEL EQUIPO Y CONTROL DE DERRAMES	
MANTENIMIENTO Y ESTACIONAMIENTO	
1.	DESIGNE UN AREA ESPECIAL, USANDO TECNICAS APROPIADAS DE CONTROL DE POLUCION PARA ESTACIONAR LOS VEHICULOS Y EL EQUIPO, Y PARA ALMACENAMIENTO.
2.	REALICE LAS TAREAS MAYORES DE MANTENIMIENTO, LOS TRABAJOS DE REPARACION Y EL LAVADO DE VEHICULOS Y EQUIPOS FUERA DEL SITIO DE CONSTRUCCION.
3.	SI ES NECESARIO PONERLE GASOLINA A UN VEHICULO O HACER REPARACIONES EN EL SITIO, TRABAJE EN UN AREA BORDEADA, ALEJADA DE LOS DESAGILES PLUVIALES Y SOBRE UNA BANDEJA DE GOTEIO DE TAMAFIO SUFICIENTE PARA CONTENER LOS LIQUIDOS PELIGROSOS QUE SE DERRAMEN.
4.	SI ES NECESARIO LAVAR LOS VEHICULOS O EQUIPOS EN EL SITIO DE CONSTRUCCION LIMPIELOS SOLO CON AGUA, EN UN AREA CONTENIDA QUE NO PERMITA QUE EL AGUA DE ENJUAGUE LLEGUE A CUNETAS, CALLES, DESAGILES DE AGUAS PLUVIALES O SUPERFICIES ACUATICAS (LAGOS, ARROYOS, ETC.).
5.	NO LAVE VEHICULOS O EQUIPOS EN EL SITIO DE CONSTRUCCION USANDO JABONES, SOLVENTES, DESGRASADORES, EQUIPO DE LIMPIEZA EN SECO, ETC.
PREVENCION Y CONTROL DE DERRAMES	
1.	MANTENGA A MANO EN EL SITIO DE CONSTRUCCION, Y EN TODO MOMENTO, LOS MATERIALES PARA LIMPIAR DERRAMES (TRAPOS, ABSORBENTES, ETC.).
2.	INSPECCIONE FRECUENTEMENTE LOS VEHICULOS Y EQUIPOS PARA DESCUBRIR PERDIDAS DE FLUIDOS Y REPARELAS INMEDIATAMENTE. USE BANDEJAS DE GOTEIO PARA RECOGER EL LIQUIDO QUE PIERDA HASTA QUE PUEDA HACER LAS REPARACIONES.
3.	LIMPIE LOS DERRAMES O PERDIDAS INMEDIATAMENTE Y DESHAGASE APROPIADAMENTE DE LOS MATERIALES DE LIMPIEZA.
4.	NO LAVE CON MANGUERA LAS SUPERFICIES DONDE SE HAYAN VOLCADO LIQUIDOS. USE METODOS EN SECO (MATERIALES ABSORFBENTES, ASERRIN DE CAJAS SANITARIAS PARA GATOS O TRAPOS).
5.	BARRA INMEDIATAMENTE LOS MATERIALES SECOS QUE SE HAYAN DESPARRAMADO. NO TRATE DE DESHACERSE DE ELLOS USANDO AGUA, NI DE ENTERRARLOS.
6.	LIMPLE LOS DERRAMES EN LA TIERRA EXCAVANDO LA TIERRA CONTAMINADA Y DESHACIENDOSE CORRECTAMENTE DE ELLA.
7.	COMUNIQUE INMEDIATAMENTE CUALQUIER DERRAME SIGNIFICATIVO. LA LEY OBLIGA COMUNICAR TODOS LOS DERRAMES DE MATERIALES PELIGROSOS, INCLUYENDO EL PETROLEO. PARA COMUNICAR UN DERRAME: 1) MARQUE EL 9–1–1 O SU NUMERO LOCAL DE EMERGENCIAS; 2) LLAME AL CENTRO DE EMERGENCIAS Y SERVICIOS DE PREVENCION DE LA OFICINA DEL GOBERNADOR, (800) 852–7550, LAS 24 HORAS DEL DIA.

TRABAJO EN LA TIERRA Y SUELOS CONTAMINADOS	
CONTROL DE EROSION	
1.	PLANEE TRABAJO DE NIVELACION Y EXCAVACION SOLO CUANDO NO VAYA A LLOVER.
2.	ESTABLECE TODAS LAS AREAS DESNUDAS, INSTALE Y MANTENGA CONTROL DE EROSION PROVISORIO (COMO TELA DE CONTROL DE EROSION O MATRIZ DE TEJIDO PEGADO) HASTA QUE SE HAYA ESTABLECIDO LA VEGETACION.
3.	PLANTE SEMILLAS O PLANTAS PARA CONTROL DE EROSION EN SUPERFICIES EN DECLIVE O DONDE NO SE PLANEE LA CONSTRUCCION INMEDIATA.
CONTROL DE SEDIMENTO	
1.	PROTEJA LAS REJILLAS DE LOS DESAGUES DE AGUAS PLUVIALES, LAS CUNETAS, CANALES Y CURSOS DE DRENAJE, USANDO APROPIADAS TECNICAS DE CONTROL DE POLUCION, COMO BOLSAS CON GRAVA, ROLLOS DE FIBRAS, BORDES, ETC.
2.	PREVENGA QUE LOS SEDIMENTOS MIGREN FUERA DEL SITIO INSTALANDO Y MANTENIENDO CONTROLES DE SEDIMENTOS, COMO ROLLOS DE FIBRA, CERCA DE SEDIMENTOS O ESTANQUES DE SEDIMENTOS.
3.	MANTENGA LA TIERRA QUE SE HAYA EXCAVADO EN EL SITIO DE CONSTRUCCION EN UN LUGAR DONDE NO PUEDA SER ACARREADA A LA CALLE.
4.	TRANSFIERA A LOS CAMIONES, EN EL SITIO MISMO DE CONSTRUCCION Y NO EN LA CALLE, LOS MATERIALES EXCAVADOS, PARA TRANSPORTARLOS.
5.	SUELOS CONTAMINADOS
6.	SI SE OBSERVAN CUALQUIERA DE LAS SIGUIENTES CONDICIONES, ANALICE LA TIERRA PARA DESCUBRIR CONTAMINACION Y COMUNIQUESE CON LA JUANTA REGIONAL DE CONTROL DE CALIDAD DEL AGUA - CONDICIONES INUSUALES EN LA TIERRA, DESCOLORMIENTO U OLOR. - TANQUES ENTERRADOS ABANDONADOS - POZOS DE AGUA ABANDONADOS. - BARRILES, BASURAS ORESIDUOS ENTERRADOS.
TRABAJO CON PAVIMENTO/ASFALTO	
1.	EVITE PAVIMENTAR O RECUBRIR PAVIMENTO EN TIEMPO DE LLUVIAS, O CUANDO SE HAYA PRONOSTICADO LLUVIA ANTES QUE EL NUEVO PAVIMENTO HAYA TENIDO TIEMPO DE SECARSE.
2.	CUBRA LAS REJILLAS DE LOS DESAGUES DE AGUAS PLUVIALES Y LAS BOCAS DE SUMIDEROS ANTES DE APLICAR LA CAPA DE SELLADO, CAPA LIGANTE, CAPS DE LECHADA (SLURRY SEAL), CAPA FINAL FLUIDA, ETC.
3.	JUNTE Y RECICLE O DESHAGASE APROPIADAMENTE DEL EXCESO DE GRAVA Y ARENA ABRASIVAS. NO LAS BARRA NI LAS EMPUJE CON AGUA A LOS DESAGUES DE AGUAS PLUVIALES.
4.	NO USE AUA PARA LAVAR PAVIMENTO DE CONRETO Y ASFALTO FRESCO.
CORTANDO CON SIERRA Y REMOVIENDO ASFALTO/CONCRETO	
1.	CUBRA COMPLETAMENTE O ERIJA UNA BARRERA ALREDEDOR DE LAS REJILLAS DE DESAGFUES DE AGUAS PLUVIALES CUANDO CORTE CON SIERRA. USE TELA DE FILTRO, FILTROS EN LAS BOCAS DE ADMISION O BOLSAS DE GRAVA PARA EVITAR QUE LA LECHADA ENTRE EN EL SISTEMA DE DESAGUES PLUVIALES.
2.	LEVANTE CON PALA ABSORBA O ASPIRE LA LECHADA PRODUCIDA POR LA SIERRA Y DESHAGASE DE TODOS LOS RESIDUOS TAN PRONTO COMO HAYA FINALIZADO EN UN SITIO, O AL TERMINAR CADA DIA DE TRABAJO (LO QUE SEA ANTES!).
3.	SI LA LECHADA PRODUCIDA POR LA SIERRA ENTRA EN UN SUMIDERO, LIMPIELO INMEDIATAMENTE.
APLICACION DE CONCRETO, LECHADA DE CEMENTO Y MORTERO	
1.	GUARDE EL CONCRETO, LA LECHADA DE CEMENTO Y EL MORTERO CUBIERTOS, EN PALETAS Y ALEJADOS DE LAS AREAS DE DESAGUE. ESTOS MATERIALES NUNCA DEBEN LLEGAR A LOS DESAGUES PLUVIALES.
2.	LAVE EL CONCRETO DEL EQUIPO Y DE LOS CAMIONES FUERA DEL SITIO DE CONSTRUCCION O EN UN AREA CONTENIDA, PARA QUE NO DESCARGUEN EN LA TIERRA SUBYACENTE O EN LAS AREAS ALREDEDOR. DEJE SECAR EL CONCRETO Y DESHAGASE DE EL COMO BASURA.
3.	JUNTE EL AGUA CON LA QUE LAVO EL CONCRETO DE AGREGADO EXPUESTO Y DESHAGASE DE ELLA APROPIADAMENTE FUERA DEL SITIO DE CONSTRUCCION.
MATERIALES DE JARDINERIA	
1.	CONTENGA LOS MATERIALES DE JARDINERIA YA APILADOS MANTENIENDOLOS CUBIERTOS CON LONAS IMPERMEABLE CUANDO NO ESTEN EN USO ACTIVO.
2.	PONGA SOBRE PALETAS LOS MATERIALES DE JARDINERIA QUE PUEDAN SUFRIR EROSION. CUBRA O GUARDE ESTOS MATERIALES CUANDO NO SCAN ACTIVAMENTE USADOS O APLICADOS.
3.	NO CONTINUE APLICANDO CUALQUIER MATERIAL DE JARDINERIA QUE PUEDA SUFRIR EROSION POR LO MENOS DOS DIAS ANTES DE UNA LLUVIA PRONOSTICADA O DURANTE TIEMPO LLUVIOSO.

REMOVIENDO PINTURA	
LIMPIEZA DESPUES DE PINTAR	
1.	NUNCA LAVE LOS PINCELES NI ENJUAGUE LOS TARROS DE PINTURA EN LA CALLE, EN LAS CUNETAS, DESAGUES PLUVIALES O SUPERFICIES DE AGUAS (ARROYOS, LAGOS, ETC.).
2.	USADO PINTURAS A BASE DE AGUA, AL TERMINAR, PINTe LO MAS QUE PUEDA CON LA ULTIMA PINTURA EN EL PINCEL. ENJUAGUE LOS PINCELES EN UN DESAGUE A LAS CLOACAS UNA VEZ QUE HAYA OBTENIDO EL PERMISO DE LAS AUTORIDADES LOCALES DEL SISTEMA DE TRATAMIENTO DE AGUAS NEGRAS. NUNCA ECHE PINTURA EN UN DESAGUE.
3.	USANDO PINTURAS A BASE DE ACEITE, PINTe LO MAS QUE PUEDA CON LA ULTIMA PINTURA EN EL PINCEL Y LIMPIE EL PINCEL CON DILUYENTE O SOLVENTE EN UN ENVASE APROPIADO. FILTRE Y VUELVA A USAR LOS DILUYENTES Y SOLVENTES. DESHAGASE DEL RESIDUO Y DEL DILUYENTE/SOLVENTE COMO DESECHOS PELIGROSOS.
REMOVIENDO PINTURA	
1.	LOS RESIDUOS DE PRODUCTOS QUIMICOS PARA REMOVER PINTURA Y LOS TROZOS Y POLVO DE PINTURAS MARINAS O DE PINTURAS QUE CONTIENEN PLOMO O TRIBUTYLIN, DEBEN SER DESECHADOS COMO RESIDUOS PELIGROSOS.
2.	LOS TROZOS DE PINTURA Y EL POLVO DE PRODUCTOS NO PELIGROSOS Y REMOVIDOS EN SECO O CON RAFAGAS DE ARENA PUEDEN SER BARRIDOS O JUNTADOS EN TELA DE PLASTICO Y ECHADOS A LA BASURA.
EXTRACCION DEL AGUA	
1.	CONTROLE EFECTIVAMENTE TODA EL AGUA QUE CORRA A, O DENTRO DEL SITIO Y LA QUE CORRA HACIA AFUERA ORIGINADA EN EL SITIO. DESVIE TODA EL AGUA QUE VENGA HACIA EL SITIO PARA QUE NO LLEGUE A LAS AREAS DISTURBADAS O DE ALGUNA OTRA MANERA ASEGURESE DE CUMPLIR CON LAS ORDENANZAS.
2.	AL EXTRACR EL AGUA, NOTIFIQUE Y OBTENGA EL PERMISO DE LA MUNICIPALIDAD LOCAL ANTES DE DESCARGAR AGUA EN LA CUNETA DE UNA CALLE O EN UN DESAGUE DE AGUAS PLUVIALES. PUEDE QUE SE REQUIERA FILTRACION, O DESVIO A TRAVES DE UN DEPOSITO, TANQUE O ENTRAMPE DE SEDIMENTO.
3.	EN LAS AREAS QUE SE SABEN CONTMINADAS, SE REQUIERE ANALISIS ANTES DE VOLVER A USAR O DESCARGAR EL AGUA SUBTERRANEA. CONSULTE CON EL INGENIERO PARA DETERMINAR SI ES NECESARIO EL ANALISIS Y COMO INTERPRETAR LOS RESULTADOS. EL AGUA SUBTERRANEA CONTAMINADA DEBE SER TRATADA O ACARREADA FUERA DEL SITIO PARA SU ELIMINACION APROPIADA.
NOTES IN ENGLISH ON PAGE A0.2	
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APLICACION DE CONCRETO, LECHADA DE CEMENTO Y MORTERO	
1.	GUARDE EL CONCRETO, LA LECHADA DE CEMENTO Y EL MORTERO CUBIERTOS, EN PALETAS Y ALEJADOS DE LAS AREAS DE DESAGUE. ESTOS MATERIALES NUNCA DEBEN LLEGAR A LOS DESAGUES PLUVIALES.
2.	LAVE EL CONCRETO DEL EQUIPO Y DE LOS CAMIONES FUERA DEL SITIO DE CONSTRUCCION O EN UN AREA CONTENIDA, PARA QUE NO DESCARGUEN EN LA TIERRA SUBYACENTE O EN LAS AREAS ALREDEDOR. DEJE SECAR EL CONCRETO Y DESHAGASE DE EL COMO BASURA.
3.	JUNTE EL AGUA CON LA QUE LAVO EL CONCRETO DE AGREGADO EXPUESTO Y DESHAGASE DE ELLA APROPIADAMENTE FUERA DEL SITIO DE CONSTRUCCION.
MATERIALES DE JARDINERIA	
1.	CONTENGA LOS MATERIALES DE JARDINERIA YA APILADOS MANTENIENDOLOS CUBIERTOS CON LONAS IMPERMEABLE CUANDO NO ESTEN EN USO ACTIVO.
2.	PONGA SOBRE PALETAS LOS MATERIALES DE JARDINERIA QUE PUEDAN SUFRIR EROSION. CUBRA O GUARDE ESTOS MATERIALES CUANDO NO SCAN ACTIVAMENTE USADOS O APLICADOS.
3.	NO CONTINUE APLICANDO CUALQUIER MATERIAL DE JARDINERIA QUE PUEDA SUFRIR EROSION POR LO MENOS DOS DIAS ANTES DE UNA LLUVIA PRONOSTICADA O DURANTE TIEMPO LLUVIOSO.

