



**A G E N D A**  
CITY OF SEASIDE  
PLANNING COMMISSION

REGULAR MEETING  
440 HARCOURT AVE (COUNCIL CHAMBER)  
Wednesday, March 25, 2026  
6:00 PM

Virtual Participation Guide: <https://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>  
<https://us02web.zoom.us/j/81555467580> | WEBINAR ID 815 5546 7580 | (669) 900-9128

**1. CALL TO ORDER**

**2. ROLL CALL - PLANNING COMMISSION**

William Silva	Chair
Keith Dodson	Commissioner
John Owens	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
Danny Huynh	Commissioner
Gonzalo Quintero Alcaraz	Commissioner

**3. REVIEW OF AGENDA**

*If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).*

**4. PUBLIC COMMENT**

Members of the public wishing to address the Commission on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three (3) minutes. Comments on specific agenda items are heard under that item. For the public record, please state your name.

**5. BUSINESS ITEMS**

**A. ARCHITECTURAL REVIEW APPLICATION AR-2024-002 AND USE PERMIT APPLICATION UP-2025-007. 340 AMADOR LLC, PROPERTY OWNER, AND VILLAZZO GROUP, LLC, PROJECT APPLICANT, REQUEST APPROVAL OF ARCHITECTURAL REVIEW AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX; AND APPROVAL OF USE PERMIT UP-2025-007 TO ALLOW A REDUCTION IN THE REQUIRED DISTANCE FROM THE PARKING ENTRANCE TO THE SIDE PROPERTY LINE AND A REDUCTION IN THE REQUIRED DISTANCE FROM THE OPPOSITE SIDE OF THE ALLEY TO PARKING SPACES LOCATED AT 340 AMADOR AVENUE (APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.**

**RECOMMENDATION:** Staff recommends the Commission approve Architectural Review AR-2024-002 and Use Permit UP-2025-007 subject to the conditions of approval and project plans.

**B. USE PERMIT APPLICATION UP-2026-001, PLANNED DEVELOPMENT PERMIT APPLICATION PDP-2025-001, AND ARCHITECTURAL REVIEW APPLICATION AR-2026-001. LA'I COMMUNITIES, PROPERTY OWNER, AND PATRICK LEMASTER, PROJECT APPLICANT, REQUEST APPROVAL OF: A USE PERMIT TO OPERATE AN APPROXIMATELY 15,339 SQUARE FOOT RESIDENTIAL CARE FACILITY; A PLANNED DEVELOPMENT PERMIT TO PROVIDE FLEXIBILITY TO THREE ZONING ORDINANCE STANDARDS; AND ARCHITECTURAL REVIEW FOR A NEW 5,396 SF DETACHED TWO-STORY STRUCTURE AND ASSOCIATED SITE IMPROVEMENTS AT 1732 FREMONT BOULEVARD (APNS 012-072-045/020) IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.**

**RECOMMENDATION:** Approve Use Permit Application UP-2026-001, Planned Development Permit Application PDP-2025-001, and Architectural Review Application AR-2026-001 subject to Exhibit A of Attachment 2 and the project conditions of approval.

**6. REPORTS FROM COMMISSIONERS**

**7. REPORTS FROM STAFF**

This is a time specifically set aside for the Staff Liaison to provide updates on non-agendized requests from the Commission, and to provide brief information on topics under the purview of the Commission.

**8. ADJOURNMENT**

Next Regularly Scheduled Meeting:  
April 8, 2026  
6:00 PM

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**CITY OF SEASIDE  
STAFF REPORT**

**Item No.: 5.A.**

**TO:** Planning Commission

**BY:** Eric Azriel, Associate Planner

**DATE:** March 25, 2026

**SUBJECT: ARCHITECTURAL REVIEW APPLICATION AR-2024-002 AND USE PERMIT APPLICATION UP-2025-007. 340 AMADOR LLC, PROPERTY OWNER, AND VILLAZZO GROUP, LLC, PROJECT APPLICANT, REQUEST APPROVAL OF ARCHITECTURAL REVIEW AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX; AND APPROVAL OF USE PERMIT UP-2025-007 TO ALLOW A REDUCTION IN THE REQUIRED DISTANCE FROM THE PARKING ENTRANCE TO THE SIDE PROPERTY LINE AND A REDUCTION IN THE REQUIRED DISTANCE FROM THE OPPOSITE SIDE OF THE ALLEY TO PARKING SPACES LOCATED AT 340 AMADOR AVENUE (APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.**

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**RECOMMENDATION**

Staff recommends the Commission approve Architectural Review AR-2024-002 and Use Permit UP-2025-007 subject to the conditions of approval and project plans.

**BACKGROUND**

The subject site is a 4,000 square foot (SF) lot on the southern side of Amador Avenue; it is occupied by a single-family dwelling. Uses to the east of the subject lot are single-family residential on both sides of Amador Avenue. The first two lots on the same block face west of the subject property are also single-family residential uses. Farther west of those lots, a cannabis dispensary occupies a one-story commercial building. The north side of Amador Avenue hosts a five-lot long one-story commercial building directly to the north of 340 Amador and continuing west to Canyon Del Rey Boulevard.

The subject site is located in the West Broadway Urban Village Specific Plan (WBUV) in the RM/POS zone, and is designated as "parcels located on all other streets." The WBUV envisions an increase of density in this area relative to the existing uses and allows multi-story multifamily buildings. Chapter 5 of the WBUV calls this area "High Density Residential / Mixed Use", indicating the relatively high density intended. Per WBUV Chapter 7, general residential development is allowed at 20 to 30 dwelling units per acre and 2.5 Floor Area Ratio (WBUV Chapter 7.B.4.2.3). The minimum height for new development in this area is two stories and the maximum is three stories (WBUV Chapter 7.B.5.2.1). The setbacks also indicate a relative increase of density and intensity because the area has a minimum front setback of 0'-0" and a maximum front setback of 10'-0"; minimum setbacks on the side and rear are also 0'-0" (WBUV Chapter 7.B.6.1). These setbacks are all smaller than those in residential zones outside of the WBUV.

**PROJECT**

The project proposes the creation of a 3,754 SF three-story three-unit multifamily building in place of the existing single-family residence.

The applicant also aims to create two detached 772 SF accessory dwelling units (ADUs). Because GOV Section 66317(a)(1) prohibits any discretionary process for ADUs, the ADUs are specifically excluded from this review. The effects of the ADUs are only included where they would physically preclude compliance with regulation (see lot coverage and landscaping section of this Staff Report).

**Staking and Flagging**

The height of the project, at just over 36' tall, creates practical difficulties when creating staking and flagging to illustrate the project. Therefore, the applicant availed themselves of Seaside Municipal Code 17.62.030.D.2, which allows them to place a sign on the property. A sign at least 3' x 5' was erected on site near the front property line on March 5th, 2026 and verified by staff on March 9th, 2025 more than fourteen days prior to the hearing. The public hearing notice was mailed on March 13, 2026 to each property owner and to the occupant(s) of each physical address located within 300' of the subject property, more than ten days prior to the hearing.

**ZONING ANALYSIS**

The narrative below discusses the more significant compliance checks and elements where Planning Commission must make a decision. Attachment 1 contains the complete list of compliance checks.

**Parking**

WBUV Ch 7.B.8.2 requires 1.5 parking spaces per dwelling with 2+ bedrooms. Because the project proposes three dwellings, each with two or more bedrooms, a total of 5

parking spaces are required. Seaside Municipal Code (SMC) 17.34.110.I.2 allows three-unit multifamily residential developments to use one tandem parking space where the tandem space is designated for the same unit as that located directly behind it and the tandem parking space would not interfere with on-site circulation movements.

The project proposes 5 parking spaces, with one tandem parking space located directly adjacent to the van accessible parking space. The proposed tandem parking space does not affect on-site circulation and condition of approval #1 requires that the tandem parking space be designated for the same unit as the van accessible parking space.

*Use Permit*

The parking spaces lie directly on the side property line; the entrances of the parking spaces sit only 8' from the rear property line and exit onto an alley. This situation conflicts with two sections of code, but exceptions can be approved via Use Permit as the below analysis shows.

The proposed parking entrances that would sit directly adjacent to side property lines are affected by three provisions of Seaside Municipal Code:

- 1. SMC 17.34.110.M prohibits parking entrances or exits to be closer than 3'-0" to side property lines.
- 2. SMC 17.34.110 allows modifications to the section subject to approval of a Use Permit.
- 3. SMC 17.34.110.N allows the Planning Commission to allow changes to parking layouts with potential safety complications if a stamped report or study by a registered transportation engineer is provided and the City Engineer and Zoning Administrator agree.

The parking spaces that would sit 24'-0" from the opposite side of the alley are affected by two provisions of Seaside Municipal Code:

- 1. SMC 17.34.120.H.3 requires 29'-0" of distance between a garage and the opposite side of the alley. The project proposes 24'-0" of distance (16'-0" wide alley plus 8'-0" distance on the property).
- 2. SMC 17.34.120 allows modifications to subsection H subject to approval of a Minor Use Permit. In this case, the Minor Use Permit is included in Use Permit application UP-2025-007.

The applicant provided a turning study in accordance with SMC 17.34.110.N from a registered Professional Civil Engineer, attached as Exhibit B of the proposed Resolution, showing that a vehicle the size of a 2009 Ford Escape 4WD SUV would be able to successfully park in the proposed spaces given the provided dimensions. Based on the information provided, the City Engineer and the Zoning Administrator found no

safety issues and approved the proposed parking layout, thereby allowing Use Permit application UP-2025-007 to be considered by Planning Commission.

### **Lot Coverage**

The proposed total lot coverage is 3,874 SF or 97% of the 4,000 SF lot because 126 SF of pervious pavers are proposed per Exhibit C Stormwater Control Plan. The WBUV 7.B.4.1.3 only allows 80% lot coverage. However, the lot coverage is allowed despite being noncompliant because approximately 51% of the lot is occupied by the proposed triplex and its associated hardscaping of sidewalks and the like and the remaining 49% of the lot could be landscaping and permeable parking if not for the ADUs which largely cover the remainder. Since the ADUs must be allowed despite exceeding the lot coverage, the status of the area underneath them becomes moot. Despite that, stormwater must still be controlled, and the on-site stormwater infiltration will be handled by nine underground infiltrators beneath the parking area as shown in Exhibit C.

