



A G E N D A

CITY OF SEASIDE

TRAFFIC

ADVISORY COMMITTEE

REGULAR MEETING

440 HARCOURT AVE (COUNCIL CHAMBER)

Tuesday, May 21, 2024

5:00 PM

NOTICE: *The City Council and the City's Boards, Commissions and Committees, will hold its public meetings in person, with a view option for public participation based on availability.*

VIRTUAL PUBLIC PARTICIPATION INSTRUCTIONS

1. To view this meeting: Please click on the following link to the City of Seaside YouTube Channel: <https://www.youtube.com/c/CityofSeasideCalifornia>
2. To view this meeting: Using the Zoom application on your smart phone, laptop, tablet or desktop and click on this link: <https://ci-seaside-ca-us.zoom.us/j/83054885120>
Webinar ID: 830 5488 5120
3. To listen by phone: Please call (669) 900-9128
Enter the **Webinar ID: 830 5488 5120** when prompted. There is no participate code – press the pound sign # after the recording prompts you.
4. To make public comment, the following options are available:

Before the Meeting via Email: Written comments can be emailed to pwinfo@ci.seaside.ca.us Include the following subject line: "Public Comment Item #____" (insert the agenda item number relevant to your comment). Written comments must be received by 2:00 p.m. on the day of the meeting.

During the Meeting via Oral Comments: When the Chair calls for public comment, members of the public participating in person and wishing to address the Committee may approach the podium when the Chair calls for public comment.

1. CALL TO ORDER

ROLL CALL - TRAFFIC ADVISORY COMMITTEE

David R. Pacheco

Nick Borges

Mary Gutierrez

Committee Member

Police Chief

Fire Chief

Nisha Patel
Andrew Myrick

City Engineer
Economic Development & Community Planning Manager

2. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

3. PUBLIC COMMENT FOR COMMISSIONS

Members of the public wishing to address the Commission on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three (3) minutes. Comments on specific agenda items are heard under that item. For the public record, please state your name.

4. BUSINESS ITEMS

A. CONSIDER THE INSTALLATION OF BLUE CURB IN FRONT OF 1121 ELM AVENUE

B. CONSIDER ADDITIONAL DRIVEWAY APPROACH AT 1486 SANTA CLARA AVENUE

5. STAFF COMMUNICATION

6. ADJOURNMENT

Next Regularly Scheduled Meeting:
June 18, 2024
5:00 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. Live streamed meeting videos as well as videos of past meetings are available on the City's website at:

<http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



**CITY OF SEASIDE
STAFF REPORT**

Item No.:4.A.

TO: Traffic Advisory Committee

BY: Patrick Grogan, Associate Engineer

DATE: May 21, 2024

SUBJECT: **CONSIDER THE INSTALLATION OF BLUE CURB IN
FRONT OF 1121 ELM AVENUE**

PURPOSE

The purpose of this item is to have the Traffic Advisory Committee consider the installation of blue curb in front of 1121 Fremont Boulevard.

BACKGROUND

Staff received the Traffic Advisory Committee (TAC) Request Application (attachment 1), dated January 10, 2024, from a resident requesting the installation of blue curb in front of 1121 Elm Avenue. The application was previously heard by TAC on March 19, 2024, recommending that the application be approved, pending review by the City Attorney. Staff met with the City Attorney to review the application and TAC's March 19th recommendation. City Leadership requested that the application be brought back to the TAC, so that alternative solutions could be considered.

This is a single family residential property. Elm Avenue is classified as a residential street, with a posted speed limit of 30 miles per hour (mph), one lane of traffic in the east and west-bound directions, with parallel parking. The street is approximately 36 feet wide, from face of curb to face of curb. Sidewalks measuring approximately 5 feet wide are present on this block. Multifamily and single residences are present on this section of Elm Avenue.

Staff conducted a site visit at 1121 Elm Avenue(attachment 3). During the site visit, it was noted that there were several cars parked on the street, with little parking available. The lot has approximately 51 feet of street frontage. There is a driveway from Elm Avenue, which slopes steeply down from the street, to the single-car garage. The resident stated that she is not able to exit the car safely on the driveway due to the slope, and that the garage is too narrow for her to exit the car.

Per SMC 10.32.240 A.5, Curb markings to indicate no stopping and parking regulations. "Blue indicates parking limited exclusively to the vehicles of physical handicapped persons."

Public Right of Way Accessibility Guidelines (PROWAG) section R310.2 outlines the requirements for American with Disabilities Act (ADA) compliant parallel parking spots. This regulation is summarized as follows:

R310.2.1 Dimensions

Parallel on-street parking spaces shall be at least 24 feet (7.3 m) long minimum and 13 feet (4.0 m), and shall not encroach on the traveled way, except where spaces are altered but the adjacent pedestrian circulation path is not. Any accessible parallel on-street parking spaces provided may have the same dimensions as the adjacent parallel spaces if they are provided nearest a compliant crossing with a curb ramp or blended transition. The right of way should not be less than 9 feet in width.