Project / Owner:

CANCHOLA
BUILDING
REMODEL
1637–B DEL MONTE BLVD.
SEASIDE, CA



Ramona Lowe

Drawn By: R.L.

Drawing Date: 02/10/23

Revisions:

1 07/10/23
2 .
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Sheet Title:
GENERAL NOTES

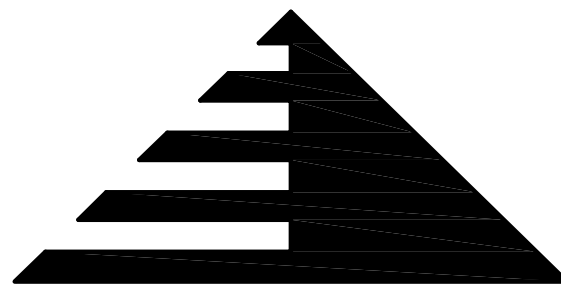
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A0.3

Project / Owner:

CANCHOLA
BUILDING
REMODEL

1637-B DEL MONTE BLVD.
SEASIDE, CA



RAMONA LOWE
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P.O. BOX 4035, MONTEREY CA 93942
(831)402-1043

Ramona Lowe

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Drawn By: R.L.

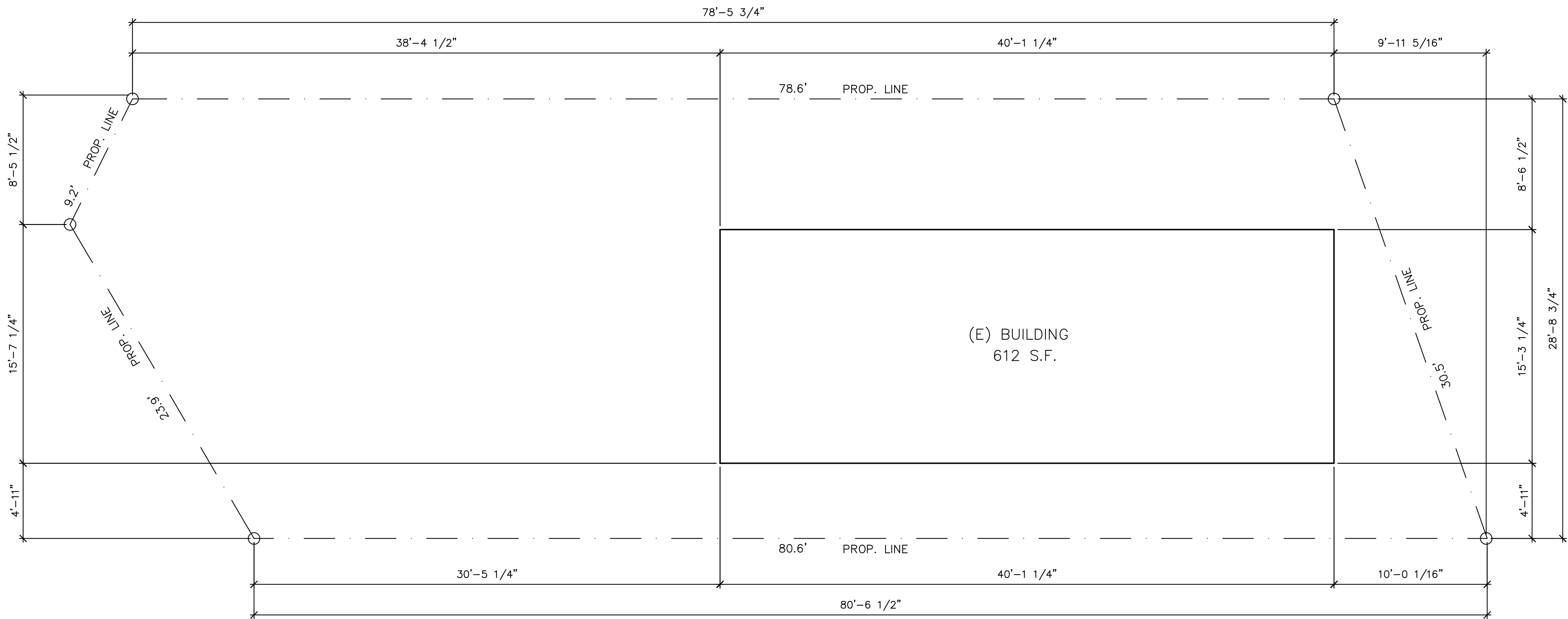
Drawing Date: 02/10/23

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Sheet Title:
EXISTING
SITE PLAN

Sheet Number:



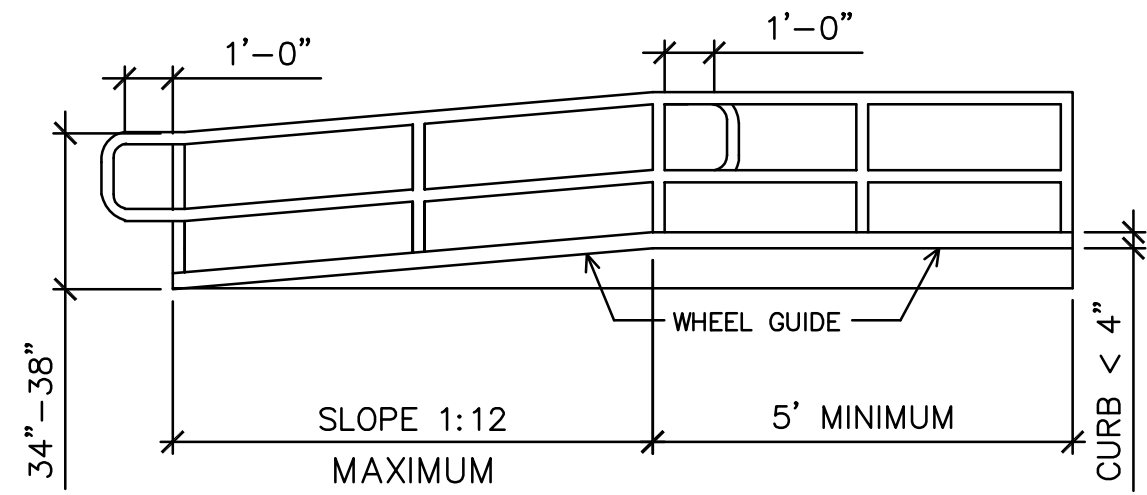
EXISTING SITE PLAN

SCALE: 1/4" = 1'-0"

A1.1

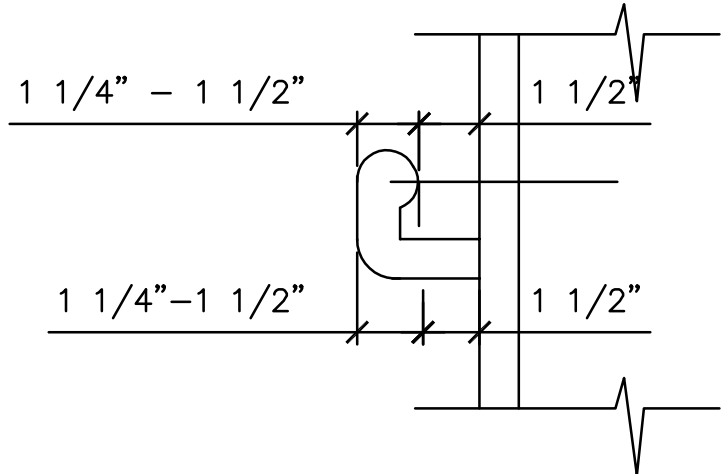
ADA RAMP REQUIREMENTS IN CALIFORNIA

- 1. Slope: Slopes for ramps that provide handicap access, are used as an exit or are in the path of travel must not exceed a 1-foot rise in 12 feet of horizontal run. The slope of existing ramps cannot exceed 1-foot rise per 8 feet of horizontal run.
- 2. Width: Ramps must be at least 48 inches wide. Top and intermediate landings must be at least 60 inches wide.
- 3. Landings: If a ramp's slope ratio is more than one vertical to 15 horizontal, it should have landings at the bottom, top and intermediate level for every 5 feet of rise. Intermediate and top landings must have a ramp run dimension of no less than 5 feet. For a landing at the bottom of a ramp, the dimension of the ramp run should be no less than 6 feet.
- 4. Maintenance: Ramps should be well maintained and in good repair to meet ADA requirements.
- 5. Doors: A door should not decrease a landing's minimum dimension to less than 42 inches. A door should also not reduce the required landing width by more than 3 1/2 inches when fully open.
- 6. Surfaces: Ramp surfaces should be roughened or made from nonslip materials.
- 7. Rails: Ramps with a slope ratio above one vertical to 15 horizontal should have handrails on either side. Intermediate levels do not require handrails. Ramps that rise more than 30 inches above the ground or an adjacent floor must also have guardrails that continue from bottom to top.



RAMP DETAILS

SCALE: NTS



HANDRAIL DETAILS

SCALE: NTS

SHEET NOTES

1 ACCESSIBLE PED. ROUTE BETWEEN CITY SIDEWALK & BUSINESS ENTRANCE. 48" MIN. WIDTH, NOT TO EXCEED 5% RUNNING SLOPE & 2% CROSS SLOPE EXCEPT @ RAMP & DOOR/GATE MANEUVERING.

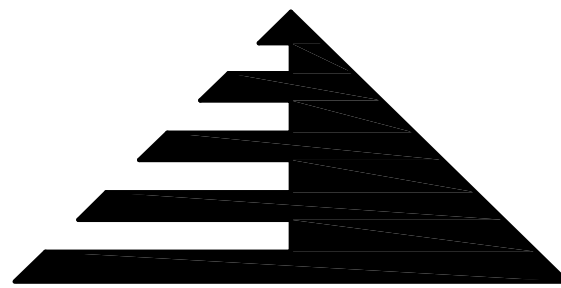
2 24" STRIKE-SIDE CLEARANCE

3 DOOR/GATE MANEUVERING AREA 60"x60" NOT TO EXCEED 2% IN ALL DIRECTIONS.

Project / Owner:

CANCHOLA BUILDING REMODEL

1637-B DEL MONTE BLVD. SEASIDE, CA



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P.O. BOX 4035, MONTEREY CA 93942
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Ramona Lowe

DEL MONTE BLVD.

Drawn By: R.L.

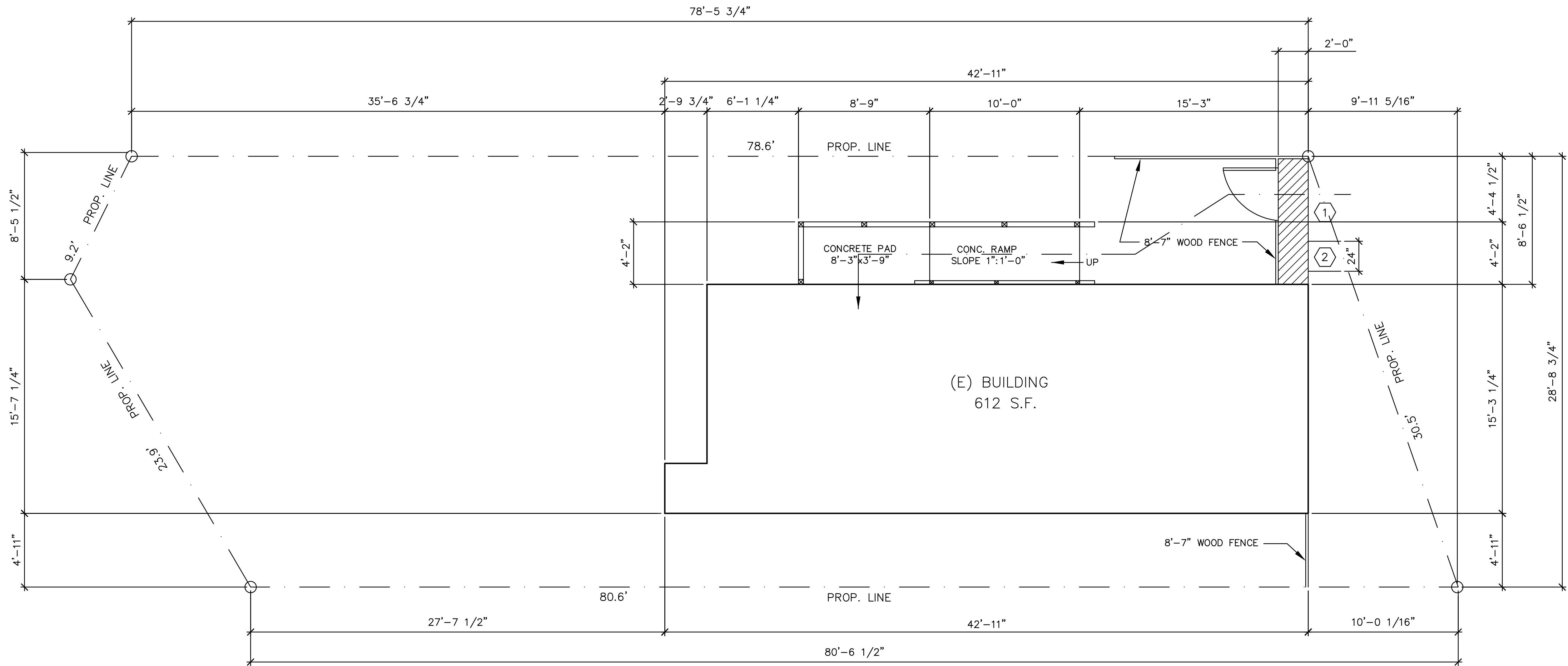
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Revisions:

- 1 07/10/23
- 2 07/10/23
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Sheet Title:
PROPOSED
SITE PLAN

Sheet Number:



PROPOSED SITE PLAN

SCALE: 1/4" = 1'-0"

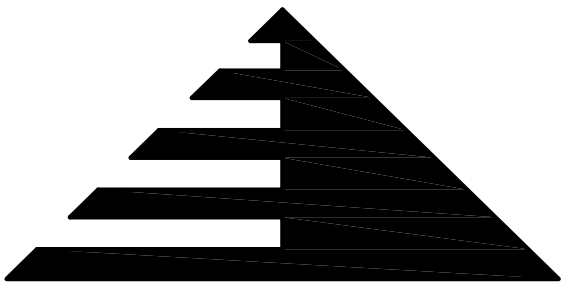
PEDESTRIAN ROUTE

A2.1

Project / Owner:

CANCHOLA
BUILDING
REMODEL

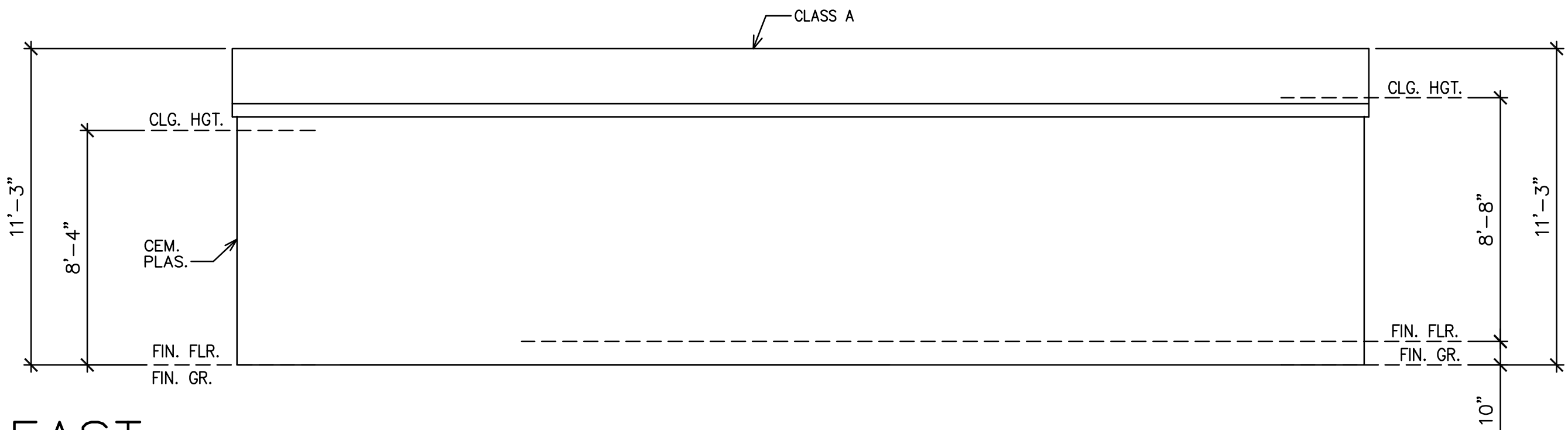
1637-B DEL MONTE BLVD.
SEASIDE, CA



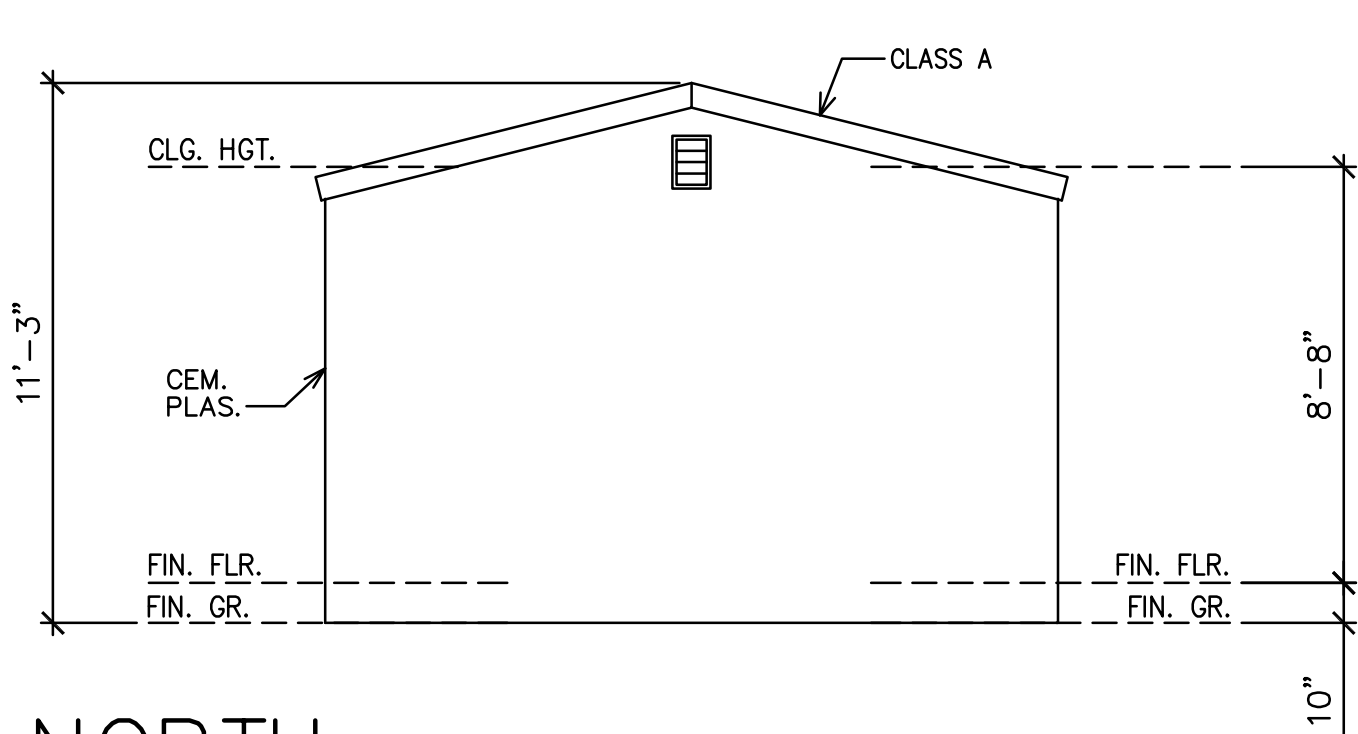
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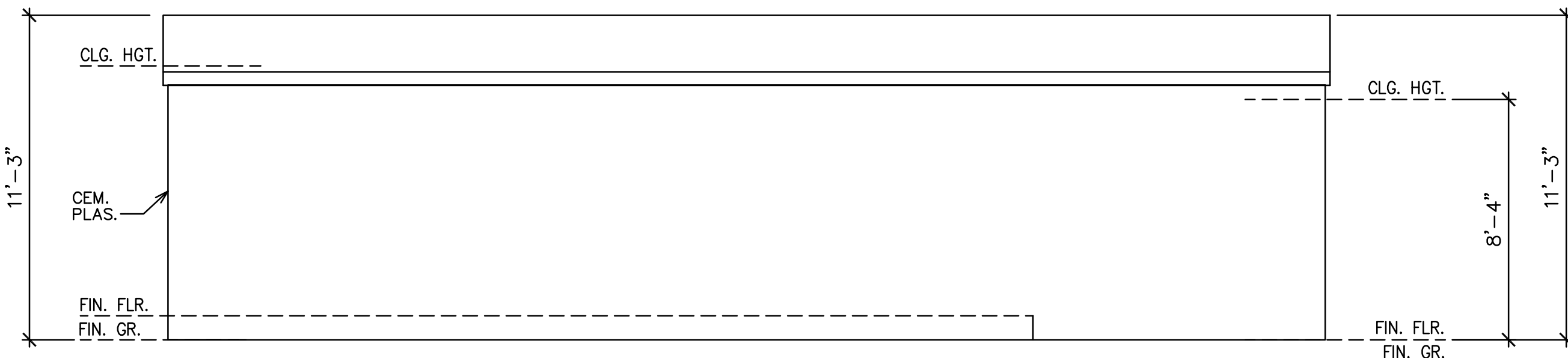
Ramona Lowe



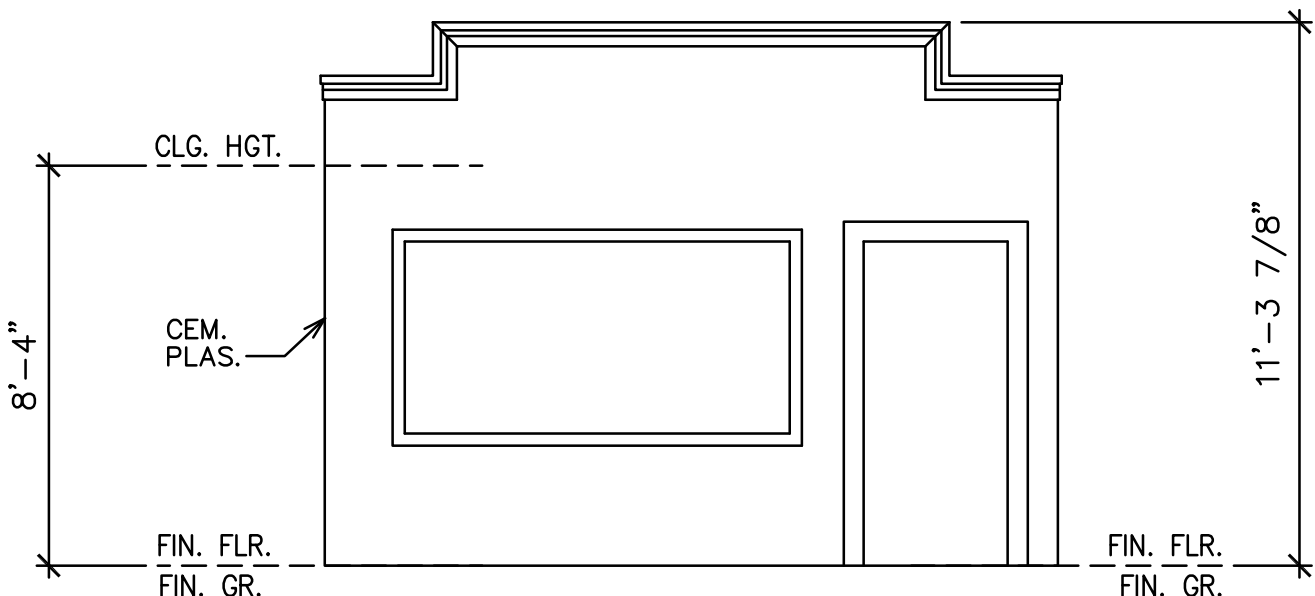
EAST



NORTH



WEST



SOUTH

ELEVATIONS

SCALE: 1/4" = 1'-0"

Drawn By: R.L.

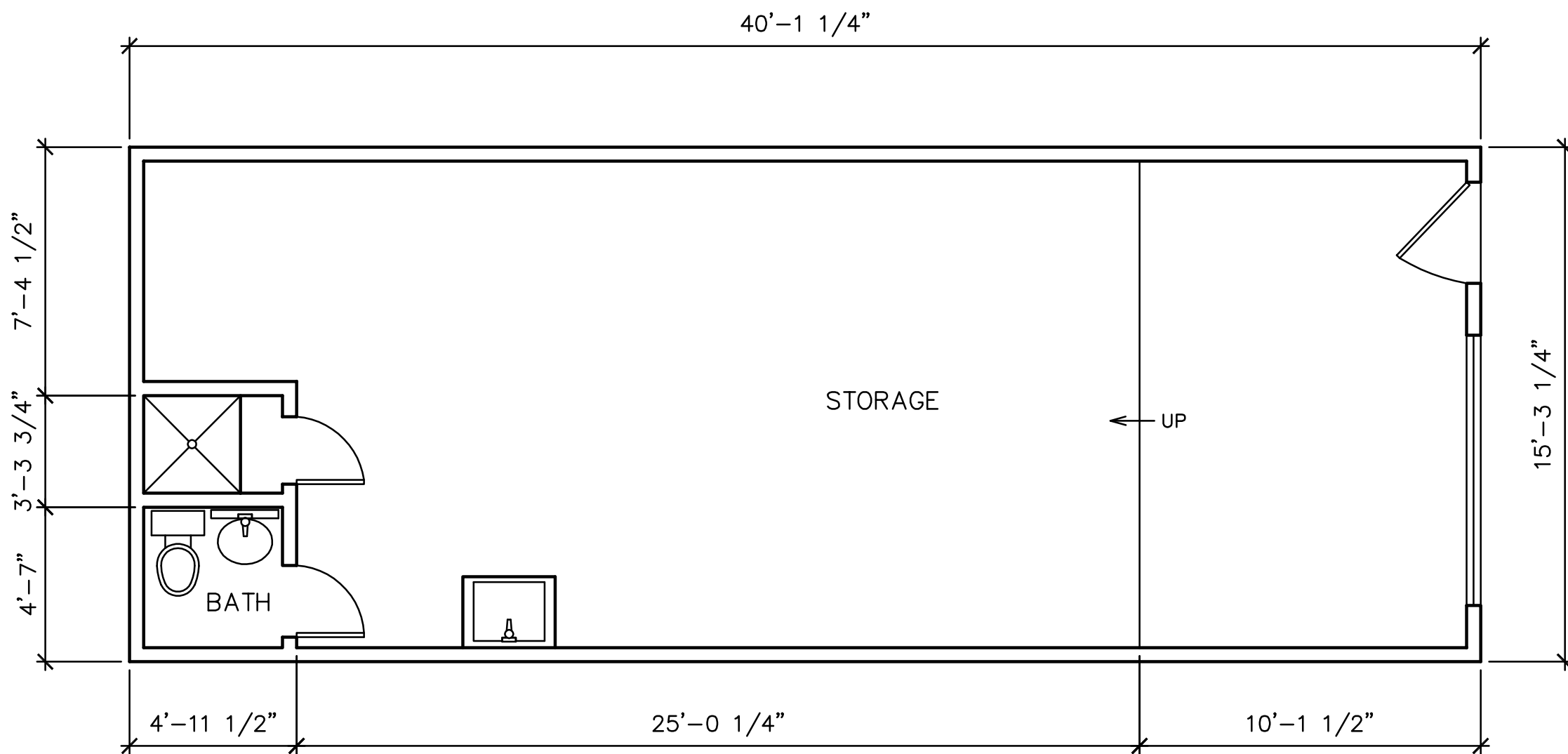
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Sheet Title:
EXISTING
FLOOR PLAN/
ELEVATIONS