### **ARCHITECTURAL ELEMENTS**

The proposed three-story triplex is significantly taller and closer to property lines than the existing development surrounding it. The project uses three strategies to minimize its apparent bulk and provide visual interest.

First, darker recesses, painted Benjamin Moore Otter Brown 2137-10, are used throughout the project to create definition and breaks in the facade. On the west elevation, the recesses are built directly into the wall; on the other elevations, windows are installed into the recesses. Each recess is painted with a dark vertical band of Otter Brown 2137-10.

Second, all the facades other than the west are articulated. On the east (left) facade, the first story is set back 5'-6" from the second story. The north (front) facade differentiates between the first and second stories, with the second story reaching the property line and the first story set back 2'-0" from it. The individual outdoor spaces or decks on the northwest corner also serve to differentiate floors and break up the massing because that section is set back 9'-0" from the front property line. The southern facade, facing the alley, would be mostly blocked from view by the two ADUs but still contains variation in its surfaces with the third story relatively far away from the rear property line at 62'-0", the ADU much closer to the rear property line at 4'-0", and the covered parking opening at 8'-0" from the rear property line but having the first visible wall at 46'-0" from the rear property line.

Third, the project uses three shades of brown to selectively highlight areas of the building. The first floor is painted the lightest, Benjamin Moore Frosted Toffee 988, which helps set it apart and offset the partial shade it will be in. The second and third stories are set apart by the medium dark brown Benjamin Moore Broken Arrow 1026

covering the body on the north (front) and east (left) facades. The medium dark brown is strongly contrasted by the vertical elements painted dark Otter Brown 2137-10 in this section. On the remaining two sides, the second and third stories are painted light brown Frosted Toffee. On the south (rear), this contrasts with the ADUs' medium brown Broken Arrow 1026. On the west (right) facade the light brown is part of an integrated series of recesses along the entire length of the proposed building.

Finally, the stairs, railings, windows, and light fixtures provide a subtle yet consistent note of contrast with their black finishes.

**Landscaping**

The project is proposing 45 SF of landscaping in the front setback area consisting of 12 1-gallon English Lavender plants, *Lavandula angustifolia*. Per the Water Use Classification of Landscape Species, this species requires low water use in Seaside; therefore, irrigation is not required.

The development involves the removal of one tree. But because of the ADUs there is insufficient lot area to replace the tree. The ADUs must be allowed to be constructed; therefore, replacing the tree cannot be required.

**ENVIRONMENTAL**

Architectural Review is not an activity subject to the California Environmental Quality Act (CEQA) pursuant to 15061(b)(3) of the CEQA guidelines. Discretionary design review of an otherwise permitted use does not give the City the authority to mitigate environmental impacts and thus the project is not subject to the California Environmental Quality Act (CEQA).

**USE PERMIT FINDINGS**

**1. The project is Categorically Exempt, Class 3, from the California Environmental Quality Act (CEQA) pursuant to Section 15303(B) of the CEQA Guidelines.**

*Evidence:* The project proposes the creation of one multi-family structure housing three dwelling units. The area is urbanized because Seaside is part of a group of contiguous cities with a total population greater than 50,000 persons in accordance with Section 15387 of the CEQA Guidelines.

**2. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

*Evidence:* The Zoning Ordinance designates the lot as part of in the RM/POS district in the West Broadway Urban Village Specific Plan (WBUV) area. Multifamily dwellings are a permitted use. The project meets all applicable provisions of the Municipal Code.

**3. The proposed use is consistent with the General Plan and any applicable specific plan.**

*Evidence:* Per Figure 7-3 of the WBUV, the proposed property is designated as "all other streets." Multifamily dwellings are permitted in the "All Other Streets" district of the WBUV per WBUV Chapter 7 Table 7-1. The proposed use is compliant with all other applicable provisions of the WBUV. The General Plan refers back to the WBUV for allowed uses.

**4. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.**

*Evidence:* Allowing the reduced clearances in the parking area will have no impact on safety, as shown in the turning study, attached as Exhibit B.

**5. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

*Evidence:* The WBUV allows a density of up to 30 dwelling units per acre, or three units on a lot this size. The site has sufficient space for parking five passenger vehicles, four of them side-by-side, and one parked in tandem. The site is served by existing utilities.

**6. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

*Evidence:* The turning study included as Exhibit B shows that no hazard would be created by allowing the reduced distances from the parking spaces to the side property line and to the alley's opposite side. Because no hazard is created, granting the permit, which functionally allows the project to comply with parking requirements, would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

**ATTACHMENTS**

- 1. Attachment 1 to Staff Report: Zoning Analysis
- 2. Attachment 2: Draft Resolution
- 3. Exhibit A to Attachment 2: Project Plans
- 4. Exhibit B to Attachment 2: Turning Study
- 5. Exhibit C to Attachment 2: Stormwater Control Plan
- 6. Attachment 3: Location Map
- 7. Attachment 4: Staking and Flagging
- 8. Attachment 5: Letter from GreenWaste



**West Broadway Urban Village Specific Plan Compliance Review**

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
ADU 1	Maximum of 800 SF	772 SF	Not included in this review. Can be built despite any effect on FAR.
ADU 2	Maximum of 800 SF	772 SF	Not included in this review. Can be built despite any effect on FAR
FAR, not including ADUs	Maximum of 2.5	About 4034/4000 or 1.009 Listed at 1.39 which includes the ADUs	Compliant
Lot coverage	80%	126 SF of permeable surface area and 45 SF of landscaping, or 96% coverage	Not compliant but still allowed. The ADUs cover 1,544 SF or approximately 39% that would not otherwise be covered. The ADUs can be built despite going above the lot coverage. If the ADUs were not proposed, the open space and the parking area could be made permeable, which would easily meet the 80% coverage limit. To meet stormwater requirements without meeting coverage requirements, nine infiltrators are proposed.
Residential density	20 to 30 du/acre	3 units	Compliant 0.0918 acres * 30 du/acre = 2.8 units Number of allowed units is rounded up to 3

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
Height	B.5.2 2 stories min 3 stories max	3 stories plus roof deck	Compliant
Step back	Third story step back 25 feet from the rear property line (abutting existing residential lots to the south)	No step back, but the third story is well more than 25 ft. away from the rear property line	Compliant
Front setback	B.6.1.1 0 ft. minimum 10 ft. maximum	2 ft	Compliant
	B.6.1.1 Building walls built to the street frontage for 70% of site minimum	100% is built to the street frontage	Compliant
	B.6.1.1 A maximum of 30 percent of the street frontage used for entry forecourts, paseos, outdoor plazas, or parking access	14% used for entry	Compliant

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
	B.6.1.1 The building wall at the street frontage built with a minimum of 60 percent of the ground floor consisting of windows or storefronts with views into the building.	N/A	This provision is not applicable to residential
Side setbacks	0 ft min 5 ft. max Except for driveway access and paseos	0 ft. both sides	Compliant
Rear setbacks	None	8 ft.	Compliant
Residential private open space	B.7.2 80 SF per unit	81 SF per unit	Compliant
Residential common open space	B.7.2 100 SF per unit Multifamily development requires active recreation elements	504 SF Roof deck.	Active recreation is not possible in this size open space. Condition of approval #2 added to require elements shown on plans or their equivalent to be provided for residents' use.
Residential parking	B.8.2 2+ bdrm = 1.5 spaces per dwelling 1 bdrm = 1.0 space per dwelling	5	Compliant 3 apartments at 2+ bedrooms each $1.5 * 3 = 4.5$ Round up to 5 spaces

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
Guest parking	Not required unless ten units or more	0	Exempt
Parking Lot	B.8.4 Parking lots to be located at rear or side	At rear	Compliant
Bicycle parking	B.8.5.1. 10% of vehicle required parking	Two inverted Us below staircase, allowing up to four bicycle spaces depending on spacing	Compliant
	E.2.1.1 The massing of larger residential buildings shall be broken down to convey a sense of "home," and give individuality to each unit that lies within it.		Compliant to an extent
	E.2.1.2 Building massing shall be subdivided into portions or segments compatible with the adjacent residential scale.		Compliant to an extent

Category	Standard	Proposed	Compliant/Noncompliant
	E.2.1.3 Façades of long buildings shall be architecturally subdivided into shorter segments every 25 to 50 feet maximum, using the methods identified under the Guidelines, below.		Compliant
	E.2.1.4 Each vertical module of units shall incorporate architectural features that help individually distinguish them, such as wall breaks, projections, distinct color schemes and individual roof treatments.		Compliant
	7.E.2.3.1 The front setbacks shall be adequately landscaped and provide entry opportunities to the residential units directly from public streets.		Compliant

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
	E.2.4.1 Façades shall be designed so as to include entries, porches and other architectural elements that relate to the human scale.	Each unit has a porch.	Compliant
	E.2.4.2 Residential entries shall be located on the front façade and directly access the sidewalk or street.		Compliant
	E.2.4.3 Rain gutters shall be designed so as to be of a scale and material that is compatible with the roof and eaves.	Roofs designed with parapets	Compliant
	E.2.5.1 All windows within a building and across a façade shall be related in design, operating type, proportions and trim.	JELD-Wen Black Exterior Windows (V-4500 Series or equivalent)	Compliant
	E.2.5.2 Windows shall be used as architectural elements that add relief to the façade and wall surface.	Windows recessed 2"	Compliant.

Category	Standard	Proposed	Compliant/Noncompliant
	E.2.5.3 Windows shall be vertically-oriented in order to relate to the human form.	Vertically oriented.	Compliant
	E.2.5.4 Multi-pane windows for all uses shall be either "True divided light" windows or sectional windows. "Simulated divided light grids," snap-in muntins (i.e. post or bars used to separate glass in a sash into multiple panes) and those located within double-paned glass shall not be used.	Multi-pane windows not used.	Compliant
	E.2.5.5 Windows shall employ design details, such as mullions, to break the scale of the façade into smaller components.	Mullions not used	Larger windows use two panes. Window recesses break up façade as well. Compliant.
	E.2.5.6 Reflective glazing shall not be used.		Specified in condition of approval #3.

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
	E.2.7.1 A variety of materials shall be used within an architectural theme that emphasizes a differentiation between the various components of the building.	1- coat cement plaster painted three varying shades of brown constitutes the bulk of the materials. The black metal mesh safety railings and front gate provide differentiation.	The judicious placement of color emphasizes recessed areas with darker browns and highlights level changes with shifts between tones. Compliant
	E.2.7.2 The combination of materials on a building façade shall be appropriate to its style and design.		Compliant
	E.2.7.3 The gap between material and base of building shall not be visible.		There is no cladding proposed, so it is not applicable.