R310.2.2 Pedestrian Access Route Connection

Each parallel on-street parking spaces shall connect to pedestrian access routes. Where curb ramps and blended transitions are used, they shall not reduce the required width or length of the parking spaces and shall be located at either end of the parking space.

In order to conform with the above regulations, curb and sidewalk alterations (attachment 4) would be required in order to place the ADA parking space in front of 1121 Elm Avenue. The current width from the centerline of the right of way to the back of the sidewalk is approximately 23 feet. A minimum width of 27 feet, from centerline to the back of the sidewalk, is required to install the appropriate curb and sidewalk alterations. Alternatively, if the available right of way does not meet the requirements, a section of blue curb may be painted to designate an ADA-compliant parking spot adjacent to a corner curb ramp, or midblock crossing with a curb ramp. There are no compliant curb ramps in the vicinity of the applicant's residence. If a curb ramp were to be installed, the closest suitable location would be the north-east corner of Terrace Street and Elm Avenue, approximately 150 feet from the applicant's residence.

Due to the lack of compliant curb ramps, and the lack of street right of way width, staff evaluated alternative solutions to fulfill the applicant's request.

Alternative 1) Paint 20 feet of green curb immediately west of the applicant's existing driveway approach. California Vehicle Code section 22511.5 allows a person displaying a disabled placard or license plate to park for an unlimited amount of time in time-restricted parking spaces. The general public would still be allowed to park in the space within the 20 minute time restriction.

Alternative 2) Grant a Minor Use Permit to allow the applicant to pave a parking space within their front setback. This solution would require an alteration of existing SMC to allow a minor use permit for this use. The topography of the applicant's front yard would also make the construction of this option difficult.

Alternative 3) Implement a residential parking permit program. This solution would require that a parking permit program be added to SMC, and City staff to implement, manage, and enforce the program. A program budget would also need to be approved. It is estimated that it would take several months to a year to design and implement this program.

Due to the lack of right of way width and required improvements to conform with the ADA regulations, Staff recommends placing green curb in front of 1121 Elm Avenue.

FISCAL IMPACT

There is no fiscal impact associated with this item, as the applicant is responsible for the cost of the colored curb installation and sign installation. The cost to install a colored curb is \$502 per 20 linear feet. The cost to install one sign is \$502.

ATTACHMENTS



APPLICATION FEE PER THE CURRENT ADOPTED FEE SCHEDULE

Traffic Advisory Committee Request Application

The following information is required to process all Traffic Advisory Committee requests. This information will be used to contact the applicant should staff have questions or needs clarification on the request. This information will also appear in the staff report presented to the Traffic Advisory Committee and/or City Council.

The Traffic Advisory Committee meets the 3rd Tuesday of every month at 5:00 PM in the City of Seaside's City Hall Conference room. This meeting is open to the public and applicants are encouraged to attend.

Name: ELIZABETH W. BROWN DYAR Date: JAN 10 2024

Address: 1121 ELM AVE SEASIDE Phone:

Type of Request (check all that apply):

- ☒ Parking Designations ☐ Crosswalk ☐ Curb Markings (White, Yellow, etc.)
☐ Warning Sign ☐ Traffic Signal/Stop Sign ☐ Signing/Striping
☐ Other

FEES WILL APPLY FOR PARKING AND CURB MARKING REQUESTS

Request: SIGN / CURB MARKING

DUE TO MEDICAL ISSUES AND LACK
OF PARKING.

Request Procedures are outlined on the back of this form. For any questions regarding the Traffic Advisory Committee (TAC) please contact 899-6825.

TAC REQUEST PROCEDURE

The Traffic Advisory Committee (TAC) acts as an advisory board to the City Council per Chapter 2.37 of the Municipal Code. Recommendations made by the TAC are to be ratified by the City Council prior to implementation. The TAC consists of five members: a Council Member; Director of Public Works; Chief of Police; Director of Community Development; and the Fire Chief. The TAC reviews all requests for traffic safety regulatory or control devices, signs and markings, and conducts studies as well as offers recommendations to the City Council, Planning Commission or appropriate City department.

Upon submittal of a request, staff will place the request on the next available TAC agenda for a future scheduled meeting. All TAC's action will be forwarded for City Council consideration at their next available scheduled meeting.

Fees

Fees will be collected prior to installation of any approved requests that directly benefits the applicant, such as limited timed parking, white zones, etc. Prior to any required maintenance of the improvement, the same fee will apply and be billed to the applicant. The following fees have been determined based upon the cost of staff time and material for installation:

Description	Fee*
Marking curb – per curb (20' maximum length)	Per current adopted fee schedule
Installation of one sign	

* Fees subject to change per City Council approved fee schedule. Fee determined by date of application.