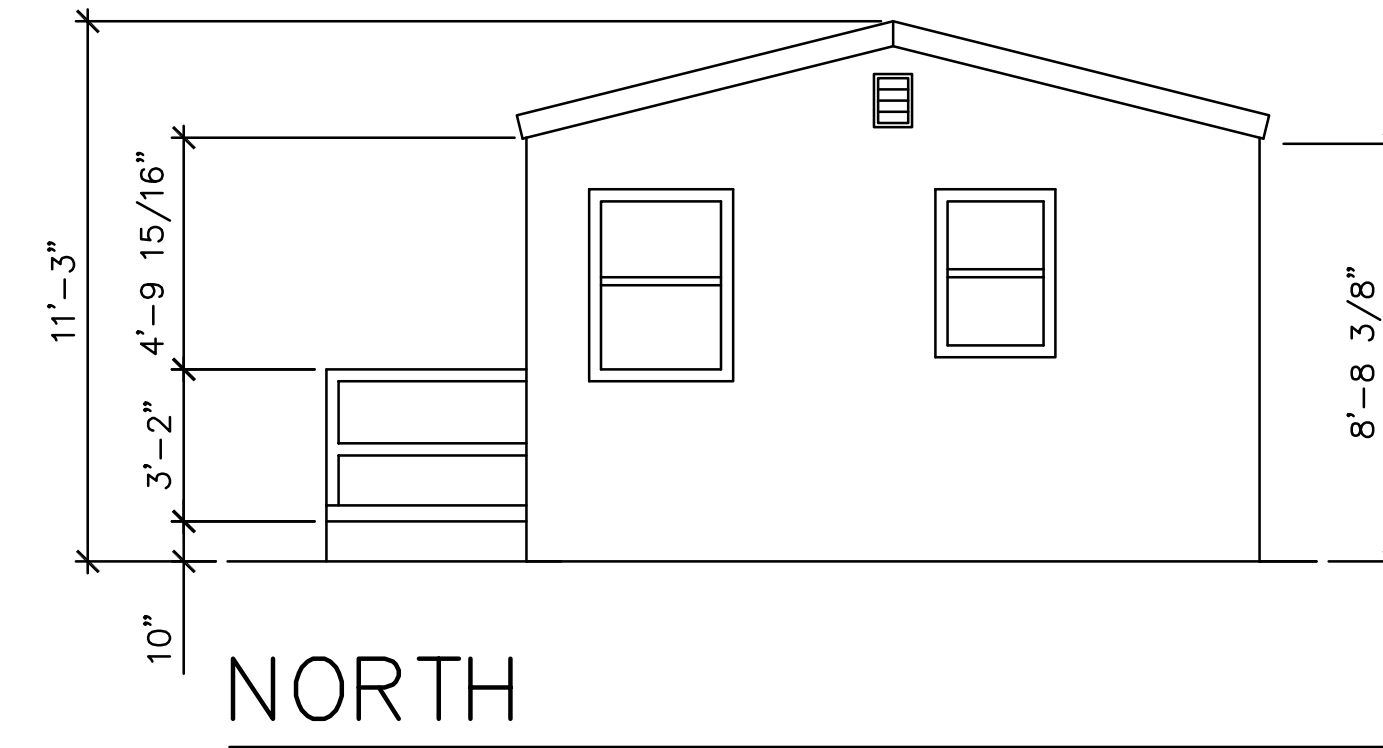
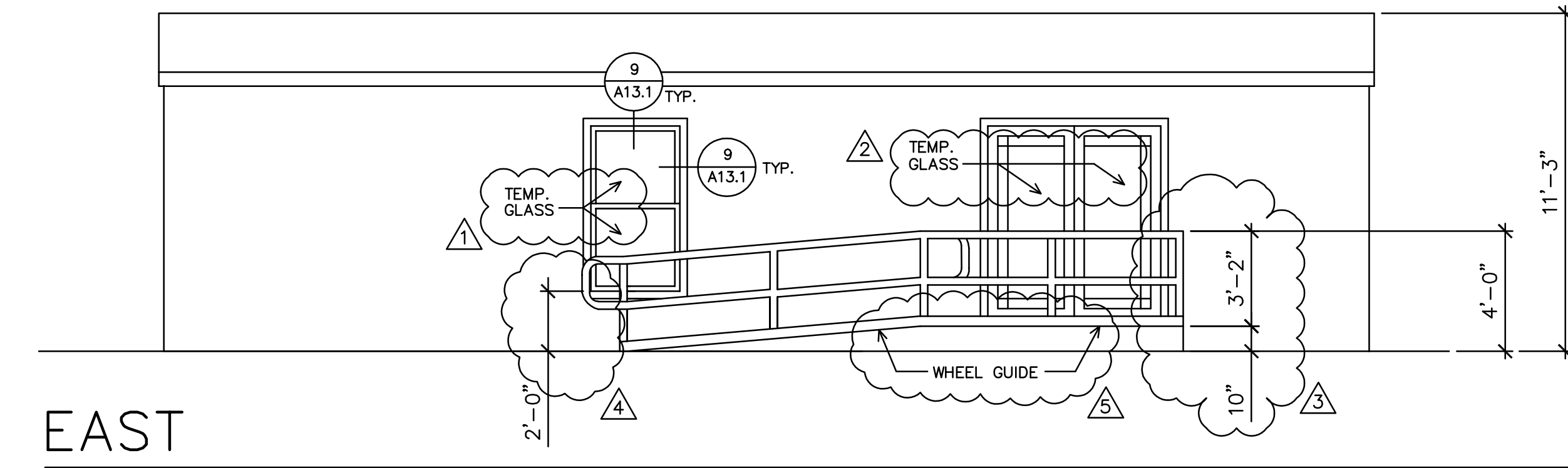
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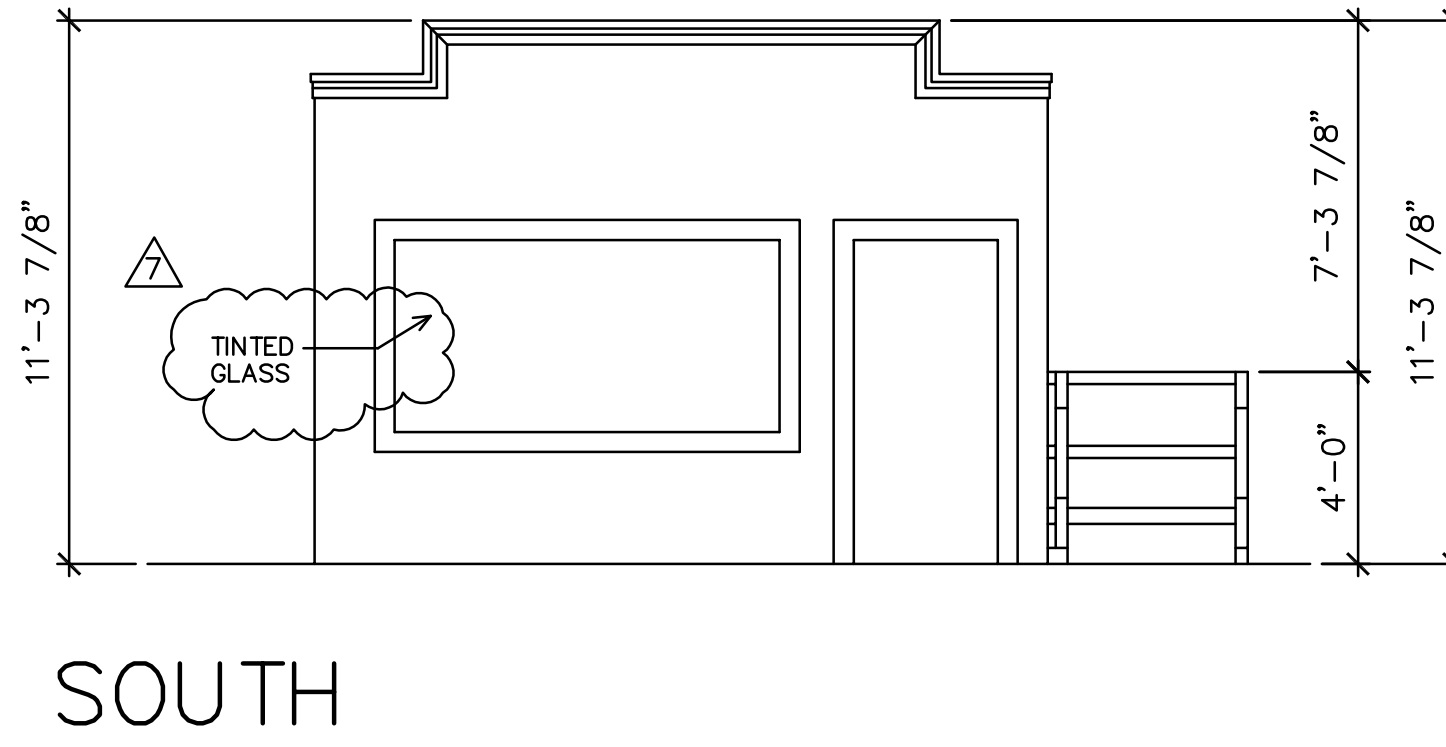
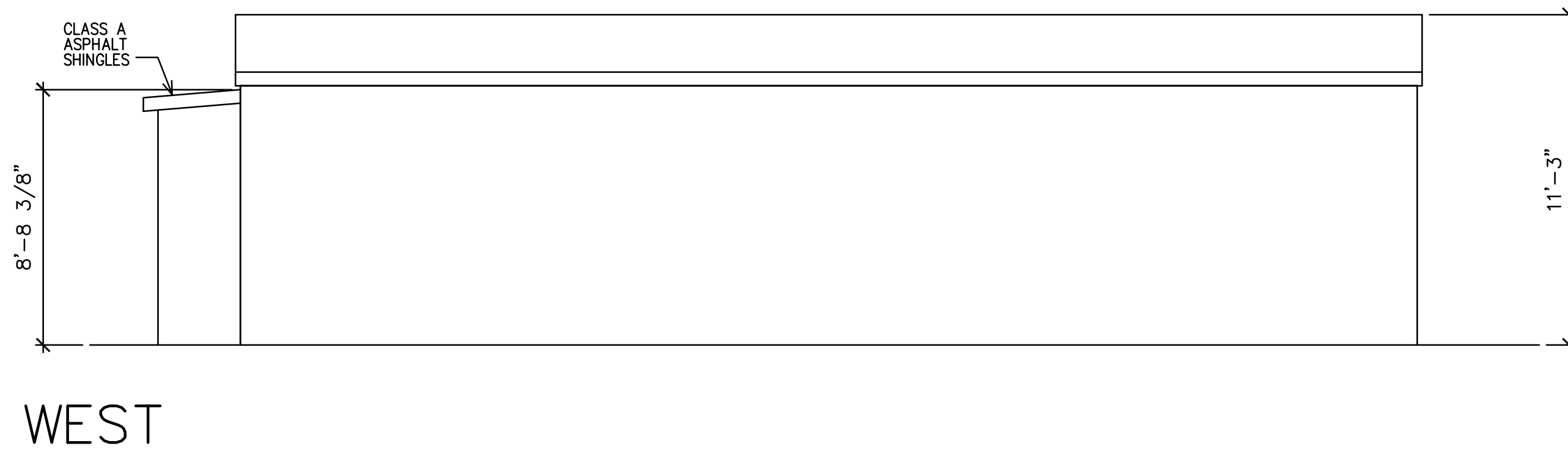
EXISTING FLOOR PLAN 612 S.F.

SCALE: 1/4" = 1'-0"

A3.1



- SHEET NOTES
- 1 4" WHEEL GUIDE, BOTH SIDES OF RAMP
 - 2 SEE STRUCTURAL ENGINEERS LETTER
 - 3 HANDRAIL ON BOTH SIDES OF RAMP
 - 4 DOOR THRESHOLD, SEE DETAIL 20 A13.1



PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

Project / Owner:

**CANCHOLA
BUILDING
REMODEL**
1637-B DEL MONTE BLVD.
SEASIDE, CA

**RAMONA LOWE
DESIGN**
P.O. BOX 4035, MONTEREY CA 93942
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Ramona Lowe

Drawn By: R.L.

Drawing Date: 02/10/23

Revisions:	
1	07/10/23
3	07/10/23
4	07/10/23
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6	07/10/23
7	12/10/23
8	12/10/23

Sheet Title:
PROPOSED
FLOOR PLAN/
ELEVATIONS

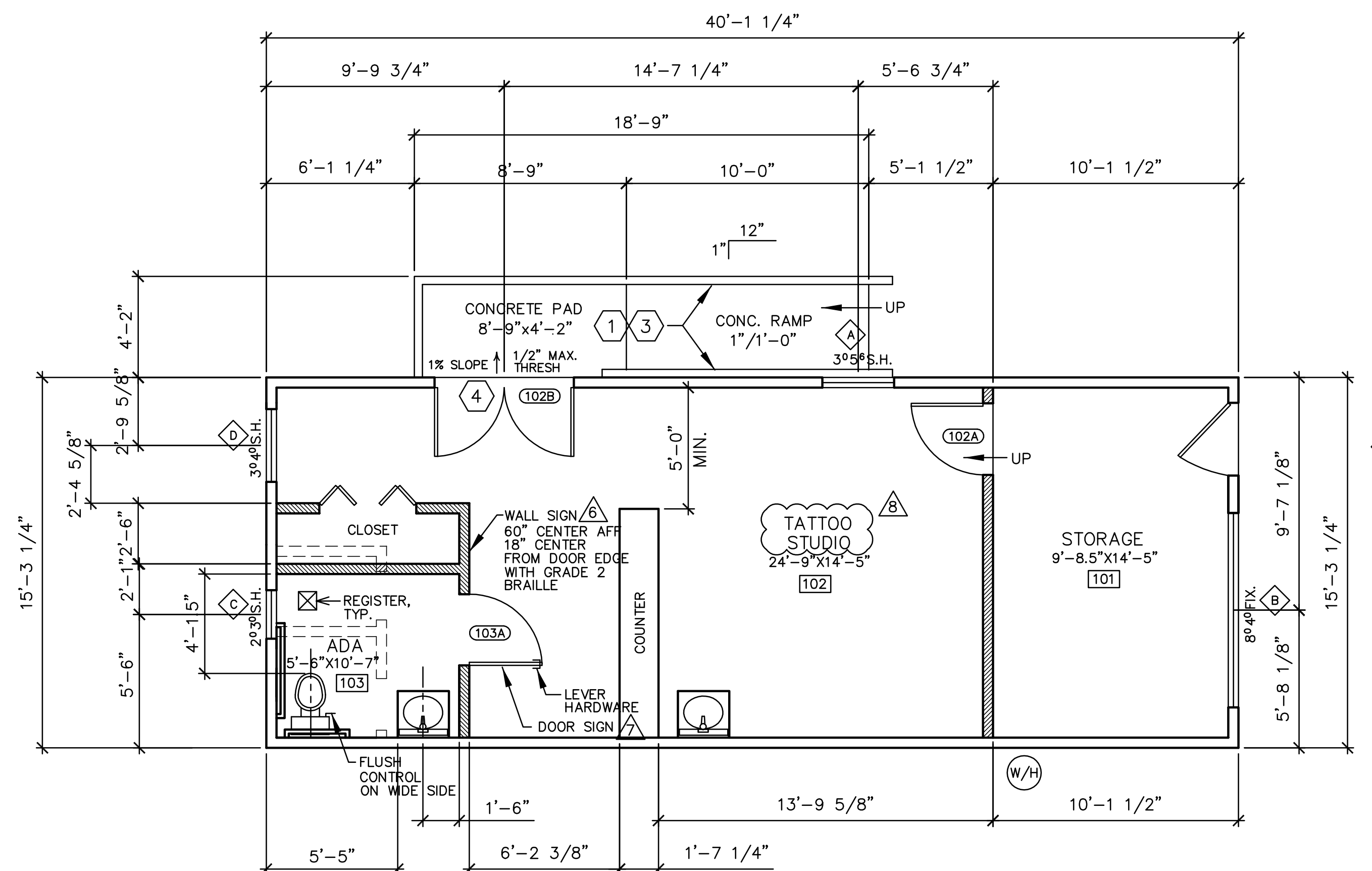
Sheet Number:

ADA BATHROOM REQUIREMENTS IN CALIFORNIA

1. Accessible accessories: An accessible restroom should include accessible toilet accessories, such as paper towel dispensers, waste receptacles, sanitary napkin dispensers and soap dispensers. Toilet accessories should be located in an accessible range of reach, with the operable part of the accessory no more than 40 inches above the floor. Accessories cannot impede the path of travel and should protrude no more than 4 inches from the wall.
2. Path of travel: Doors must be at least 36 inches wide with lever-style hardware. They should not swing into clear areas of the restroom. Clear areas must be 48 inches deep and 30 inches wide. There should also be a clear space that allows for someone to turn around while in a wheelchair in the form of a circle with a 5-foot diameter.
3. Accessible fixtures: Public restrooms should have at least one accessible toilet and lavatory. If a men's restroom contains urinals, there should be at least one accessible urinal. Accessible toilet seats should be no lower than 17 inches and no higher than 19 inches from the floor. Lavatories should be no higher than 34 inches from the floor with accessible knee clearance. Flush control should also be located no higher than 44 inches above the floor.
4. Grab rails: Grab rails must be included at the rear side of an accessible bathroom or stall. Grab rails should be mounted 33-36 inches above the floor.