Category	Standard	Proposed	Compliant/Noncompliant
	E.3.4.1 All landscaped public or common areas and front yard landscaping within a development shall be required to have automatic irrigation systems to ensure plant survival.	English lavender is rated Low water use by WUCOLs. Does not require irrigation.	Condition of approval #4 requires plants to thrive through the establishment period of one year. After establishment, the choice of plant means that irrigation is not required. Compliant.
	E.3.4.2 Irrigation systems shall be designed to minimize water run-off onto sidewalks or streets.		Irrigation is not proposed. Not applicable.
	E.3.4.3 Automatic, self-adjusting irrigation controllers shall be required on all irrigation systems to adjust based on changes in weather.		Irrigation is not proposed. Not applicable.

Category	Standard	Proposed	Compliant/Noncompliant
	E.3.4.4 Irrigation system design shall include sprinkler and spray head distribution uniformity, head-to-head spacing and setbacks from walkways and pavement.		Irrigation is not proposed. Not applicable.
	E.3.4.5 Landscaping shall be designed to be irrigated at no more than 80 percent of the reference evapotranspiration.		Irrigation is not proposed. Not applicable.
	E.3.4.6 Turf areas should be no more than 25 percent of the total irrigated site area.		Compliant
	E.4.1.1 The design of the mailboxes and mailbox enclosures shall be consistent with the architectural style of the development and shall match the colors and materials of other on-site buildings.	Salsbury 6 Door High Surface Mounted 4C Horizontal Mailbox with 5 Doors and 1 Parcel Locker in Sandstone with USPS Access	Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	E.4.2.1 Trash bins shall be located within a trash enclosure at all times. 17.30.110 requires 24 SF of storage	80 SF trash room with drain inlet to sewer. Greenwaste has provided approval letter.	Compliant
	E.4.2.2 Trash enclosures shall be of an architectural detailing consistent with the overall site and building design.	Integral part of the structure, painted Frosted Toffee.	Compliant
	E.4.2.3 Trash enclosures shall be designed to prevent precipitation from entering the enclosure and for moisture to drain to the sanitary sewer system.	Fully enclosed, drain provided	Compliant
	E.4.2.4 Trash enclosures, mechanical equipment and utilities shall be provided with architectural enclosures or fencing, sited in unobtrusive locations and screened by landscaping.	Sited within parking structure. Fully enclosed	Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	E.4.4.1 Chain links fences shall not be used.		Compliant
	E.4.4.2 Barbed wire, razor wire or other such deterrent security fences shall not be used.		Compliant
	E.5.2.1 All parking areas shall provide interior landscaping for shade and aesthetic enhancement.	Not applicable. Parking is within garage/carport.	Compliant
	E.5.2.2 Curbed planter areas shall be provided at the end of each parking aisle to protect parked vehicles from the turning movements of other vehicles.	Not applicable. Parking is within garage/carport.	Compliant

<b>Category</b>	<b>Standard</b>	<b>Proposed</b>	<b>Compliant/Noncompliant</b>
Affordable units	Seaside Municipal Code 17.32.020.A requires "at least 20 percent of the total units as inclusionary units restricted for occupancy by moderate-, low- or very low-income households."		Three proposed units requires one unit to be affordable. Affordable agreement will be completed after the entitlement phase is complete.

**PLANNING COMMISSION  
RESOLUTION NO. 2X-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING ARCHITECTURAL REVIEW APPLICATION NO. AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX AND USE PERMIT APPLICATION NO. UP-2025-007 TO ALLOW A REDUCTION IN THE REQUIRED DISTANCE FROM THE PARKING ENTRANCE TO THE SIDE PROPERTY LINE AND A REDUCTION IN THE REQUIRED DISTANCE FROM THE OPPOSITE SIDE OF THE ALLEY TO PARKING SPACES LOCATED AT 340 AMADOR AVENUE (APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.**

**WHEREAS**, 340 Amador LLC, Property Owner, and Villazzo Group, LLC, Applicant, applied for Architectural Review No. AR-2024-002 and Use Permit No. UP-2025-007; and

**WHEREAS**, the proposed project requires the review authority to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

**WHEREAS**, the Planning Commission considered oral comments and written information concerning the applications No. AR-2024-002 and No. UP-2025-007 at a duly noticed public hearing that the Planning Commission held on March 25, 2026; and

**WHEREAS**, Architectural Review is not an activity subject to the California Environmental Quality Act (CEQA) pursuant to 15061(b)(3) of the CEQA guidelines.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission adopts the following finding:

- 1. The project is Categorically Exempt, Class 3, from the California Environmental Quality Act (CEQA) pursuant to Section 15303(B) of the CEQA Guidelines.**

*Evidence: The project proposes the creation of one multi-family structure housing three dwelling units. The area is urbanized because Seaside is part of a group of contiguous cities with a total population greater than 50,000 persons in accordance with Section 15387 of the CEQA Guidelines.*

**BE IT FURTHER RESOLVED**, that the Planning Commission adopts the following findings for Use Permit No. UP-2025-007:

**2. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

*Evidence:* The Zoning Ordinance designates the lot as part of in the RM/POS district in the West Broadway Urban Village Specific Plan (WBUV) area. Multifamily dwellings are a permitted use. The project meets all applicable provisions of the Municipal Code.

**3. The proposed use is consistent with the General Plan and any applicable specific plan.**

*Evidence:* Per Figure 7-3 of the WBUV, the proposed property is designated as "all other streets." Multifamily dwellings are permitted in the "All Other Streets" district of the WBUV per WBUV Chapter 7 Table 7-1. The proposed use is compliant with all other applicable provisions of the WBUV. The General Plan refers back to the WBUV for allowed uses.

**4. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.**

*Evidence:* Allowing the reduced clearances in the parking area will have no impact on safety, as shown in the turning study, attached as Exhibit B.

**5. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

*Evidence:* The WBUV allows a density of up to 30 dwelling units per acre, or three units on a lot this size. The site has sufficient space for parking five passenger vehicles, four of them side-by-side, and one parked in tandem. The site is served by existing utilities.

**6. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

*Evidence:* The turning study included as Exhibit B shows that no hazard would be created by allowing the reduced distances from the parking spaces to the side property line and to the alley's opposite side. Because no hazard is created, granting the permit, which functionally allows the project to comply with parking requirements, would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

**BE IT FURTHER RESOLVED**, the Planning Commission approves Architectural Review No. AR-2024-002 and Use Permit No. UP-2025-007 subject to the following Conditions of Approval:

***Planning:***

1. The van accessible parking space and the tandem parking space immediately adjacent to it shall be designated for the same unit pursuant to Seaside Municipal Code 17.34.110.I.2.
2. The recreational elements or their equivalent as shown on the roof deck on Sheet A.1 shall be provided by the applicant and maintained. Equivalent recreational elements may be provided upon approval of the Zoning Administrator.
3. In accordance with West Broadway Urban Village Specific Plan Chapter 7.E.2.5.6, reflective glazing shall not be used.
4. An Affordable Housing Agreement to create one low-income unit shall be approved and executed prior to building permit issuance in accordance with Seaside Municipal Code 17.32.020.
5. All plantings shall be adequately watered during the establishment period of one year. In the event of unsuccessful establishment, defined as plants dying, being damaged, or not thriving, any such plants shall be replaced at a 1:1 basis.
6. Landscaped areas, including trees and other plantings, as well as paving, walls, and fences, shall be regularly maintained.
7. The Zoning Administrator has the authority to approve minor changes to the landscaping, lighting, and architectural finishes of this project, given changes are kept in a similar design style, the colors and materials are within the same design family (metal, wood, composite siding), and the juxtaposition of the materials and colors achieves a similar design balance and aesthetic.
8. This approval does not include the conceptual Accessory Dwelling Unit shown on the attached plans.
9. If necessary, a Water Allocation shall be obtained.

***Building:***

10. Construction must comply with all requirements of the California Building Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

***Fire Department:***

11. Construction must comply with all requirements of the California Fire Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

***Standard:***

12. Except as modified by the conditions of approval, plans submitted for Building Permits must be in compliance with Exhibit A: Project Plans.
13. The applicant agrees as a condition and in consideration of the approval of this permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
14. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
15. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner prior to issuance of any Building Permit or establishment of any use authorized by the permit.
16. This approval shall become null and void unless a Building Permit application is submitted or authorized use is established within twelve (12) months of April 1, 2026 in accordance with Seaside Municipal Code Section 17.64.080.A. Time extensions may be granted in accordance with Seaside Municipal Code Section 17.64.080.B. This approval shall also become null and void if the implementing Building Permit application expires.

17. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the City of Seaside, State of California, on the 25th day of March 2026, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

---

Will Silva, Chairperson

ATTEST:

---

Planning Commission Secretary

Exhibits:

Exhibit A: Project Plans  
Exhibit B: Turning Study  
Exhibit C: Stormwater Control Plan

**ARCHITECTURAL REVIEW APPLICATION No. AR-2024-002 AND USE PERMIT  
APPLICATION No. UP-2025-007  
RESOLUTION No. XX-XX**

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

\_\_\_\_\_  
Applicant's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

# Site Plan/ Design Review Application

for

## 340 Amador Avenue

3 Unit Apartment Complex

APN: 011-315-003

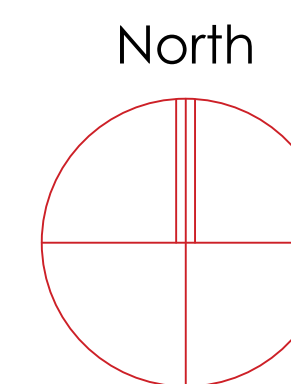
### Sheet Index

- CS Cover Sheet
- SP.1 Site Photos with Building Located
- A.1 Site Plan and Building Plan
- A.2 Exterior Elevations
- A.2.1 Colored Elevations
- A.3 Colored Elevations
  
- 1 Engineering Turning Radius for Parking at Alley

### Location Map



Project Location



### Team

Owner:  
Villazzo Group, LLC.  
340 Amador Avenue  
Seaside, CA 93955  
jonlee35@gmail.com

Architect:  
Lee-Jagoe Architecture, Inc.  
2291 West March Lane, Suite B200  
Stockton, CA 95207  
(209) 957-9254