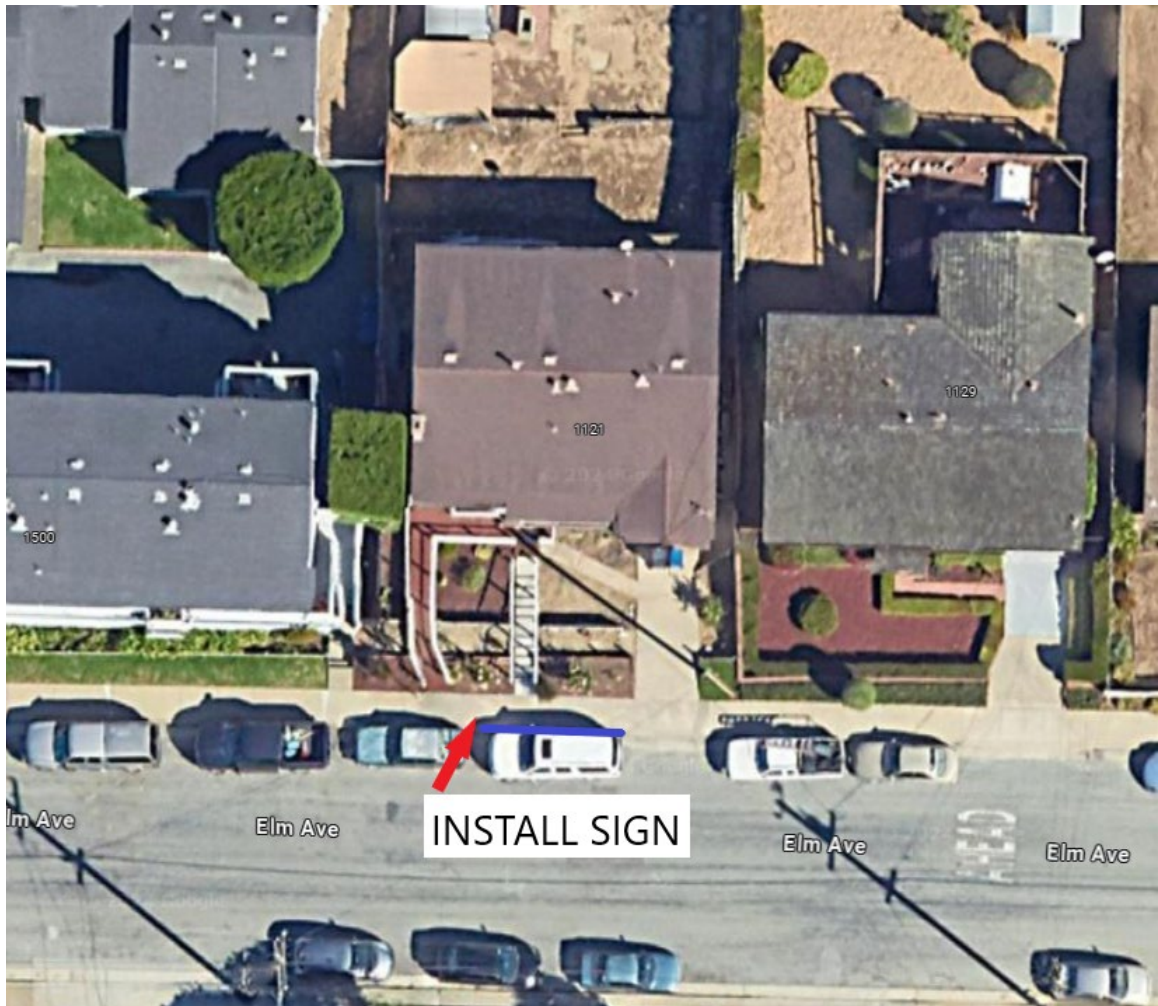
PLEASE COMPLETE FOR PARKING AND CURB MARKING REQUESTS

TAC REQUEST ACKNOWLEDGEMENT STATEMENT

I, Elizabeth W. Brown Dyar understand that should my request be approved by the Traffic Advisory Committee and City Council, I will be responsible for the fee prior to the installation of my request. I also understand that if approved by City Council the improvements will be reviewed annually or whenever deemed appropriate by the Public Works Department for any required maintenance and I will be charged the corresponding fee.

Elizabeth W. Brown Dyar
Applicant Signature

Jan 10, 2024
Date



Install 20 feet of blue curb and install one sign and post.



Area of requested blue curb, in front of 1121 Elm



Applicant's driveway and garage



Applicant’s street front



Example of parking availability, approximately 10:30 am.



Example of parking availability, approximately 10:30 am.

Transit shelters shall comply with R309.2.

R309.2.1 Connection to Boarding and Alighting Areas

Transit shelters shall be connected by *pedestrian access routes* complying with R302 to boarding and alighting areas complying with R309.1.1 or *boarding platforms* complying with R309.1.2.

R309.2.2 Clear Space

Transit shelters shall provide a minimum clear space complying with R404 entirely within the shelter. Where seating is provided within *transit shelters*, the clear space shall be located either at one end of a seat or so as to not overlap the area within 18 inches (455 mm) from the front edge of the seat.

R309.2.3 Environmental Controls

Where provided, environmental controls within *transit shelters* shall be proximity-actuated.

R309.2.4 Protruding Objects

Protruding objects within *transit shelters* shall comply with R402.