ADA RESTROOM SIGN REQUIREMENTS IN CALIFORNIA

1. Signs for women's restrooms: These signs should feature a circle that has a 12-inch diameter and is 1/4 inch thick. The color of the circle should contrast with the door.
2. Signs for men's restrooms: These signs should feature a equilateral triangle that is 1/4 inch thick and has 12-inch edges. The color of the triangle should contrast with the door.
3. Signs for unisex restrooms: These signs feature a 1/4 inch thick equilateral triangle within a 12-inch diameter circle. The color of the circle must contrast with the triangle's color, the door color and the color of the surface on which the sign is mounted.
4. The edges of the shapes should be chamfered at no more than 1/8 inch or rounded or eased at a minimum of 1/8 inch. A vertex of the shape should be radiused at no more than 1/4 inch and no less than 1/8 inch.
5. Every single-occupancy restroom should be accessible to everyone, no matter their gender. Wall signs for single-occupancy restrooms should include text that reads, "Restroom," "All Gender Restroom" or "Unisex Restroom." Under this text should be the exact Braille translation. Local codes may vary and require additional features on signs meant to identify restrooms.
6. Signs for unisex restrooms: These signs feature a 1/4 inch thick equilateral triangle within a 12-inch diameter circle. The color of the circle must contrast with the triangle's color, the door color and the color of the surface on which the sign is mounted. 60" center AFF.



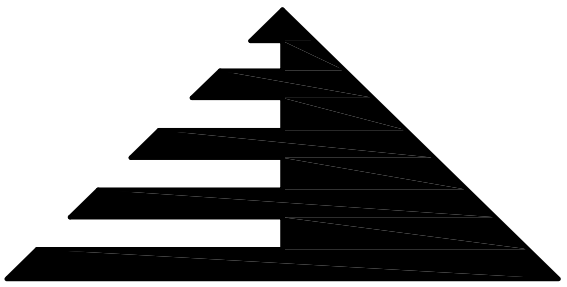
PROPOSED FLOOR PLAN 612 S.F.

SCALE: 1/4" = 1'-0"

A5.1

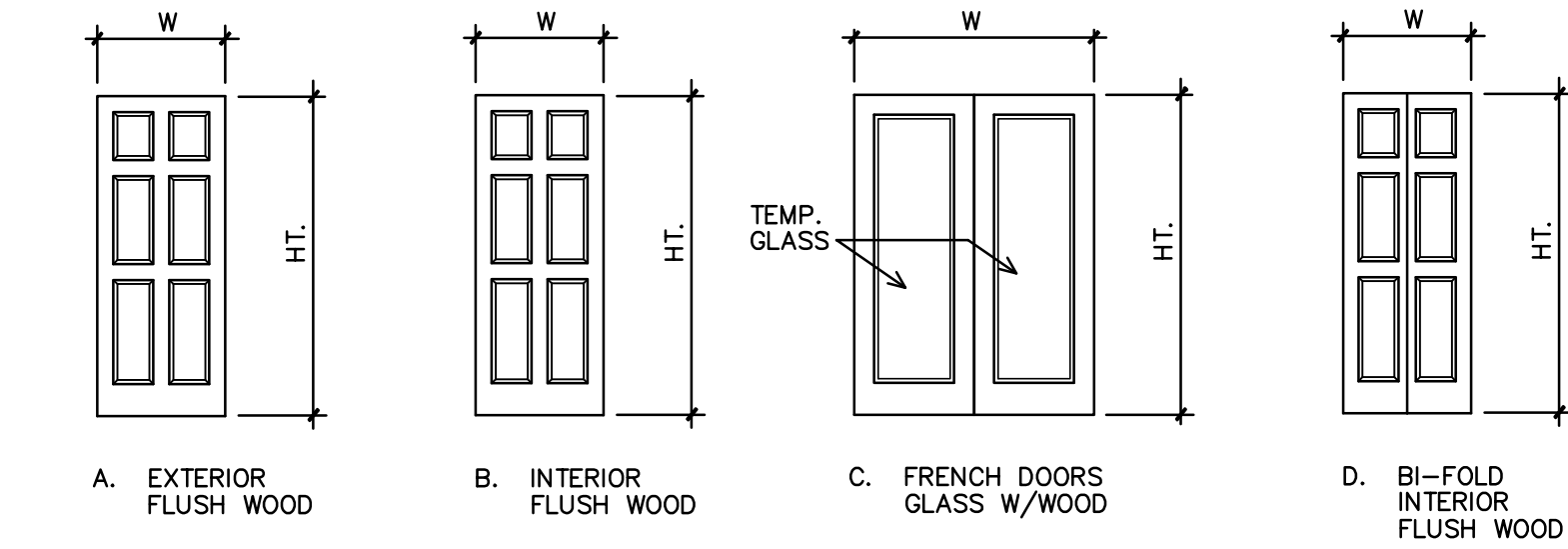
CANCHOLA
BUILDING
REMODEL

1637-B DEL MONTE BLVD.
SEASIDE, CA

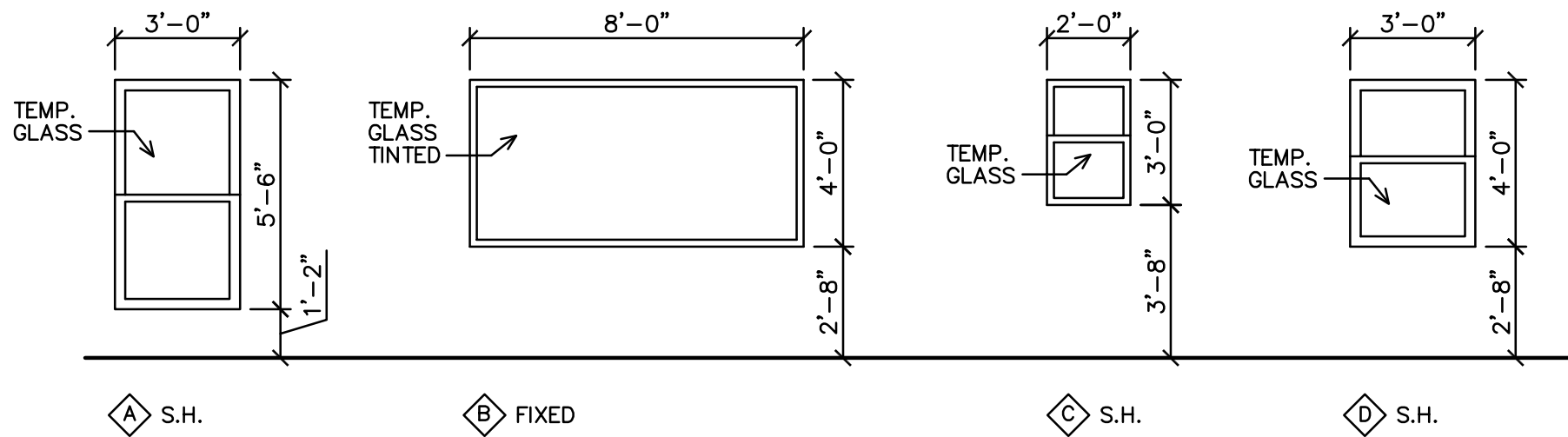


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DOOR TYPES



WINDOW SCHEDULE — ALL DBL. GLAZED

ROOM FINISH SCHEDULE

LOCATION	SYMBOL	ROOM NAME	FINISHES								CLG.	CLG. HT.(FT-IN)	REMARKS
			FLOOR	BASE	WALLS				WAINSCOT				
					1	2	3	4					
					1	2	3	4					
102	ADA		F	B4	K	M	K	M			AA	8'-0"	

ROOM FINISH MATERIAL KEY

FLOORS	BASE	WALLS	CEILING	REMARKS	
A CARPET	1 WOOD	K 1/2" GYP. WALL BD. - TEXTURED & PAINTED	AA 1/2" GYP. WALL BD. - TEXTURED & PAINTED		
B SHEET VINYL	2 4" RUBBER	L 5/8" TYP. X GYP. WALL BD. - TEXTURED & PAINTED	BB 5/8" WALL BD. - TEXTURED & PAINTED		
C CONCRETE	3 COVERED VINYL-4"(N.I.C.)	M 1/2" MOIST RESIST. GYP. WALL BD. - TEXTURED & PAINTED	CC 1/2" GYP. FIRE RESISTANT WALL BD.-TEXTURED & PAINTED		
D WOOD	4 4" TILE	N 1/2" TYP. X GYP. FIRE RESISTANT WALL BD. - TEXTURED & PAINTED			
E TILE					

NOTES:
1. ALL COVED VINYL BASE TO END IN EDGE METAL.
2.
3.

DOOR SCHEDULE

LOCATION	SYMBOL	OPENING SIZE			TYPE	MATERIAL	CORE	GLASS	FRAME	DETAILS			REMARKS
		W FT-IN	HT FT-IN	THK						HEAD	JAMB	THRESH	
101A		8'-0"	6'-8"							5/A13.1	5/A13.1		ROLL UP
102A		3'-0"	6'-8"	1 3/8"	B	WD	HC		WD	10/A13.1	10/A13.1		
102B		5'-9"	6'-8"		C	WD		FULL		5/A13.1	5/A13.1	20/A13.1	
102C		2'-1"	6'-8"		D	WD							
103A		3'-0"	6'-8"	1 3/8"	B	WD	HC		WD	10/A13.1	10/A13.1		
104A		2'-2"	6'-8"	1 3/4"	A	WD	SC		WD	5/A13.1	5/A13.1		

AL ALUMINUM HC HOLLOW CORE SC SOLID CORE
FG FIBERGLASS MTL METAL OR STEEL WD WOOD

Drawn By: R.L.

Drawing Date: 02/10/23

Revisions:

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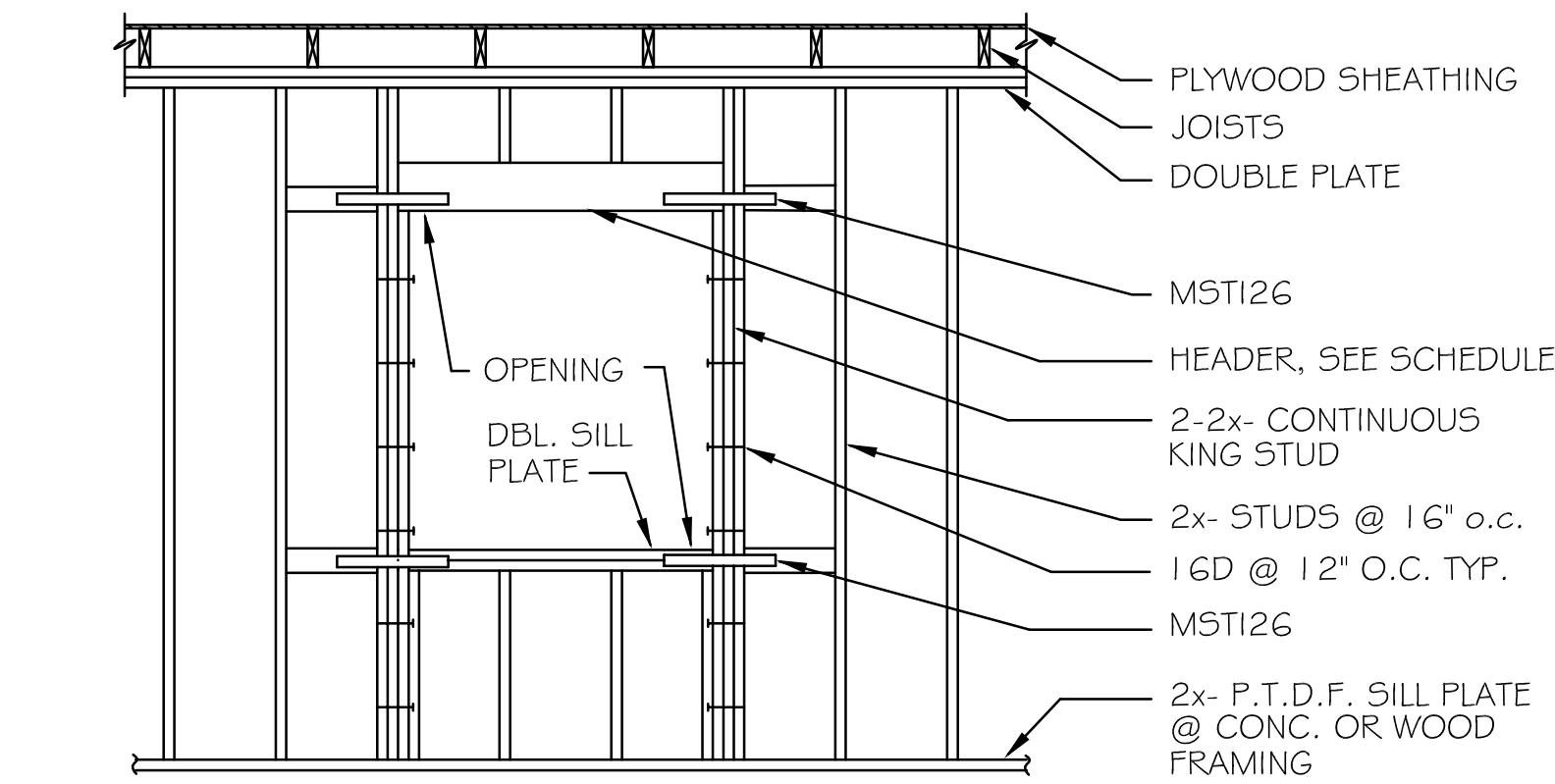
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SCHEDULES