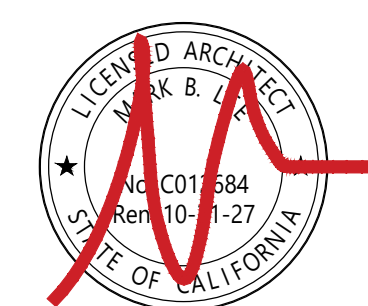
Civil Engineer (Parking Template):  
Wong Engineering  
4578 Feather River Drive, Suite A  
Stockton, CA 95219  
(209) 476-0011

### Scope of Work

Construction of 3 Unit Apartment Project and 2 ADU's not subject to design review

February 17, 2026

CS



LEE JAGOE ARCHITECTURE  
INCORPORATED

340 Amador Avenue Apartments

Villazzo Group



②



③



④



① Amador Avenue-South View

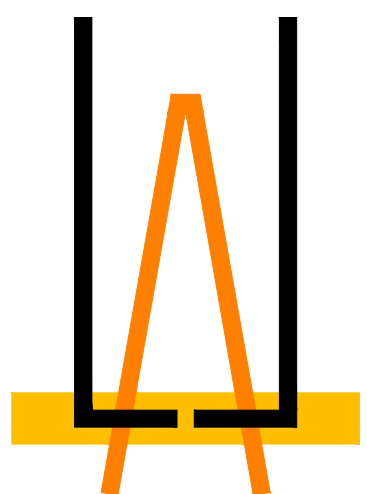


# Sheet SP.1

Site Photos

## 340 Amador Avenue Apartments

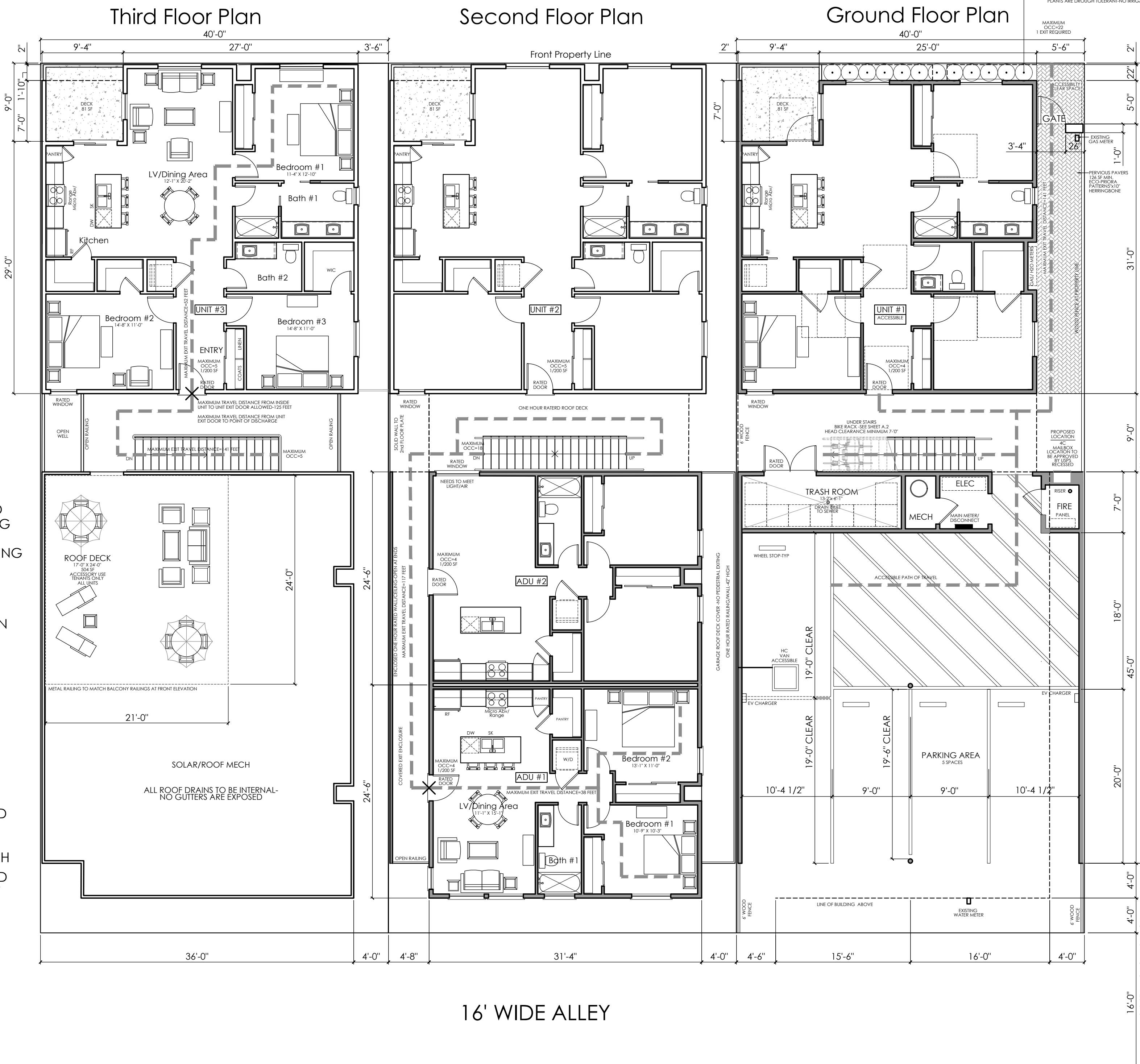
# Villazzo Group



LEE JAGOE ARCHITECTURE  
INCORPORATED

Revised February 17, 2026

# 340 AMADOR AVENUE



## Sheet A.1

Floor Plans  
Site Plan

Two Bedroom ADU 772 Sq. Ft.  
1st Floor Three Bedroom 1170 Sq. Ft.  
2/3 Floor Three Bedroom 1292 Sq. Ft.

## Preliminary Concept Project Data

Gross Land Area: .0918 Acres  
4000 sq ft  
Density without ADU: 32.68 Du/Ac Gross

Coverage Base on Net Land Area:

Building Coverage:	1292 sq. ft.	32.30%
Mech Area Coverage:	280 sq. ft.	7.00%
Total Area Coverage:	1572 sq. ft.	39.30%
ADU Coverage:	1544 sq. ft.	Not Applicable
Parking Coverage:	1520 sq. ft.	38.00% Under Building.

Floor Area Ratio/Gross: 1.39 to 1.00

ADU Unit-2Br/1 Ba	2 Units	772 sf	1 Story
3 Br/2 Ba-Accessible	1 Units	1170 sf	1 Story
3 Br/2 Ba	2 Unit	1292 sf	1 Story

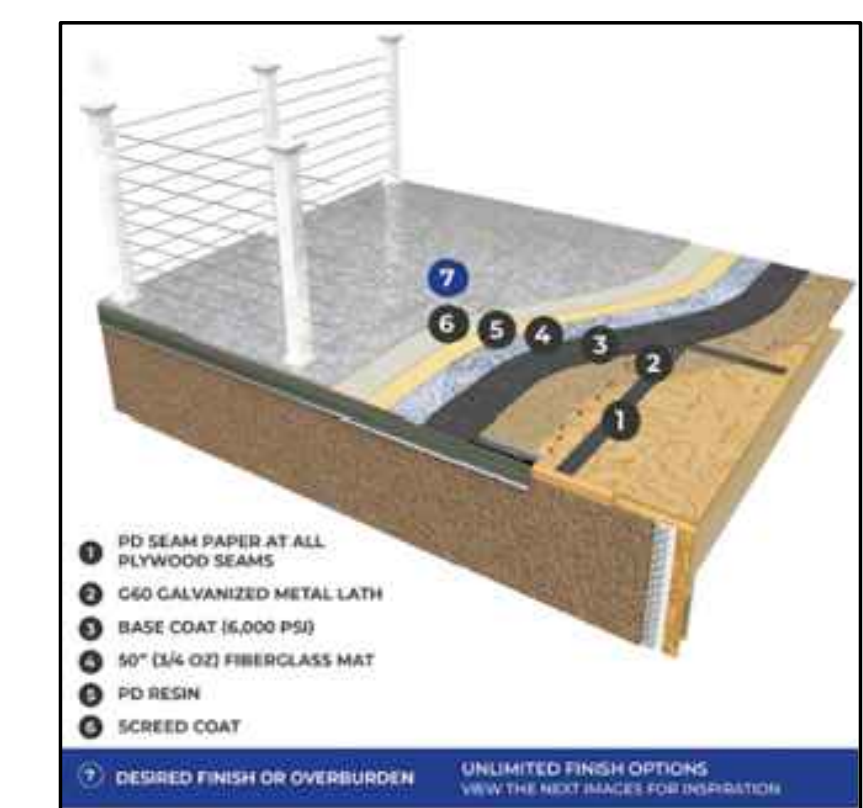
# Parking Spaces: 4.5 Spaces Req'd No Spaces Req'd for ADU  
1.0 Guest Req'd

Covered Carports: 5 Spaces  
Open/Guest: 0 Spaces  
Total Parking Spaces: 5 Spaces

Private Open Space: Minimum 100 Square Feet per Unit  
Public Open Space: 300 sf Required  
411 sf Provided

Concrete  
Patio/Stoop

BALCONY DECKS:

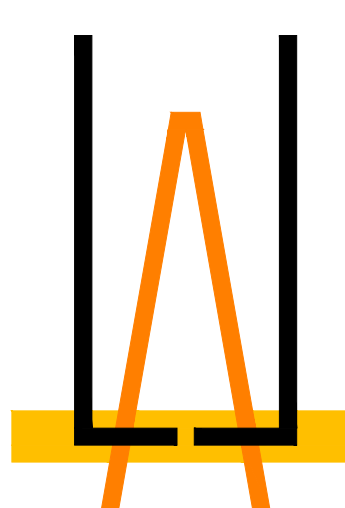


PLI-DEK STANDARD COLOR TO MATCH BUILDING ACCENT COLOR  
CEILING UNDER DECK TO BE CEMENT PLASTER

STONEWOOD PRODUCTS PERVIOUS PAVERS



Scale: 1/8"=1'-0"  
April 25, 2025  
Revised February 17, 2026



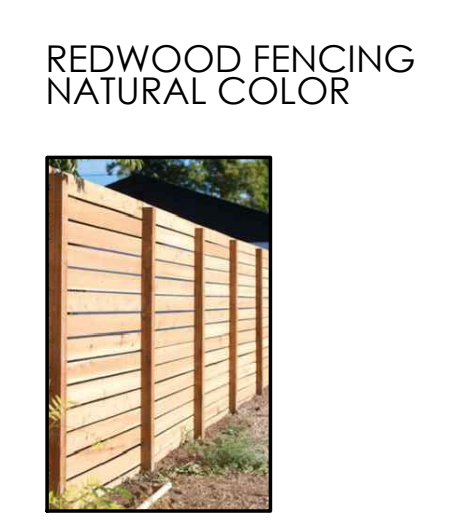
LEE JAGOE ARCHITECTURE  
INCORPORATED



ROOF DECK :  
REMOVABLE SQUARE TREX/EQ DECKING ON SPACERS



BALCONY AND ROOF DECK RAILING:  
BLACK COLOR METAL FRAME AND WIRE MESH  
CROSS BRACING NOT SHOWN



6' HIGH WOOD FENCE  
1x6 HORIZONTAL SIDING

REDWOOD FENCING  
NATURAL COLOR

### FIRE DEPARTMENT REQUIREMENTS:

- Fire Sprinklers Required** - The residence shall be protected with an automatic fire sprinkler system in compliance with the National Fire Protection Association Standard 13D. Plans for the fire sprinkler system must be submitted and approved by the Sesside Fire Department prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection from the building department.
- A fire alarm water flow switch is required on all residential fire sprinkler systems and shall be located so that it is audible to the occupants of the residence. The flow switch shall be wired to the kitchen refrigerator circuit.
- It is the responsibility of the applicant to check with the local water service company (Cal Am) to insure the proper water meter size is provided for both the domestic and fire sprinkler flows. Generally, a 1 inch meter is required.
- An indicating type valve shall be installed in a location where it shuts off both the fire sprinkler and the domestic system. The indicating valve shall be installed above grade and shall be a ball-type valve only. A separate valve just for the fire sprinkler system is not required.
- All underground piping is to be flushed prior to the connection of any fire sprinkler piping.
- Separate fire sprinkler plans need to be delivered to Sesside Fire Department, located at 1635 Broadway Avenue. A minimum of (3) set of plans are required. If the applicant requires (2) sets of approved plans, then (4) sets need to be delivered to the fire department. Applicant needs to submit to the fire department for prior approval.

### ENGINEERING DEPARTMENT REQUIREMENTS:

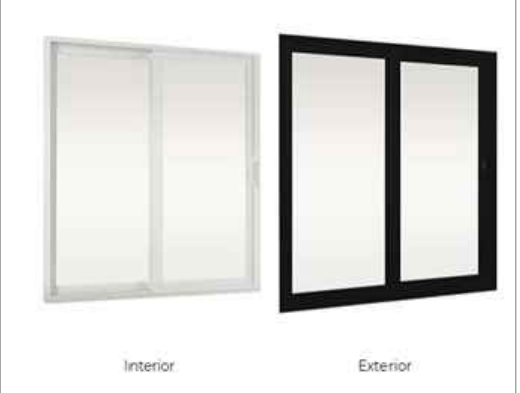
- Proposed project must implement storm water best management practices (BMPs) during construction. (SMC 8.46)
  - Complete and submit the Storm Water Compliance Tracking Form, with signature with building permit application.
  - A project specific Erosion and Sediment Control Plan (ESCP) is required of the applicant as part of building permit application.
- Post-development peak storm water runoff rates shall not exceed predevelopment rate. A pro rata share of the cost of offsite erosion sediment, and flood control improvements and/or for maintenance to the principal drainage way may be required by the city engineer to handle the increase peak runoff and/or sediment generated by the project. (SMC 15.32.170)
  - As part of building permit application, develop civil grading and drainage plans to clearly show direction of storm water drainage from new or redeveloped impervious surfaces.
  - Drainage shall not be directed to adjacent properties. See item #4 for further requirements.
- As required by Attachment 1 to Resolution No. R3-2013-032 of the Central Coast Regional Water Quality Control Board, the applicant shall develop a Storm Water Control Plan demonstrating compliance with performance requirements #1, as applicable. (SMC 8.46.130)
- Performance Requirement No. 1: Site Design and Runoff Reduction. The Permittee shall require all Regulated Projects that create and/or replace > 2,500 square feet of impervious surface (collectively over the entire project site), including detached single-family home projects, to implement at least the following design strategies throughout the Regulated Project site: Limit disturbance of creeks and natural drainage features.
  - Minimize compaction of highly permeable soils
  - Limit clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
  - Minimize impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state
  - Minimize storm water runoff by implementing one or more of the following site design measures:
    - Direct roof runoff into cisterns or rain barrels for reuse
    - Direct roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
    - Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
    - Direct runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
    - Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces.
- Applicant shall adhere to (SMC 17.34.120) for all driveway approach and parking requirements.
- Applicant is required to contact Sesside County Sanitation District (SCSD) to assess any additional sewer fees that may apply to the project. This step is necessary to ensure compliance with local regulations and to avoid any delays in the processing of your permit application. SCSD contact e-mail (PGregan@ci.sesside.ca.us)
- Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Work Department.



Salsbury 6 Door High Surface Mounted 4C Horizontal Mailbox with 5 Doors and 1 Parcel Locker in Sandstone with USPS Access



PROPOSED STAIRS:  
METAL STRINGERS PAINTED BLACK WITH PRECAST CONCRETE TREADS. NOT SHOWN WILL BE BLACK METAL RISER ENCLOSURES



PROPOSED VINYL WINDOWS - SLIDING WINDOWS  
JELD-Wen Black Exterior Windows (V-4500 Series or equivalent)



Kichler Lighting - DLTRC068BKT - Direct to Ceiling - Round Recessed Downlight Trim - with Utilitarian inspirations - 1.25 inches tall by 7.5 inches wide

DOWN LIGHT LOCATIONS:  
ALL DOWN LIGHTS TO BE LOCATED UNDER THE 2ND FLOOR OVERHANG AND UNDER CEILING OF EXTERIOR OF EXTERIOR WALKWAY AND CEILING OF COVERED PARKING

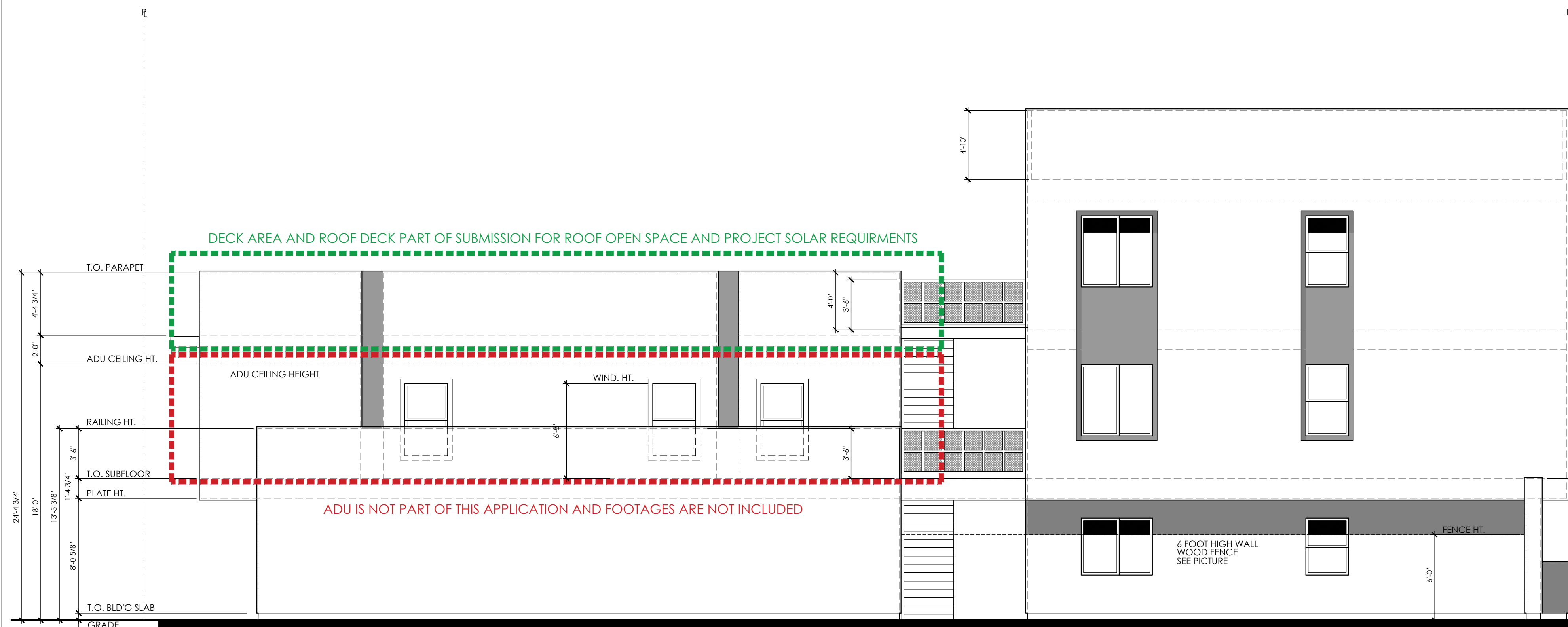
ALL LIGHTING TO BE RECESSED CAN DOWNWARD LIGHTING WITH WITH BLACK TRIM TO MATCH WINDOW FRAMES