R310 On-Street Parking Spaces

R310.1 General

On-street parking spaces shall comply with R310.

R310.2 Parallel On-Street Parking Spaces

Parallel on-street parking spaces shall comply with R310.2.

R310.2.1 Dimensions

Parallel on-street parking spaces shall be 24 feet (7.3 m) long minimum and 13 feet (4.0 m) wide minimum. Parallel on-street parking spaces shall not encroach on the *traveled way*.

EXCEPTIONS: 1. Where parallel on-street parking spaces are *altered* but the adjacent *pedestrian circulation path* is not, any *accessible* parallel on-street parking spaces provided may have the same dimensions as the adjacent parallel on-street parking spaces if they are provided nearest the *crosswalk* at the end of the block face or nearest a midblock *crosswalk*, and a *curb ramp* or *blended transition* is provided serving the *crosswalk*.

2. In *alterations*, where providing parallel on-street parking spaces with the dimensions specified in R310.2.1 would result in an available right-of-way width less than or equal to 9 feet (2.7 m), measured from the *curb line* to the right-of-way line, the *accessible* parallel on-street parking spaces may have the same dimensions as the adjacent parallel on-street parking spaces if they are provided nearest the *crosswalk* at the end of the block face or nearest a midblock *crosswalk*, and a *curb ramp* or *blended transition* is provided serving the *crosswalk*.

R310.2.2 Pedestrian Access Route Connection

Parallel on-street parking spaces shall connect to *pedestrian access routes*. Where *curb ramps* and *blended transitions* are used, they shall not reduce the required width or length of the parking spaces and shall be located at either end of the parking space. Where two or more *accessible* parallel on-street parking spaces complying with the dimensions specified in R310.2.1 are contiguous on a block face, each *accessible* parallel on-street parking space shall have an independent connection to the *pedestrian access route*. *Curb ramps* and *blended transitions* shall be provided in accordance with R203.6.1.3 and shall comply with R304. *Detectable warning surfaces* are not required on *curb ramps* and *blended transitions* used exclusively to connect *accessible* on-street parallel parking spaces to *pedestrian access routes*.

EXCEPTION: In *alterations*, where parallel on-street parking spaces are provided in accordance with Exception 1 or 2 to R310.2.1, the parallel on-street parking space shall be connected to the *curb ramp* or *blended transition* serving the *crosswalk* by a *pedestrian circulation path* complying with R302.6, except that changes in level are not permitted.

R310.2.3 Surfaces

Surfaces of parking spaces shall comply with R302.6, except that changes in level are not permitted.

R310.2.4 Clearance Adjacent to Parking Spaces

The center 50 percent of the length of the *sidewalk*, or other surface, adjacent to an *accessible* parallel parking space shall be free of obstructions, including parking identification signs, parking pay meters, and parking pay stations, and shall comply with R302.6.

R310.2.5 Identification

Parallel on-street parking spaces shall be identified by signs displaying the International Symbol of Accessibility complying with R411. Signs shall be 60 inches (1525 mm) minimum above the ground surface measured to the bottom of the sign.

R310.3 Perpendicular Parking Spaces

Perpendicular parking spaces shall comply with R310.3.

R310.3.1 Access Aisles

Perpendicular on-street parking spaces shall have adjacent access aisles 96 inches (2440 mm) wide minimum extending the full length of the parking space. One access aisle shall be permitted to serve two parking spaces where front and rear entry parking are both permitted. Where an access aisle serves only one parking space and parking is restricted to either front entry or rear entry orientation, the access aisle shall be located on the passenger side of the vehicle.

R310.4 Angled Parking Spaces

Accessible angled parking spaces shall comply with R310.4.

R310.4.1 Width

The width of an angled parking space shall be 132 inches (3350 mm).

R310.4.2 Access Aisles

Each angled on-street parking space shall have an adjacent access aisle 60 inches (1525 mm) wide minimum extending the full length of the parking space on the passenger side.

R310.5 Common Requirements for Perpendicular and Angled Parking Spaces

Perpendicular and angled parking spaces shall comply with R310.5

R310.5.1 Access Aisle Markings

The access aisle surface shall be marked to discourage parking in the access aisle.

R310.5.2 Access Aisle Location

Access aisles shall be located at the same level as the parking space they serve and shall not encroach on the *traveled way*.

R310.5.3 Pedestrian Access Route Connection

Access aisles shall connect to *pedestrian access routes*. Where *curb ramps* and *blended transitions* are used, they shall not reduce the required width or length of access aisles and parking spaces. *Curb ramps* and *blended transitions* shall be provided in accordance with R203.6.1.4 and shall comply with R304. A *detectable warning surface* is not required on a *curb ramp* or *blended transition* used exclusively to connect on-street parking access aisles to *pedestrian access routes*.

EXCEPTION: In *alterations*, the access aisle may connect to an existing *pedestrian circulation path* in accordance with R202.2.

R310.5.4 Surfaces

Surfaces of parking spaces and access aisles serving them shall comply with R302.6, except that changes in level are not permitted.