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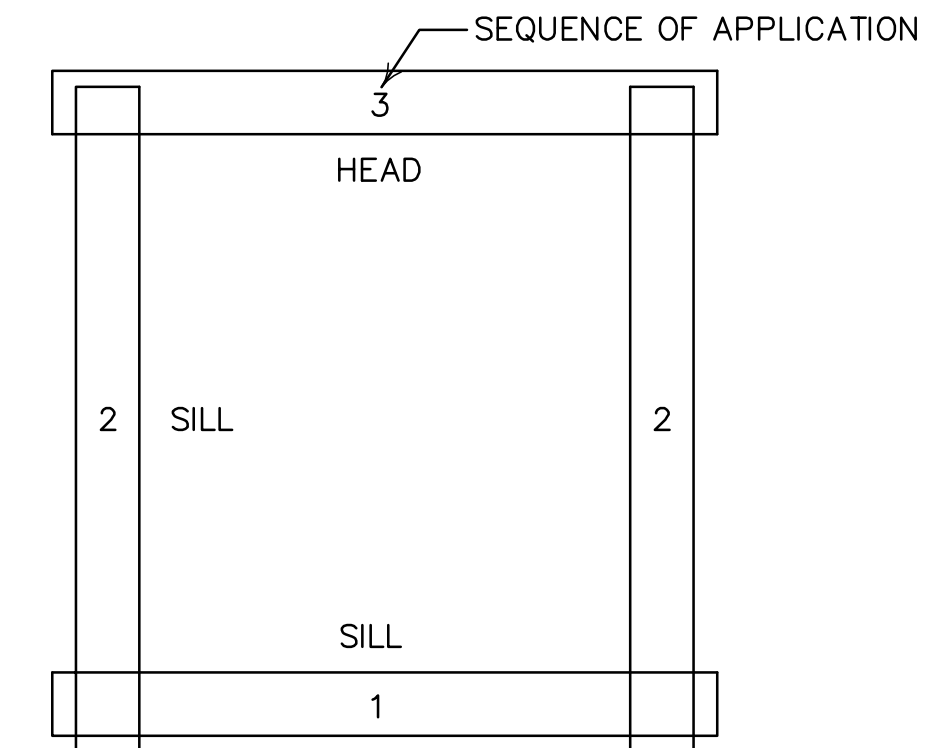
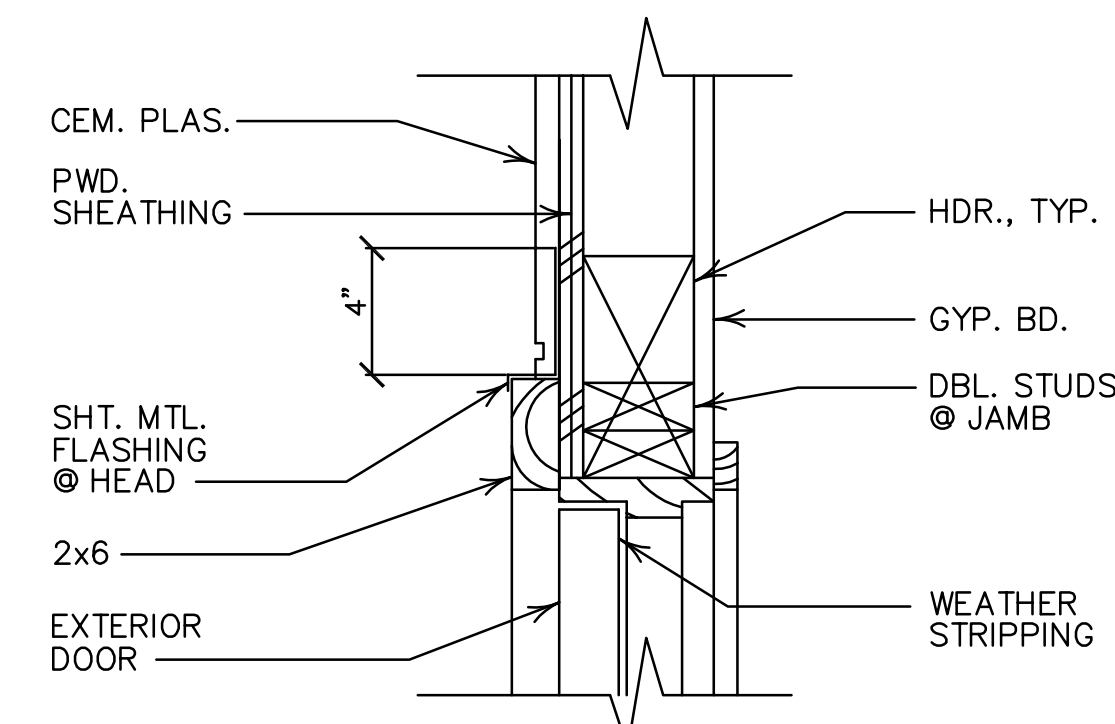
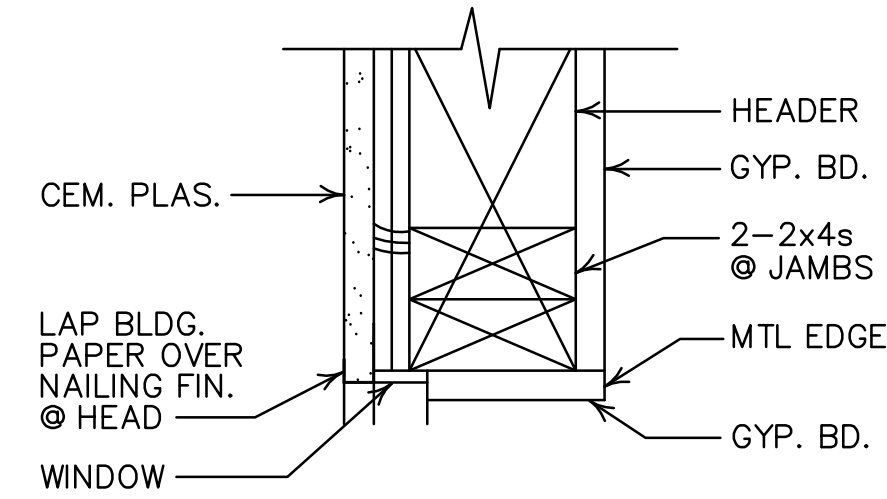
CANCHOLA BUILDING REMODEL

1637-B DEL MONTE BLVD.
SEASIDE, CA



HEADER SCHEDULE	HEADER
WIDTH (MAX.)	DEPTH NOMINAL
6'-0"	6"
8'-0"	8"
10'-0"	10"
12'-0"	12"

NOTES:
1. HEADER WIDTH SHALL BE SAME AS WALL WIDTH.
2. ALL HEADERS SHALL CONFORM TO THIS SCHEDULE UNLESS OTHERWISE NOTED ON THE PLANS.
3. WALL SHEATHING TYPICAL EDGE NAILING @ WALL TOP PLATE, HEADER, 4X5.B. WINDOW SILL PLATE, WALL SILL PLATE AND CONT. STUD.

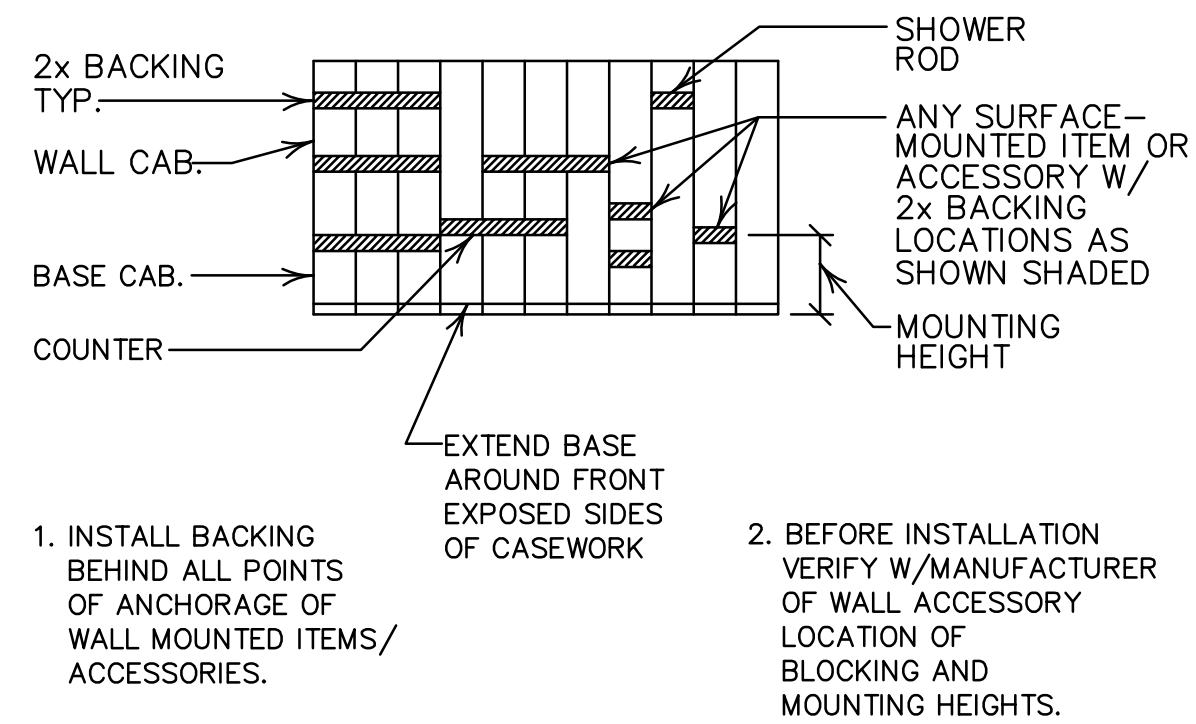


17 TYP. WALL FRAMING AND HEADER SCHEDULE
SCALE: NTS

9 WDW. HEAD (JAMB SIM.)
SCALE: NTS

5 DOOR HEAD/JAMB SIM.
SCALE: 3" = 1'-0"

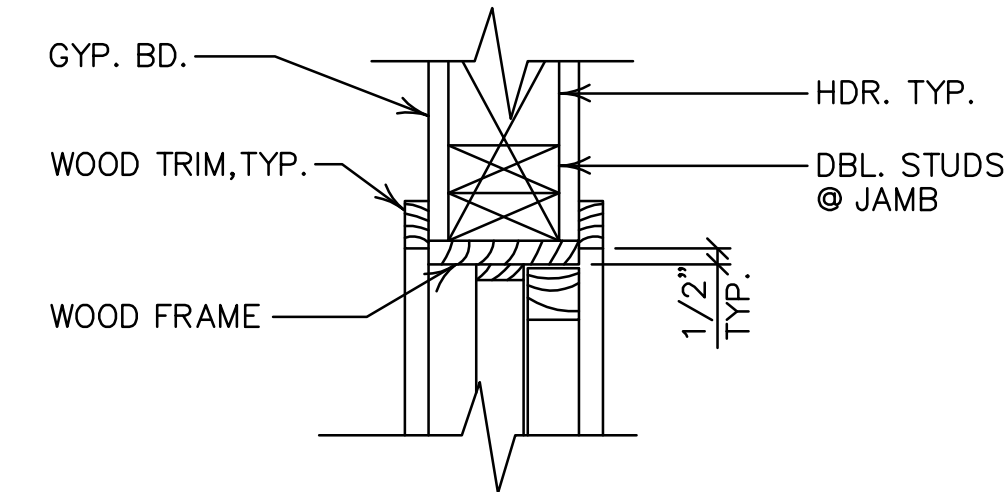
1 FLASH'G @ WINDOW/DOOR
SCALE: NTS



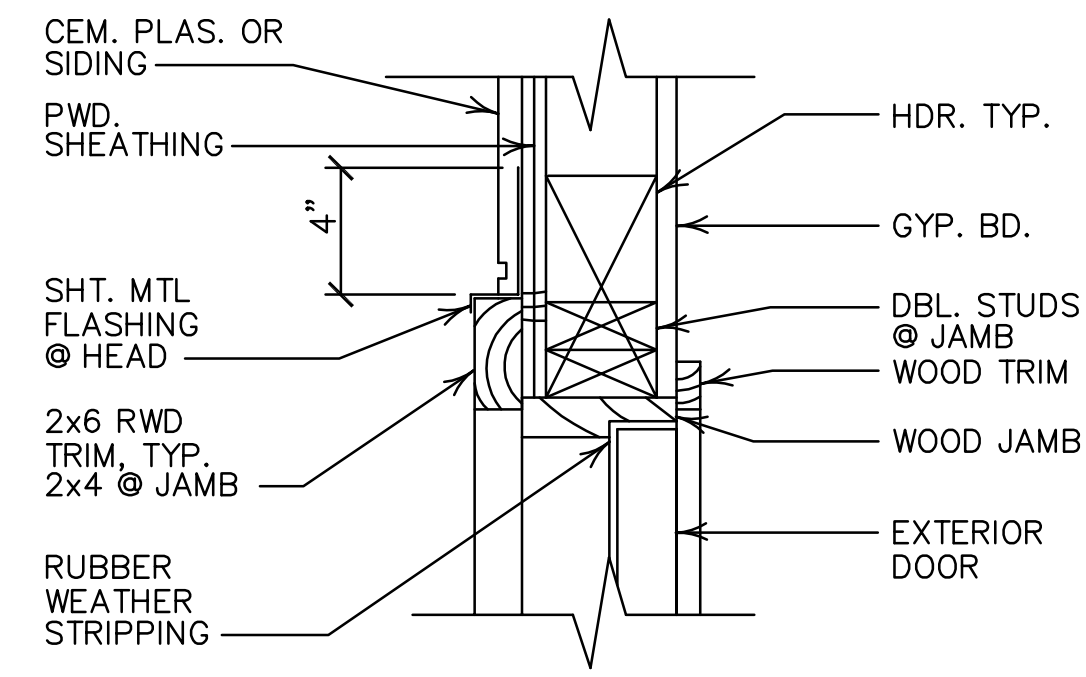
1. INSTALL BACKING BEHIND ALL POINTS OF ANCHORAGE OF WALL MOUNTED ITEMS/ACCESSORIES.
2. BEFORE INSTALLATION VERIFY W/MANUFACTURER OF WALL ACCESSORY LOCATION OF BLOCKING AND MOUNTING HEIGHTS.