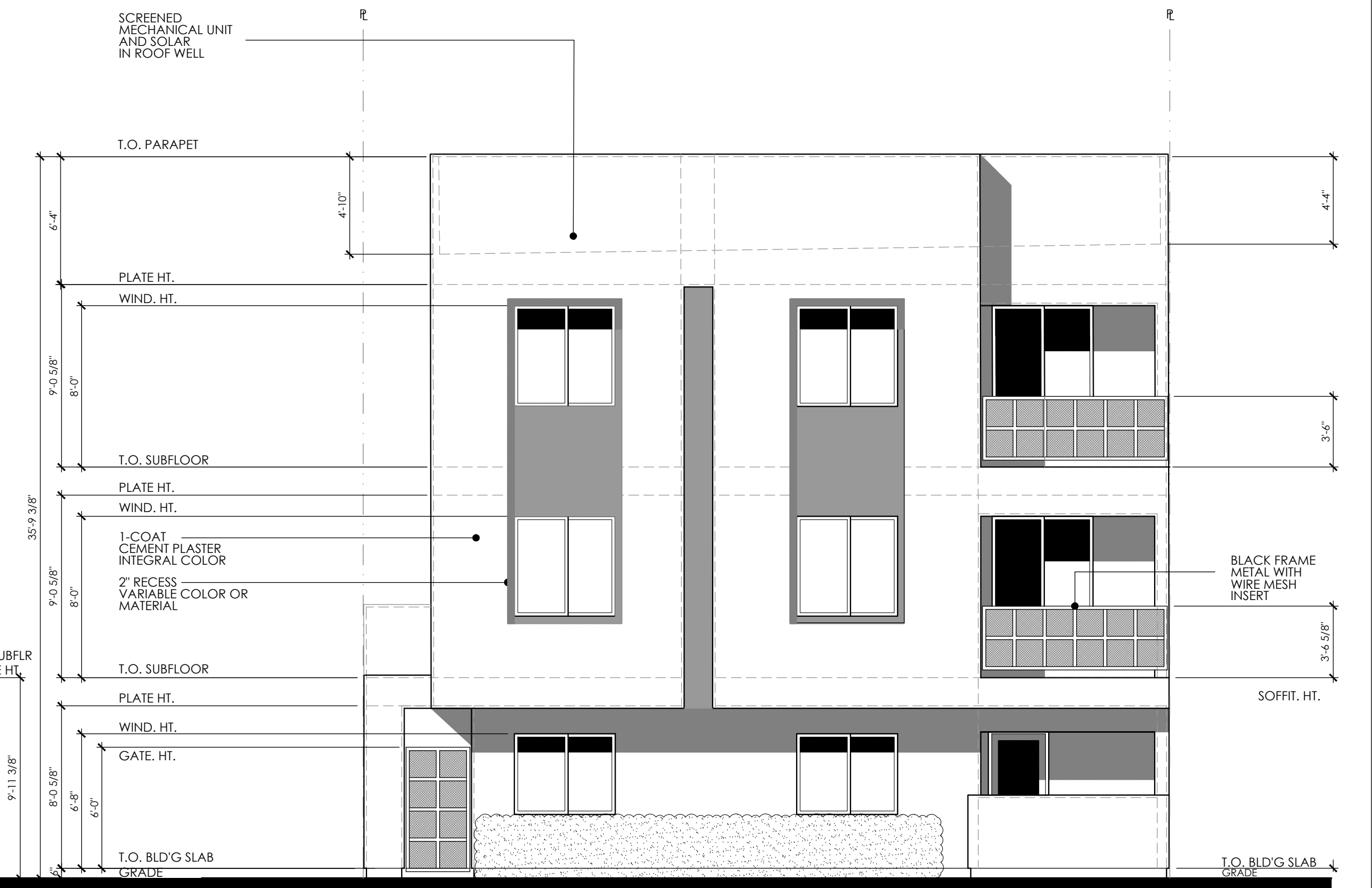
KICHLER INDEPENDENCE 1 LIGHT 1.5 IN DECK LIGHT BLACK FINISH



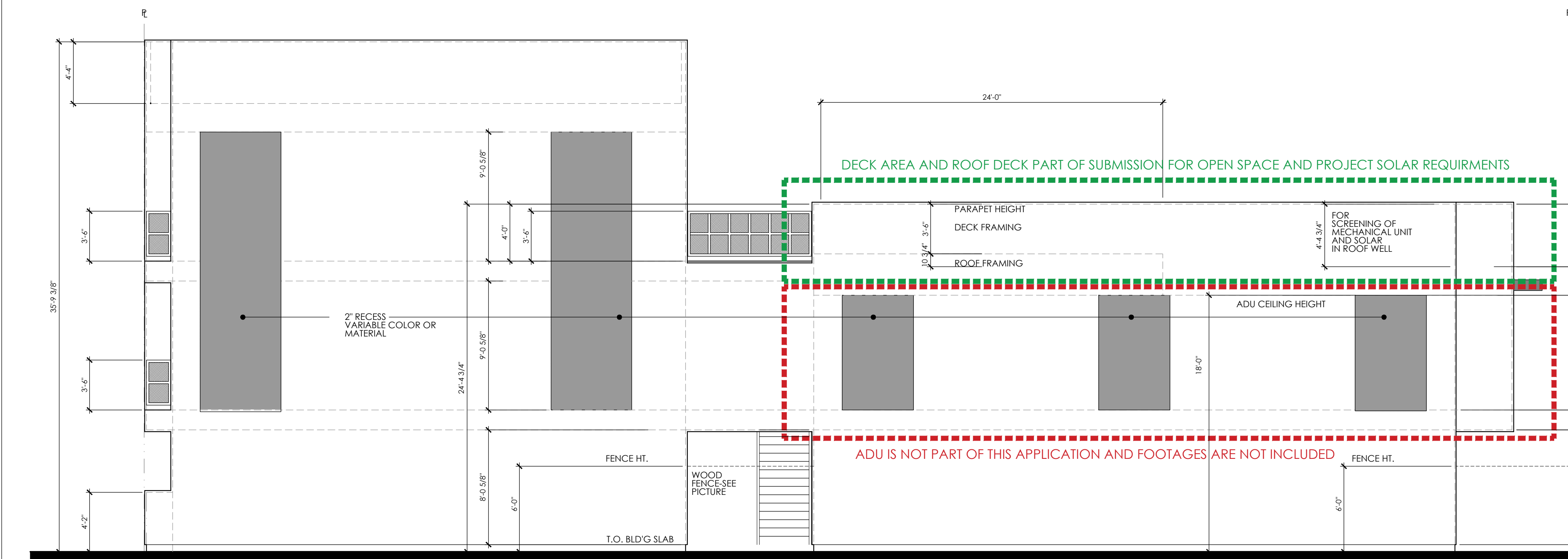
KICHLER WALDEN OUTDOOR WALL LIGHT 49550BKTLTD DARK SKY RATED BLACK FINISH OUTSIDE 3RD FLOOR UNIT ENTRY