R310.5.5 Identification

Perpendicular or angled on-street parking spaces shall be identified by signs displaying the International Symbol of Accessibility complying with R411. The signs shall be located at the head of the parking space. Signs shall be 60 inches (1525 mm) minimum above the ground surface measured to the bottom of the sign.

R310.6 Parking Meters and Parking Pay Stations

Parking meters and parking pay stations that serve *accessible* parking spaces shall provide *operable parts* complying with R403. The clear space required by R403.2 shall be located so that displays and information on parking meters and pay stations are visible from a point located 40 inches (1015 mm) maximum above the center of the clear space in front of the parking meter or parking pay station.

R311 Passenger Loading Zones

R311.1 General

Accessible passenger loading zones shall comply with R311.

R311.2 Vehicle Pull-Up Space

Accessible passenger loading zones shall provide a vehicular pull-up space that is 96 inches (2440 mm) wide minimum and 20 feet (6.1 m) long minimum.

R311.3 Access Aisle

Vehicle pull-up spaces shall have adjacent access aisles complying with R311.3 that are 60 inches (1525 mm) wide minimum extending the full length of the vehicle pull-up space. Access aisles shall be at the same level as the vehicle pull-up space they serve and shall not encroach on the *traveled way*.

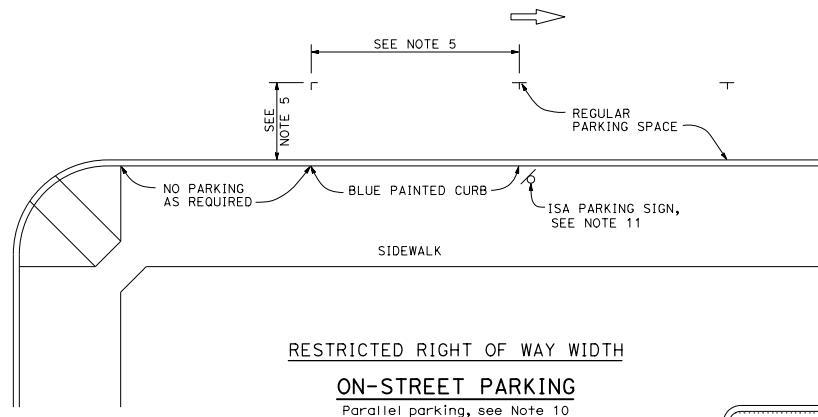
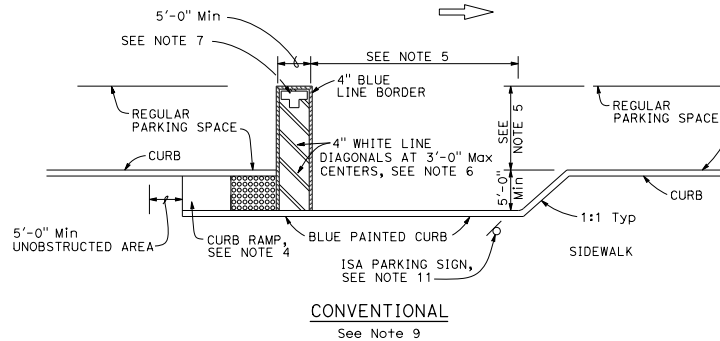
R311.3.1 Clearance Adjacent to Passenger Loading Zone

The center 50 percent of the length of the *sidewalk*, or other surface, adjacent to an *accessible passenger loading zone* shall be free of obstructions and comply with R302.6.

R311.3.2 Marking

Access aisle surfaces shall be marked to discourage parking in them.

R311.4 Surfaces



NO
PARKING

PAVEMENT MARKING
See Note 7



SIGN R99 (CA)



PLAQUE R99B (CA)
SIGN R99 (CA) with PLAQUE R99B (CA),
See Note 3



SIGN R99C (CA)
See Note 3

NOTES:

- Parking spaces shall be so located that persons with disabilities are not compelled to wheel or walk behind parked vehicles other than their own.
- Surface slopes of accessible on-street parking spaces shall be the minimum feasible.
- Where Plaque R99B (CA) or Sign R99C (CA) are installed, the bottom of the sign or plaque panel shall be a minimum of 7'-0" above the surrounding surface.
- Curb ramps shall conform to the details shown on Standard Plan A88A.
- Accessible on-street parking spaces shall not be smaller in length or width than that specified by the local jurisdiction for other parking spaces, but not less than 20'-0" in length and not less than 8'-0" in width.
- Blue paint, instead of white may be used for marking accessibility aisles in areas where snow may cause white markings to not be visible.
- The words "NO PARKING", shall be painted in white letters no less than 1'-0" high on a contrasting background and located so that it is visible to traffic enforcement officials. See Standard Plan A24E for square foot area for painting the words "NO PARKING".
- There shall be no obstructions on the sidewalk adjacent to and for the full length of the parking space, except for the ISA parking sign shown.
- The Conventional detail should be the primary choice of accessible on-street parking. However, if the sidewalk lacks adequate space to construct a standard curb ramp, the Restricted Right of Way detail should be used.
- If the Restricted Right of Way width detail is selected and it conflicts with a bus stop or other uses, this detail may apply to the other end of the block.
- Accessible Parking Only Sign shall be Sign R99C (CA) or Sign R99 (CA) with Plaque R99B (CA).