18 BACKING
SCALE: NTS

14
SCALE: NTS

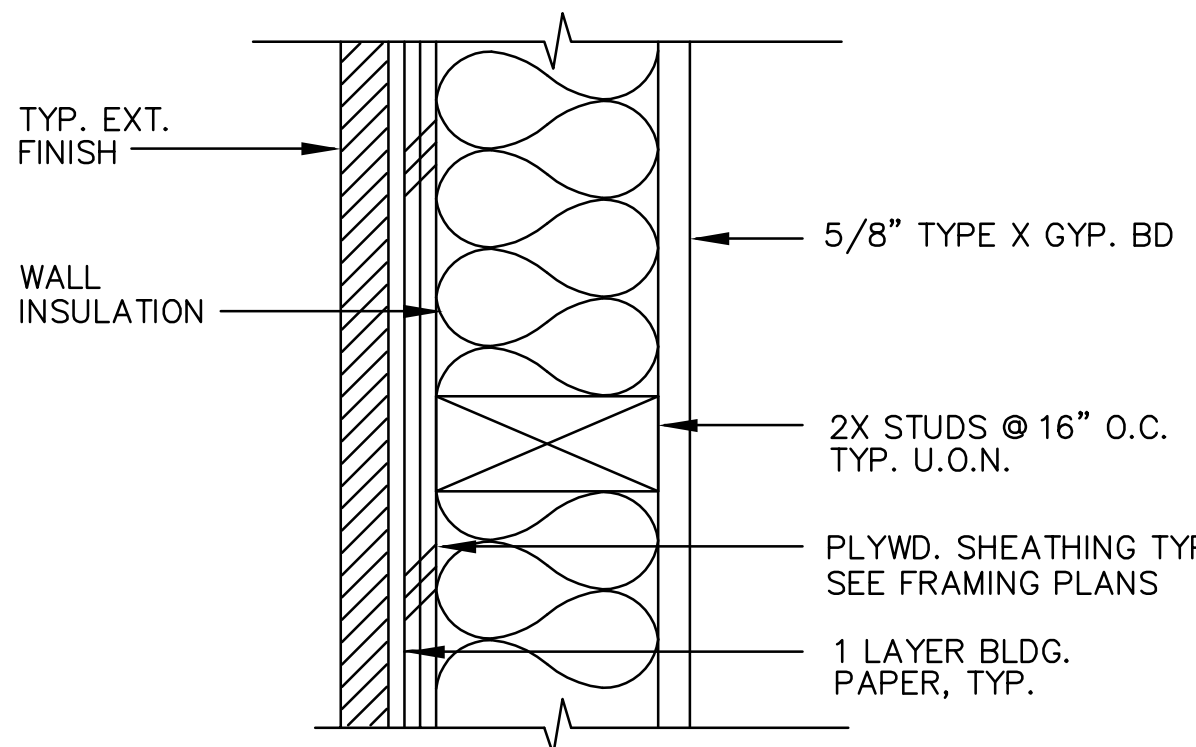


10 DOOR JAMB/HEAD
SCALE: NTS

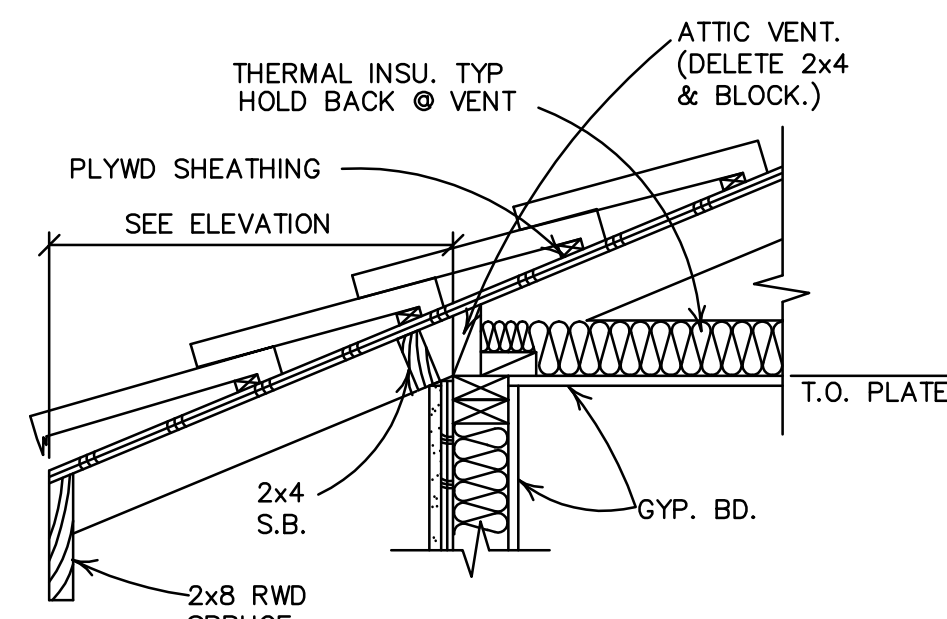


6 DOOR HEAD/JAMB SIM.
SCALE: NTS

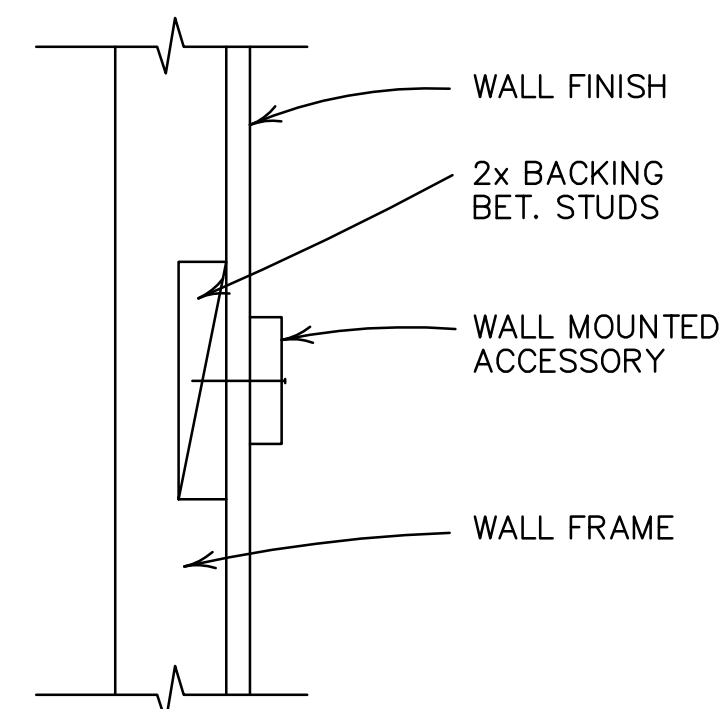
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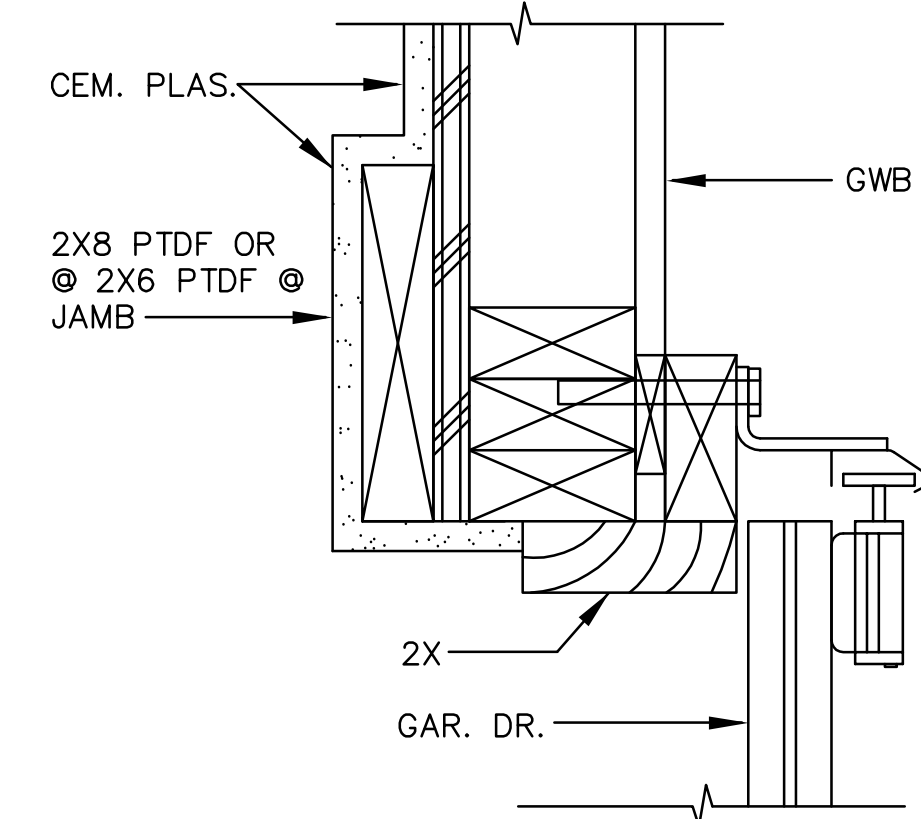
19 TYP. INT. WALL
SCALE: NTS



15 OVERHANG
SCALE: NTS



11 WALL ACCESSORY BACKING
SCALE: NTS



3 GAR. DOOR JAMB/HEAD SIM.
SCALE: NTS

Drawn By: R.L.

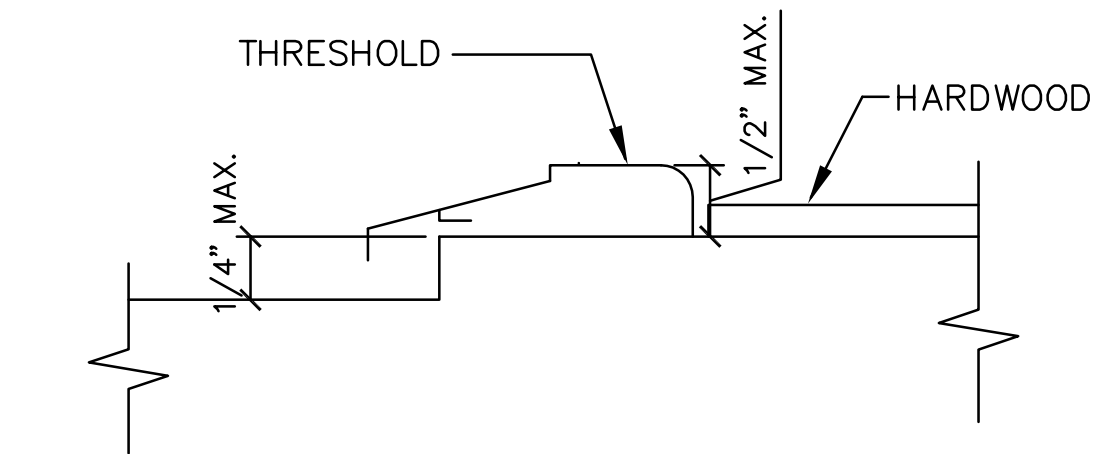
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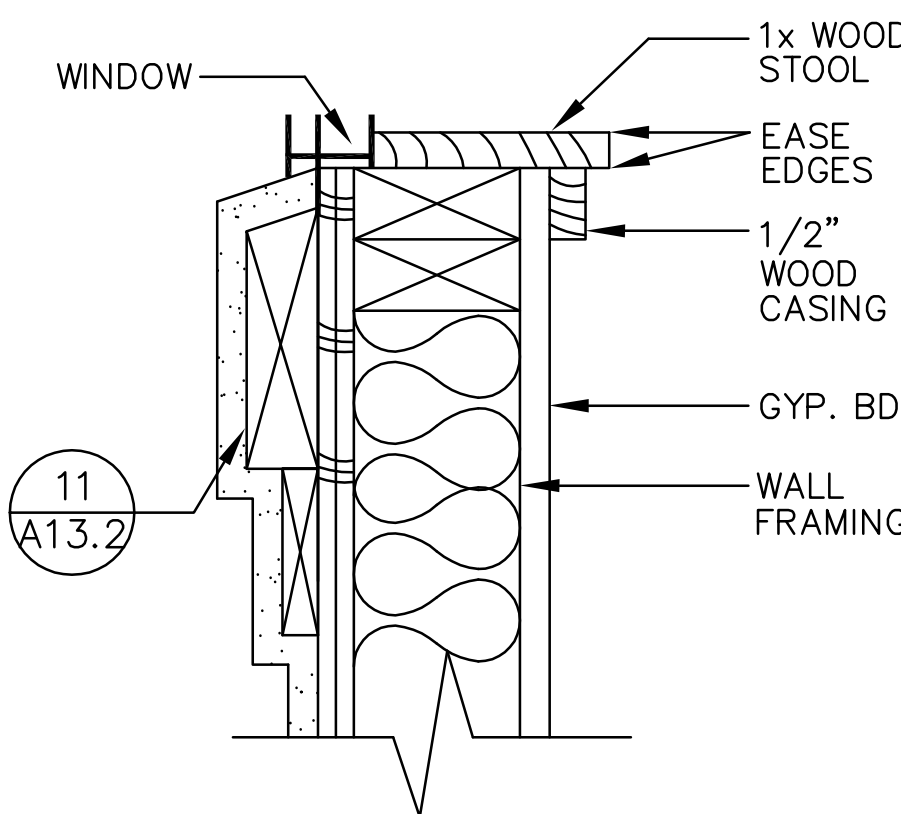
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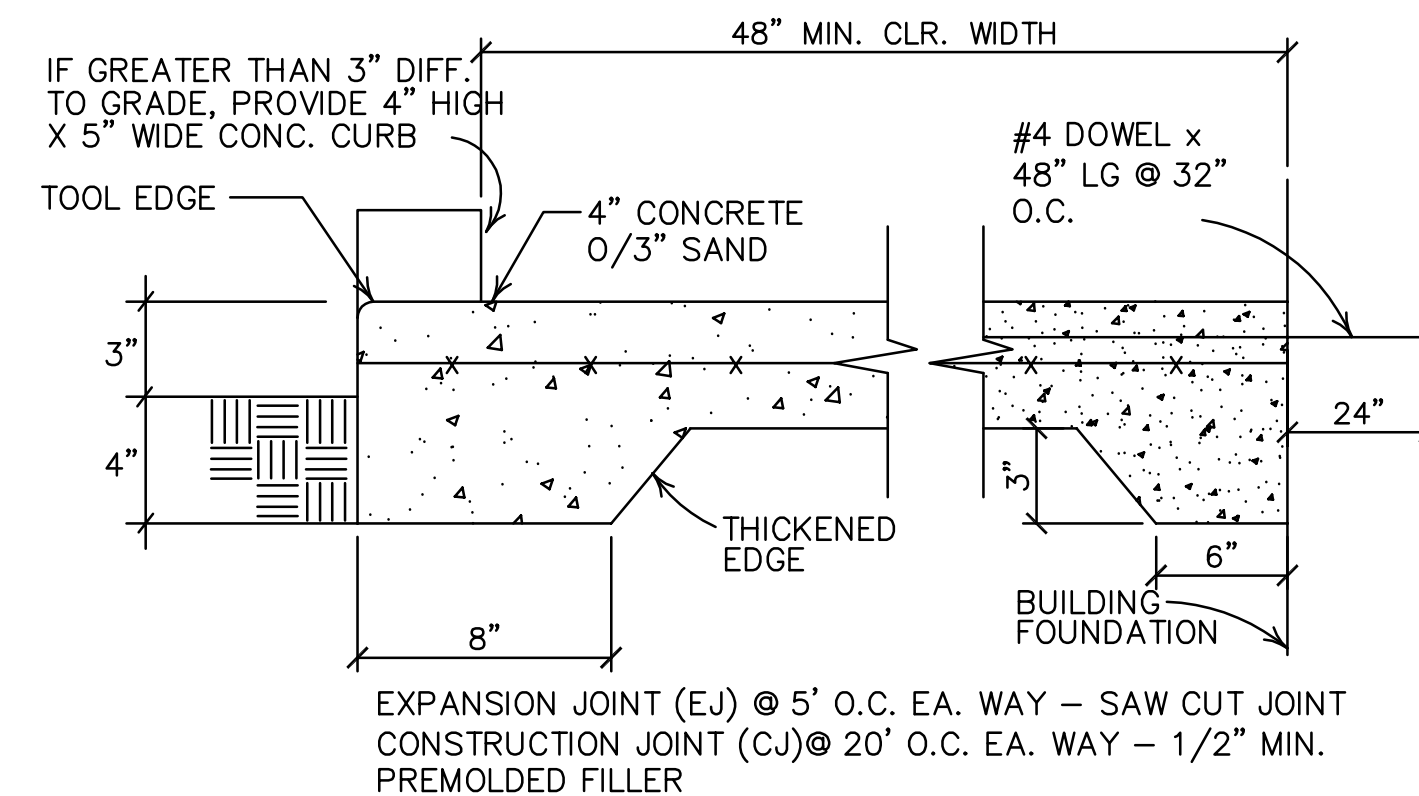
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20 DOOR THRESHOLD
SCALE: NTS



16 WINDOW HEAD(FRONT ELEV.)
SCALE: NTS



12 CONCRETE WALK
SCALE: NTS

8
SCALE: NTS

4
SCALE: NTS

SHEET NOTES:

- ALL 120–VOLT 15 AND 20 AMPERE OR BRANCH CIRUIITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNITS SHALL HAVE ARC–FAULT CIRCUIT–INTERRUPTER PROTECTION; IN ALL ROOMS, RECEPTACLES SHALL BE LISTED TAMPER–RESISTANT.
- TWO SMALL APPLIANCE OUTLET CIRUITS, 20 AMPS EACH, ARE REQUIRED IN KITCHEN; CIRCUITS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS.
- PROVIDE INDIVIDUAL DEDICATED CIRCUITS, MINIMUM 15 AMPS EACH, FOR ALL MAJOR APPLIANCES AND AS FOLLOWS:
 - DISHWASHER
 - GARBAGE DISPOSAL
 - KITCHEN HOOD
 - ETC.
- AT LEAST ONE 20–AMPRE DEDICATED BRANCH CIRCUIT IS REQUIRED IN THE BATHROOM; CIRCUIT SHALL HAVE NO OTHER OUTLETS.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND AND EACH PENINSULA COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES MINIMUM AND A SHORT DIMENSION OF 12 INCHES OR GREATER; PENINSULA COUNTER TOPS ARE MEASURED FROM THE CONNECTING EDGE.
- THE KITCHEN EXHAUST SYSTEM SHALL BE DUCTED WITH A SMOOTH METAL INTERIOR DUCT, VENTED TO OUTDOORS, HAVE A MINIMUM EXHAUST RATE OF 100 CFM AND BE PROVIDED WITH A BACK–DRAFT DAMPER.
- KITCHEN EXHAUST FANS AND UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM LIGHTING SOURCE.
- BATHROOM EXHAUST FAN AND LIGHTING SHALL BE SWITCHED SEPERATELY.
- A MINIMUM OF ONE LUMINAIRE SHALL BE INSTALLED IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR THAT DOES NOT TURN ON AUTOMATICALLY OR HAVE AN ALWAYS ON OPTION.
- BATHROOM EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CGBS 4.506 AND SHALL INCLUDE THE FOLLOWING: HAVE AN EXHAUST RATE OF 50 CFM AND BE ENERGY STAR COMPLIANT. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY OF 50% TO 80%. THE CONTROL MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN.
- PER R314 AND R315 SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARD WIRED AND INTERCONNECTED.

- ALL INSTALLED LUMINAIRES SHALL BE HIGH EFFICACY EITHER LISTED BY SOURCE TYPE OR BY BEING JA8–2016 CERTIFIED LABELED.
- SCREW BASED LUMINAIRES SHALL MEET ALL THE FOLLOWING:
 - SHALL NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS; AND
 - SHALL CONTAIN LAMPS THAT COMPLY WITH CEC REFERENCE JOINT APPENDIX JA8; AND
 - THE INSTALLED LAMPS SHALL BE MARKED WITH JA8–2016 OR JA8–2016–E.
- LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALLTHE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING, AND SHALL BE CERTIFIED TO COMPLY WITH SECTION 110.9 AND ALLOW BALLAST MAINTENANCE AND REPLACEMENT TO BE READILY ACCESSIBLE TO BUILDING OCCUPANTS FROM BELOW. ONLY JA8–2016–E CERTIFIED AND MARKED LIGHT SOURCE, RATED FOR ELEVATED TEMPERATURE, MUST BE INSTALLED BY FINAL INSPECTION.

HIGH EFFICACY FIXTURES

LAMP POWER	MINIMUM EFFICACY LUMENS PER WATT	COMPLIANT INDOOR LAMPS	COMPLIANT OUTDOOR LAMPS
15 WATTS OR LESS	40 LPW	• COMPACT FLUORESCENT • FLUORESCENT	• METAL HALIDE • HPS • COMPACT FLUORESCENT
>15 WATTS TO 40 WATTS	50 LPW	• COMPACT FLUORESCENT • FLUORESCENT	• METAL HALIDE • HPS • COMPACT FLUORESCENT
>40 WATTS	60 LPW	• COMPACT FLUORESCENT • FLUORESCENT	• METAL HALIDE • HPS • COMPACT FLUORESCENT

NOTES:

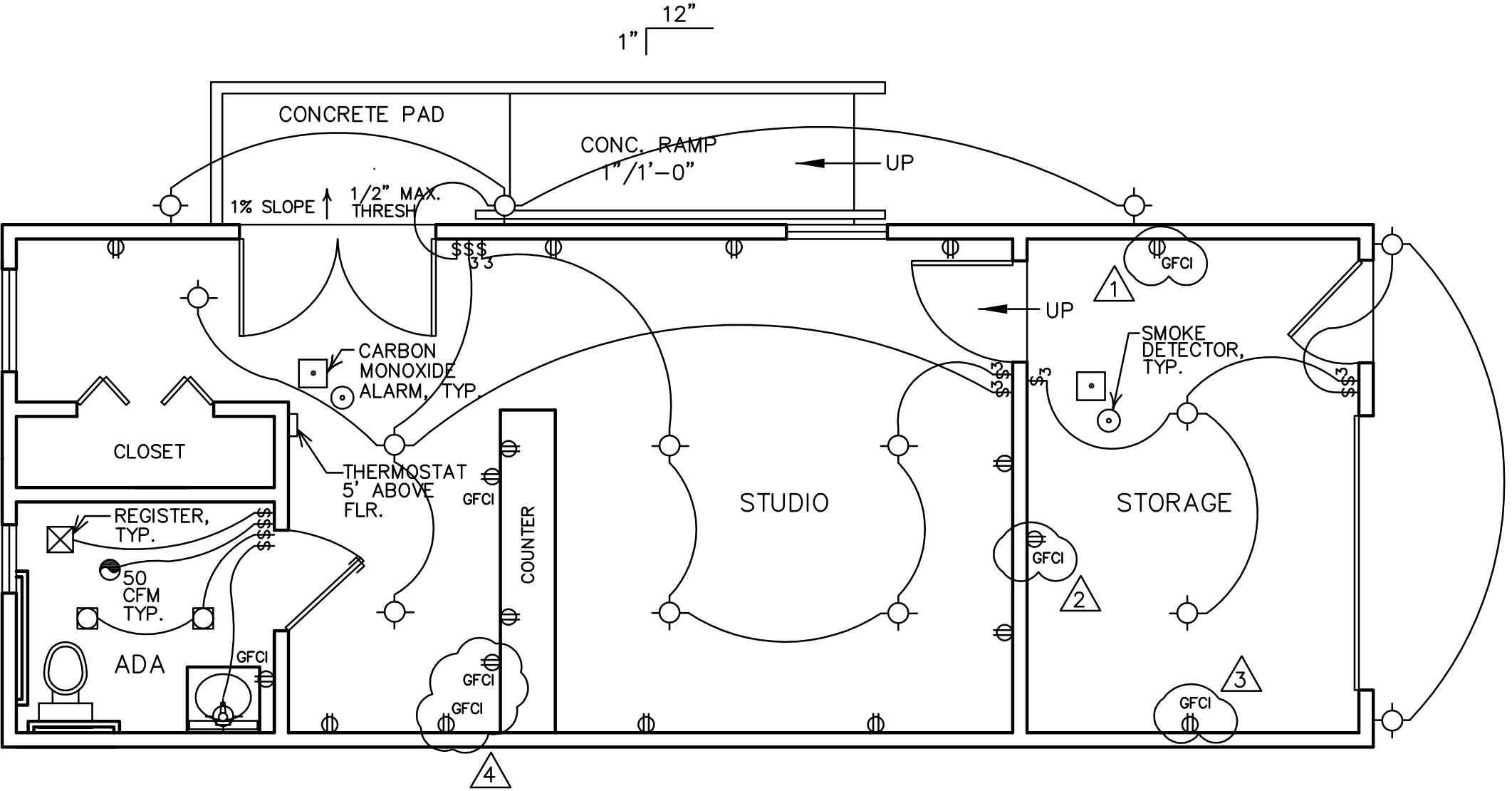
- HIGH EFFICACY LUMINAIRES MAY NOT CONTAIN MEDIUM SCREW BASE SOCKETS (EXCEPTION: OUTDOOR METAL HALIDE OR HIGH PRESSURE SODIUM (HPS) HIGH INTENSITY DISCHARGE LUMINAIRES WITH ELECTROMAGNETIC BALLAST MAY HAVE MEDIUM SCREW BASE SOCKETS IF MINIMUM EFFICACY AND MOTION SENSOR/PHOTO CONTROL REQUIREMENTS ARE MET.
- INDOOR BALLASTS FOR LAMPS 13 WATTS OR GREATER MUST BE ELECTRONIC.
- HALO GA–ATTRIM GASKET KIT AVAILABLE FOR AIR–TITE TRIMS TO MEET CALIFORNIA TITLE 24.

SUMMARY TABLE OF 2016 RESIDENTIAL LIGHTING STANDARDS

LOCATION	TITLE 24 REQUIREMENTS				APPLICATION NOTES
KITCHEN	ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY (SEE APPLICATION NOTES FOR OPTIONS)	ELECTRONIC BALLASTS FOR ALL FLUORESCENT LAMPS RATED 13 WATTS OR GREATER	RECESSED LUMINAIRES IN ALL INSULATED CEILINGS APPROVED FOR ZERO–CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT ASTM E283	SWITCH ALL HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING	HIGH EFFICCY FIXTURES MEET REQUIREMENTS. AT LEAST 50% OF TOTAL WATTAGE IN KITCHEN MUST BE HIGH EFFICACY. LOW EFFICACY FIXTURES MAY BE INSTALLED BUT NOT TO EXCEED 50% OF TOTAL WATTAGE IN KITCHEN AREA
BATHROOM GARAGE, LAUNDRY ROOM UTILITY ROOM	ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY (SEE APPLICATION NOTES FOR OPTIONS)	ELECTRONIC BALLASTS FOR ALL FLUORESCENT LAMPS RATED 13 WATTS OR GREATER	RECESSED LUMINAIRES IN ALL INSULATED CEILINGS APPROVED FOR ZERO–CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT ASTM E283	SWITCH ALL HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING	HIGH EFFICCY FIXTURES MEET REQUIREMENTS. LOW EFFICACY FIXTURES MAY BE INSTALLED BUT ONLY IF THEY ARE EQUIPPED WITH AN OCCUPANCY SENSOR THAT IS MANUAL–ON AND AUTOMATIC OFF
ALL OTHER INTERIOR ROOMS (i.e. HALLWAY, DINING ROOM, BEDROOM)	ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY (SEE APPLICATION NOTES FOR OPTIONS)	ELECTRONIC BALLASTS FOR ALL FLUORESCENT LAMPS RATED 13 WATTS OR GREATER	RECESSED LUMINAIRES IN ALL INSULATED CEILINGS APPROVED FOR ZERO–CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT ASTM E283	SWITCH ALL HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING	HIGH EFFICCY FIXTURES MEET REQUIREMENTS. LOW EFFICACY FIXTURES MAY BE INSTALLED BUT ONLY IF THEY ARE EQUIPPED WITH AN OCCUPANCY SENSOR THAT IS MANUAL–ON OR IF THEY ARE EQUIPPED WITH A DIMMER SWITCH
OUTDOOR LIGHTING ATTACHED TO BUILDINGS OR ON SAME LOT	ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY (SEE APPLICATION NOTES FOR OPTIONS)	ELECTRONIC BALLASTS FOR ALL FLUORESCENT LAMPS RATED 13 WATTS OR GREATER	RECESSED LUMINAIRES IN ALL INSULATED CEILINGS APPROVED FOR ZERO–CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT ASTM E283	SWITCH ALL HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING	HIGH EFFICCY FIXTURES MEET REQUIREMENTS. LOW EFFICACY FIXTURES MAY BE INSTALLED BUT ONLY IF THEY ARE EQUIPPED WITH A MOTION SENSOR THAT ALSO INCLUDES A PHOTO CONTROL TO TURN OFF FIXTURES DURING DAYTIME.
COMMON AREAS OF LOW RISE RESIDENTIAL BUILDINGS (4 OR MORE DWELLING UNITS)	ALL HARDWIRED LIGHTING MUST BE HIGH EFFICACY (SEE APPLICATION NOTES FOR OPTIONS)	ELECTRONIC BALLASTS FOR ALL FLUORESCENT LAMPS RATED 13 WATTS OR GREATER	RECESSED LUMINAIRES IN ALL INSULATED CEILINGS APPROVED FOR ZERO–CLEARANCE INSULATION COVER (IC) AND CERTIFIED AIRTIGHT ASTM E283	SWITCH ALL HIGH EFFICACY LIGHTING SEPARATE FROM LOW EFFICACY LIGHTING	HIGH EFFICCY FIXTURES MEET REQUIREMENTS. LOW EFFICACY FIXTURES MAY BE INSTALLED BUT ONLY IF THEY ARE EQUIPPED WITH AN OCCUPANCY SENSOR THAT IS MANUAL–ON AND AUTOMATIC OFF

ELECTRICAL SYMBOL LEGEND

⌚	SINGLE POLE 20 AMP SWITCH
⌚3	SINGLE POLE 20 AMP SWITCH 3 WAY SWITCH
■	BRANCH CIRCUIT PANELBOARD
◀	TELEPHONE OUTLET 4" SQUARE BOX WITH WIRE BACK TO TELEPHONE BUILDING CONNECTION BOX
⊕	220V, 20 AMP RECEPTACLE
⊕	1/2 OUTLET SWITCHED
⊕	20 AMP, 120V RECEPTACLE MOUNTED AT +18" TO CENTERLINE OF DEVICE
⊕ ^{GFI} WP	GFI TYPE DUPLEX RECEPTACLE AND/OR WATERPROOF ENCL.
○	CEILING MOUNTED FLOURESCENT FIXTURE
○	WALL MOUNTED FIXTURE AND OUTLET
⊕	EXHAUST FAN & LIGHT W/ WIN 50 CFM
□	RECESSED FLOUR. FIXT.
○	CEILING MOUNTED SMOKE DETECTOR
TV	CABLE TV OUTLET AND CABLE BACK TO CABLE SPLICE BOX
+GAS	GAS HOOK UP
•	CEILING MOUNTED CARBON MONOXIDE DEVICE



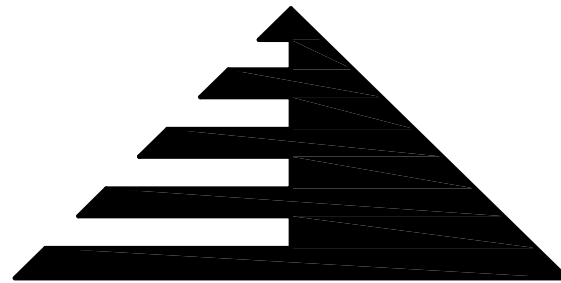
ELECTRICAL PLAN

SCALE: 1/4" = 1'–0"

Project / Owner:

CANCHOLA
BUILDING
REMODEL

1637–B DEL MONTE BLVD.
SEASIDE, CA



RAMONA LOWE
DESIGN

P.O. BOX 4035, MONTEREY CA 93942
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Ramona Lowe

Drawn By: R.L.

Drawing Date: 02/10/23

Revisions:

- 07/10/23
- 07/10/23
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ELECTRICAL PLAN

Sheet Number:

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