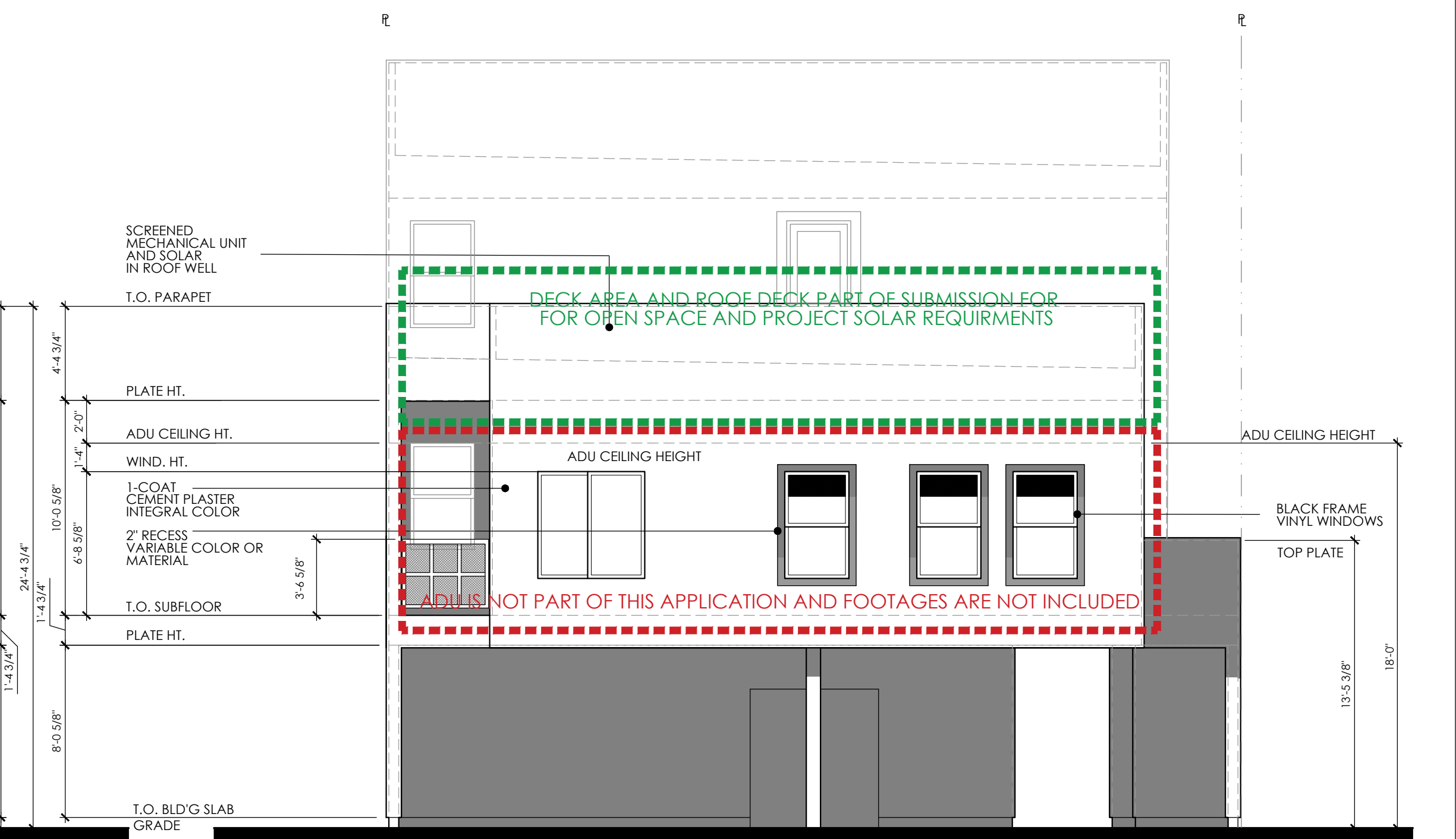
East (Left) Elevation



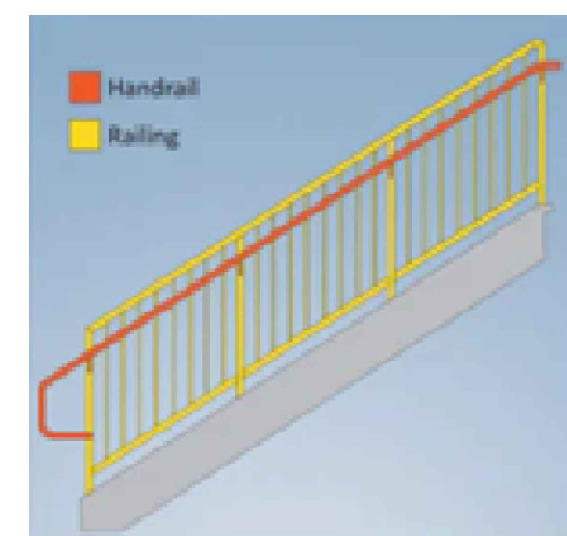
North (Front) Elevation



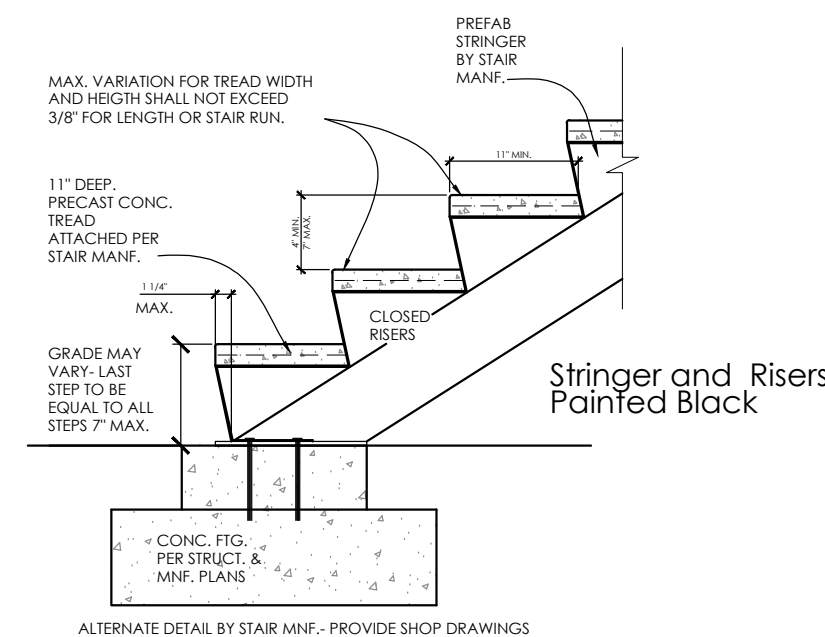
West (Right) Elevation



South (Rear) Elevation



INTERIOR STAIR AND STAIR RAILING DESIGN  
ALL ITEMS PAINTED BLACK



Exterior Finishes:

Trash door is hollow metal.  
All mechanical doors are painted to match base building color- Benjamin Moore-Frosted Toffee  
Entry doors are painted Benjamin Moore-Other Brown  
All interior garage walls to be Benjamin Moore- Frosted Coffee  
First floor private open space door is to be Exterior Fiberglass door, or equivalent  
Hardscape walkways to be concrete with broom finish.  
Garage slab to be smooth finish concrete.  
2nd and 3rd floor walkways to be Pli-Deck-Hickory  
Trex Deck to be Enhance-Coastal Bluff



Bike Rack: U-Rack Rack, 4 Bikes, Powder Coated, Steel, 27 in Slot Wd, 34 in Overall HT, Surface

340 Amador Avenue Apartments

Villazzo Group

Sheet A.2  
Exterior Elevations

Scale: 3/16"=1'-0"  
April 25, 2025  
Revised February 17, 2026

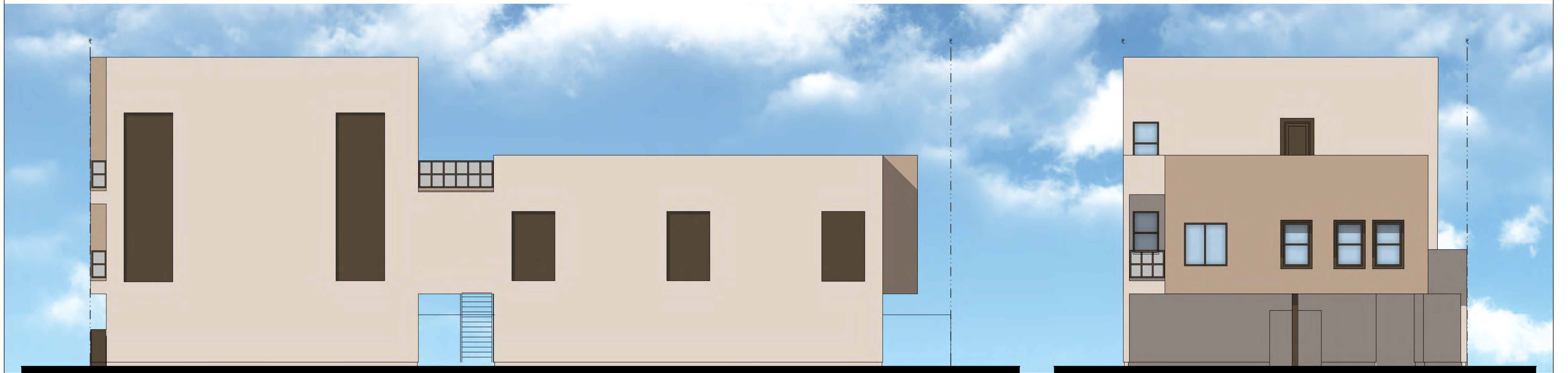


LEE JAGOE ARCHITECTURE  
INCORPORATED



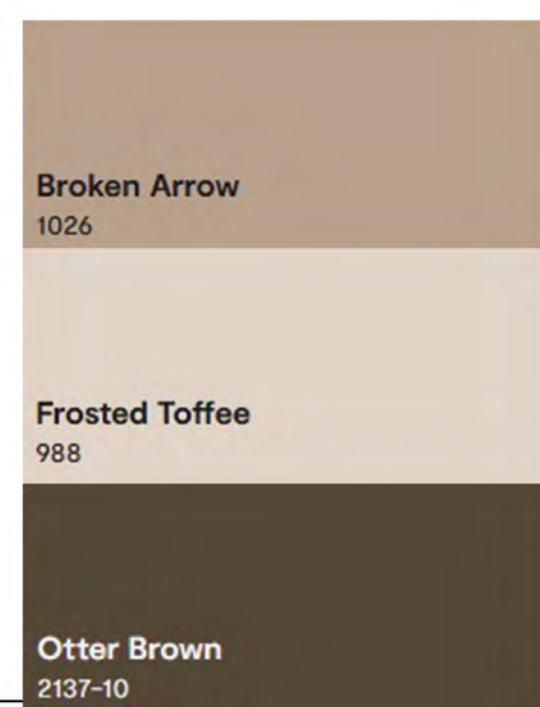
East (Left) Elevation

North (Front) Elevation



West (Right) Elevation

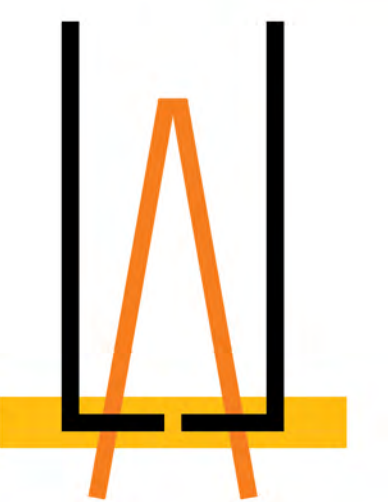
South (Rear) Elevation



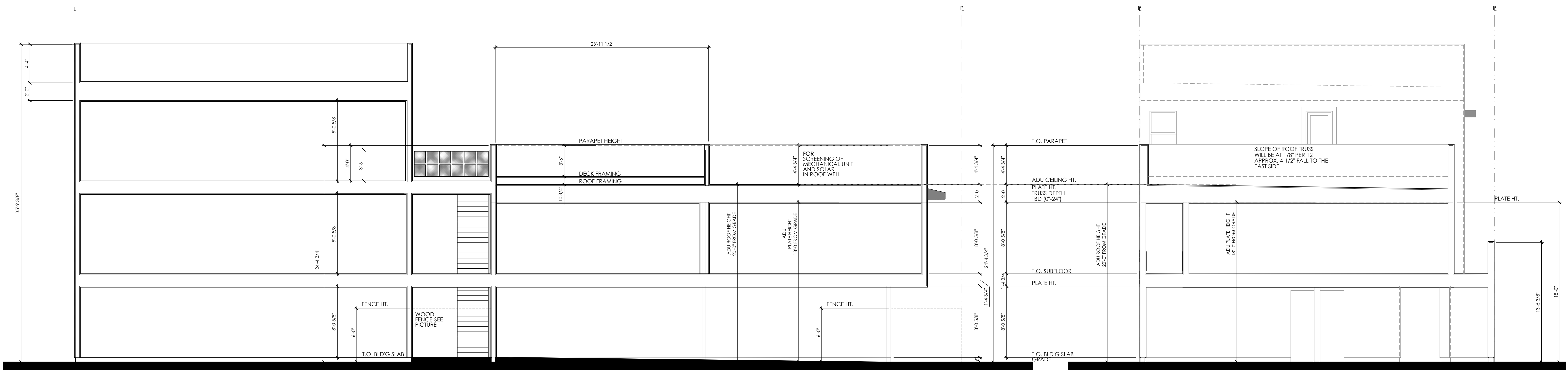
# 340 Amador Avenue Apartments

Sheet A2.1  
Exterior Elevations

Scale: 3/16"=1'-0"  
February 9th, 2026



LEE • JAGOE ARCHITECTURE  
INCORPORATED



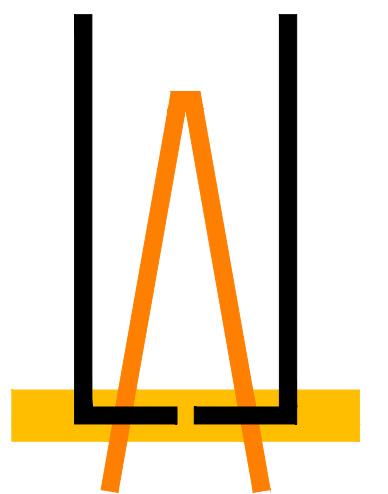
8 feet/8 feet Differential  
at Ground Floor