LEGEND

ISA - International Symbol of Accessibility

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
**ACCESSIBLE PARKING
ON-STREET**

NO SCALE

A90B

Dist	COUNTY	ROUTE	POST MILES TOTAL PROJECT	SHEET TOTAL No. SHEETS

REGISTERED CIVIL ENGINEER

May 1, 2023

PLANS APPROVAL DATE

THE STATE OF CALIFORNIA OR ITS OFFICERS
OR AGENTS SHALL NOT BE RESPONSIBLE FOR
THE ACCURACY OR COMPLETENESS OF SCANNED
COPIES OF THIS PLAN SHEET.

Rebecca Lynn Mowry
No. C54415
Exp. 12-31-23
CIVIL
STATE OF CALIFORNIA

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**VEHICLE CODE - VEH****DIVISION 11. RULES OF THE ROAD [21000 - 23336]** (*Division 11 enacted by Stats. 1959, Ch. 3.*)**CHAPTER 9. Stopping, Standing, and Parking [22500 - 22526]** (*Chapter 9 enacted by Stats. 1959, Ch. 3.*)

(a) (1) A disabled person or disabled veteran displaying special license plates issued under Section 5007 or a distinguishing placard issued under Section 22511.55 or 22511.59 is allowed to park for unlimited periods in any of the following zones:

22511.5.

(A) In any restricted zone described in paragraph (5) of subdivision (a) of Section 21458 or on streets upon which preferential parking privileges and height limits have been given pursuant to Section 22507.

(B) In any parking zone that is restricted as to the length of time parking is permitted as indicated by a sign erected pursuant to a local ordinance.

(2) A disabled person or disabled veteran is allowed to park in any metered parking space without being required to pay parking meter fees.

(3) This subdivision does not apply to a zone for which state law or ordinance absolutely prohibits stopping, parking, or standing of all vehicles, or which the law or ordinance reserves for special types of vehicles, or to the parking of a vehicle that is involved in the operation of a street vending business.

(b) A disabled person or disabled veteran is allowed to park a motor vehicle displaying a special disabled person license plate or placard issued by a foreign jurisdiction with the same parking privileges authorized in this code for any motor vehicle displaying a special license plate or a distinguishing placard issued by the Department of Motor Vehicles.

(Amended by Stats. 2010, Ch. 478, Sec. 11. (AB 2777) Effective January 1, 2011.)



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 4.B.

TO: Traffic Advisory Committee

BY: Patrick Grogan, Associate Engineer

DATE: May 21, 2024

**SUBJECT: CONSIDER ADDITIONAL DRIVEWAY APPROACH AT 1486
SANTA CLARA AVENUE**

PURPOSE & RECOMMENDATION

The purpose of this item is to have the Traffic Advisory Committee (TAC) consider the addition of a second driveway at 1486 Santa Clara Avenue.

BACKGROUND

The property owner of 1486 Santa Clara Avenue is requesting the widening of an existing second driveway approach, to allow for access to a proposed garage. The lot currently has two driveway approaches on Santa Clara Avenue, but only one of the approaches has a paved driveway.

Santa Clara Avenue is a local road, with one lane of travel in both the east and west bound directions, parallel parking on both sides, and is populated with single family homes. It is approximately 35 feet wide, from face of curb to face of curb, and has a speed limit of 25 mph. 5 foot Sidewalks are present on both sides of the street. 1486 Santa Clara Avenue is a single parcel with one residence and a detached two-car garage on the east side of the property. The property has approximately 90 feet of street frontage.

This TAC application is dated March 21, 2024.

STAFF ANALYSIS

The City of Seaside's Municipal (SMC) code Section 17.30.030 Height Limits and Exceptions for Structures outlines the following sight distance requirement for driveways:

E. Height limit within traffic safety visibility areas. Development proposed adjacent to any public or private street or alley intersection, or the intersection of a driveway with a street shall be designed to provide a traffic safety visibility area for pedestrian and traffic safety as depicted in Figure 3-6 (Required Traffic Safety Visibility Area).

2. Measurement of visibility area. A traffic safety visibility area is a triangle measured as follows, and may include private property and/or public rights-of-way.

b. Driveways. The driveway visibility area shall be defined by measuring 15 feet along the driveway from the intersection of the driveway with the street right-of-way line, and 15 feet along the street line, away from the driveway, and connecting the lines across the intervening property.

The existing fence on the west side of the property is within the traffic safety visibility area, as defined by SMC 17.30.030 E.2.b., and is 4.4 feet tall, exceeding the height limit by 5 inches. The fence protrudes into the safety visibility area by approximately 1.75 feet.

The City of Seaside's Municipal (SMC) code Section 17.34.120 Driveways and Site Access, outlines the requirements for driveways of Single Family Dwellings as follows:

A. Number of driveways. The number and placement of driveways shall be limited as follows; provided, that second driveways or additional curb cuts may be approved by the Traffic Advisory Committee:

1. Single dwellings and duplexes. A single dwelling or duplex shall be allowed one driveway, except that:

a. A circular driveway may be allowed on a parcel with 70 feet or more of street frontage;

and

b. A parcel within the RS-8 or RS-12 zones with a frontage of 200 feet or more may have two separate driveways; provided, that they are separated by a minimum of 100 feet, or lesser distance as approved by the City Engineer based on considerations of site topography and traffic safety.

Per the above stated code sections, 1486 Santa Clara Avenue is not eligible for a second driveway, as its frontage is only 90 feet of the required 200 feet. If the owner were to modify the existing second driveway approach, it would need to conform to Seaside Municipal Code.

Additionally, the approval of this application would remove one public parking spot from Santa Clara Avenue.

Staff recommends denying the resident's application (attachment 1) for an additional driveway approach off of Santa Clara Avenue, (attachment 2 & 3) as the property does not meet the minimum requirements as stated in SMC Sections 17.30.030 and 17.34.120.

ATTACHMENTS

1. Application
 2. Aerial View
 3. Photo Exhibit
 4. Site Plan
-



APPLICATION FEE PER THE CURRENT ADOPTED FEE SCHEDULE

Traffic Advisory Committee Request Application

The following information is required to process all Traffic Advisory Committee requests. This information will be used to contact the applicant should staff have questions or needs clarification on the request. This information will also appear in the staff report presented to the Traffic Advisory Committee and/or City Council.

The Traffic Advisory Committee meets the 3rd Tuesday of every month at 5:00 PM in the City of Seaside's City Hall Conference room. This meeting is open to the public and applicants are encouraged to attend.

Name: Ryan Yap Date: 3/18/2024

Address: 1486 Santa Clara Ave. Seaside CA 93955 Phone: [REDACTED]

Type of Request (check all that apply):

- ☐ Parking Designations ☐ Crosswalk ☐ Curb Markings (White, Yellow, etc.)
☐ Warning Sign ☐ Traffic Signal/Stop Sign ☐ Signing/Striping
☒ Other Added driveway

FEES WILL APPLY FOR PARKING AND CURB MARKING REQUESTS

Request: We are in the middle of the permitting process to add an ADU and an addition of a Garage to our property.

We currently have one driveway with a curb cut out and a second curb cutout with no official driveway. Our plan is to use
the existing driveway for offstreet parking for the ADU and add the second driveway to the existing Cutout for access to
the new garage. The existing cutout is only one car so it will need to be widened as the garage will be a two car garage.

Request Procedures are outlined on the back of this form. For any questions regarding the Traffic Advisory Committee (TAC) please contact 899-6825.



Modify existing second approach on Santa Clara Avenue to meet minimum width requirements.



Existing second approach.



Primary approach, to remain.



Fence in safety visibility area.



Portion of existing approach to be widened.

SITE COVERAGE TABLE	
LOCATION	AREA IN SF
EXISTING RESIDENCE	1,135 SF
EXISTING DETACHED GARAGE	433 SF
PROPOSED GARAGE ADDITION	725 SF
PROPOSED DETACHED ADU ADDITION	359 SF
EXISTING CONC. DRIVEWAY, PATIOS, AND PATHS	2,411 SF
PROPOSED CONC. DRIVEWAY AND PATHS	551 SF
TOTAL	5614 SF



SITE NOTES

1. CONTRACTOR SHALL OBTAIN AN 8-1-1/DIG ALERT TICKET PRIOR TO PERMIT ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE KEPT ON SITE FOR INSPECTOR REFERENCE. CONTRACTOR TO COORDINATE ALL NEW UTILITY INSTALLATIONS WITH UTILITY COMPANIES AND BUILDING DEPARTMENT, VERIFY ADEQUACY OF ALL UTILITIES.
2. NO PERSON MAY TAP INTO ANY FIRE HYDRANT OTHER THAN FIRE SUPPRESSION OR EMERGENCY AID, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING WATER TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
3. ALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A NOZZLE SHUT-OFF. WHEN AN AUTOMATIC SHUT-OFF NOZZLE CAN BE PURCHASED OR OTHERWISE OBTAINED FOR THE SIZE OR TYPE OF HOSE IN USE, THE NOZZLE SHALL BE AN AUTOMATIC SHUT-OFF NOZZLE.
4. PROVIDE NON-REMOVABLE BACKFLOW DEVICES AT ALL HOSEBIBS.
5. SLOPE ALL GRADES AWAY FROM THE STRUCTURE FOR A MIN 5% FOR 10'-0".
6. CONTRACTOR IS TO VERIFY THE LOCATION AND HEIGHT OF THE NEAREST UPSTREAM MANHOLE IF THE FLOOD LEVEL RIMS ARE LESS THEN 2' ABOVE THIS ELEVATION, THE SEWER SYSTEM SHALL BE PROTECTED WITH AN APPROVED SEWER BACK WATER VALVE AND SEWER RELIEF VENT SHALL BE INSTALLED.

DESIGNER'S SIGNATURE:

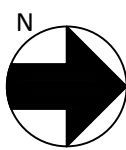
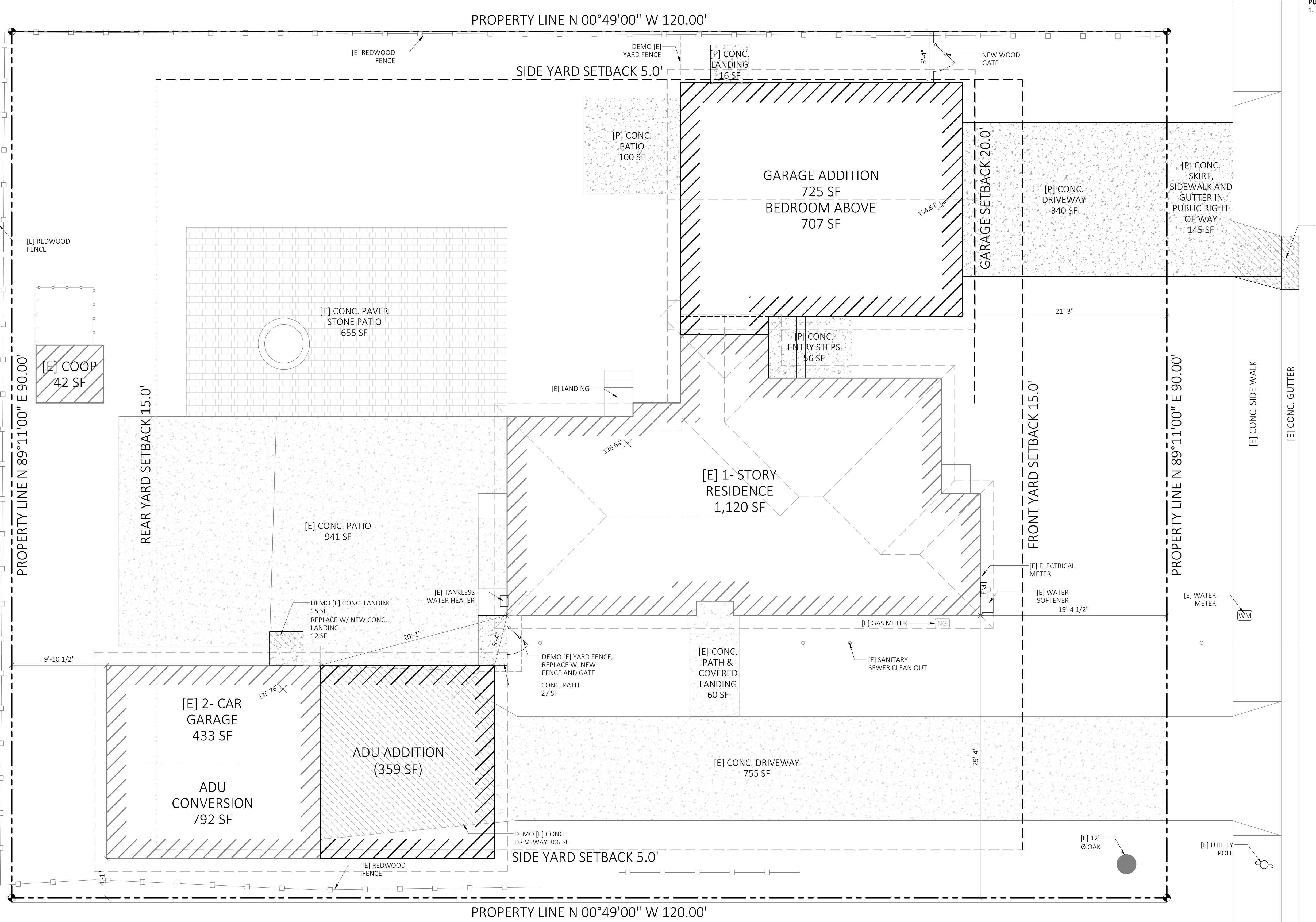
[Signature]
02/05/24

MEHRINGER
CONSTRUCTION
& DESIGN

ADDRESS 481 WATSON ST #6
MONTEREY, CA 93940
LICENSE 893553
PHONE 831-760-0275
EMAIL MehringerDesign@gmail.com

YAP GARAGE & ADU
ADDITION

ADDRESS 1486 SANTA CLARA AVE.
SEASIDE, CA 93955
APN 011-084-005
OWNER AIMEE AND RYAN YAP
PHONE 770-316-6927
EMAIL ryanmyap@gmail.com



SITE PLAN

SCALE: 3/16" = 1'-0"

SANTA CLARA AVE.

CITY APPROVAL STAMP:

SHEET TITLE:

SITE PLAN

DRAWN BY:

JASON MEHRINGER

MARK

PHASE

DATE

BP APPLICATION 02-05-24

SHEET NUMBER:

C1.0