West (Right) Elevation

South (Rear) Elevation

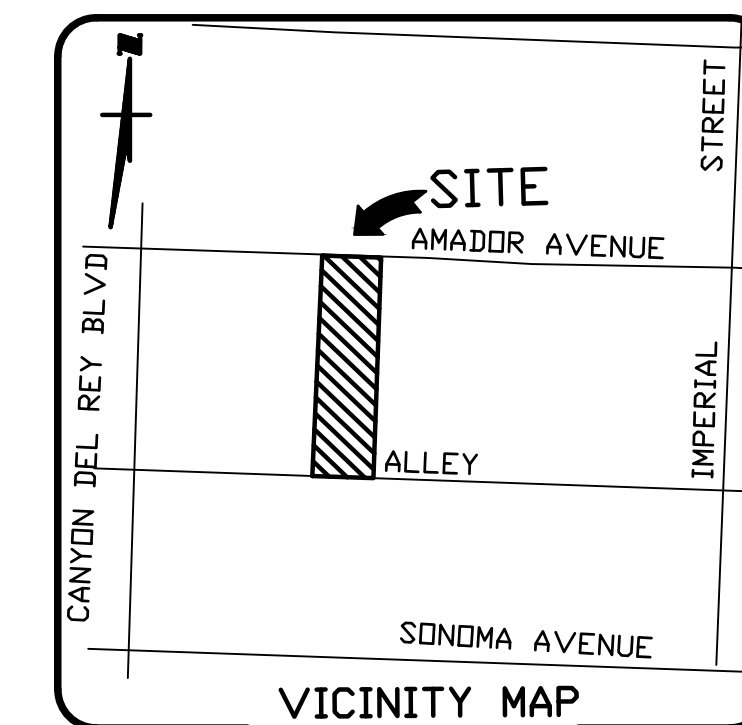
# 340 Amador Avenue Apartments

Sheet A.3  
Building  
Section



Scale: 3/16"=1'-0"  
April 25, 2025  
Revised February 17, 2026

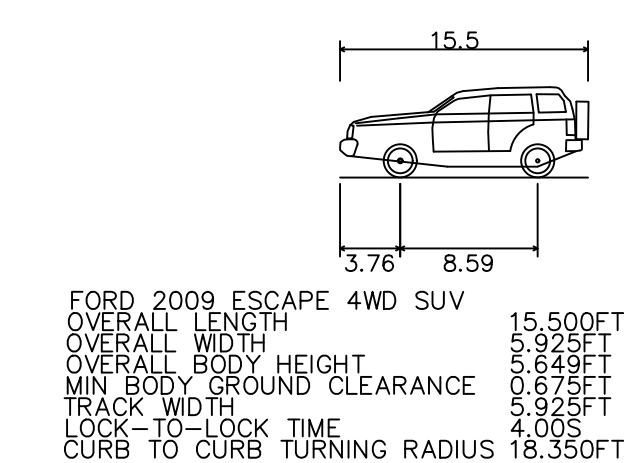
LEE • JAGOE ARCHITECTURE  
INCORPORATED



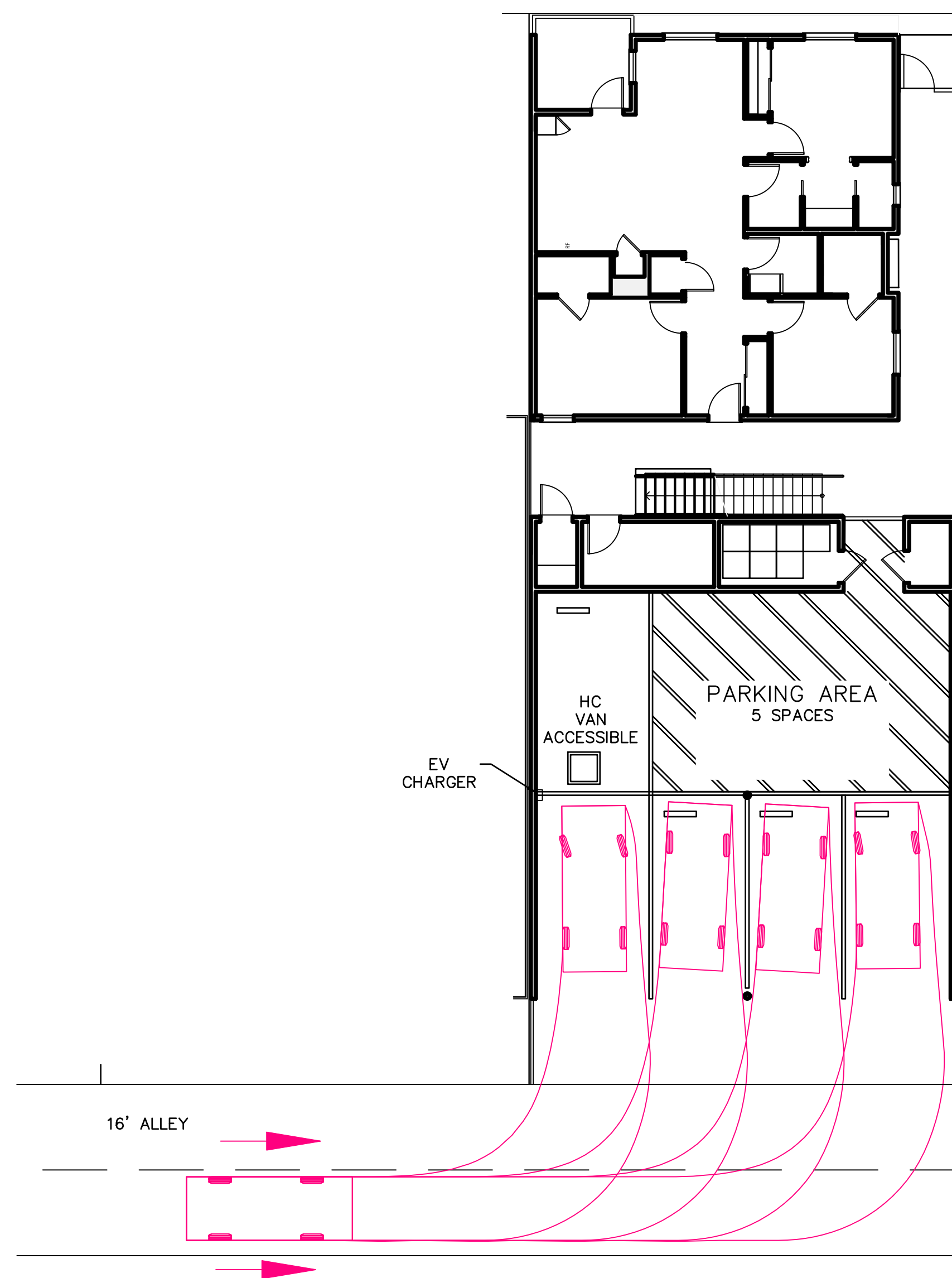
# VEHICLE TURN TEMPLATE EXHIBIT FOR AMADOR AVENUE APARTMENTS

**SITE INFORMATION:**  
340 AMADOR AVENUE, SEASIDE, CA  
ASSESSOR PARCEL NUMBER: 011-315-03

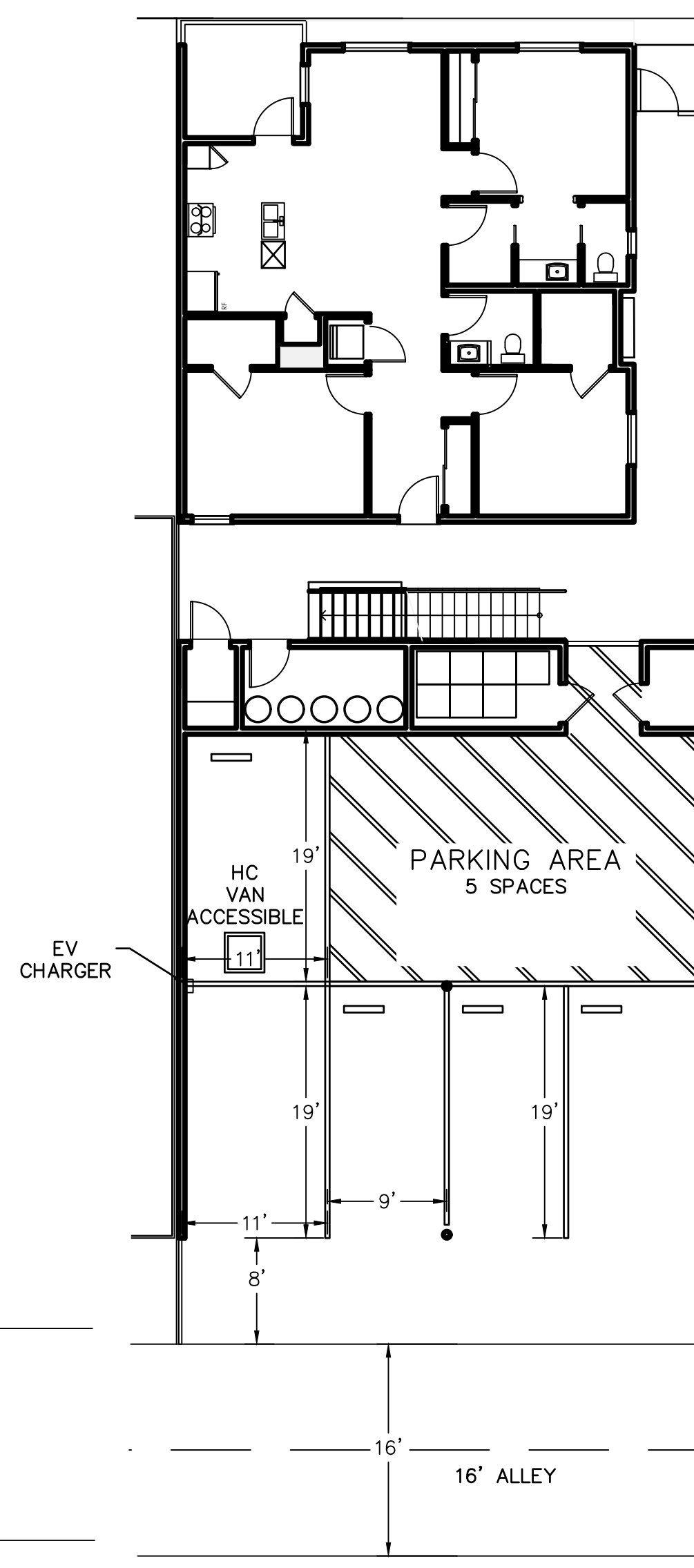
**DEVELOPER:**  
JONATHAN LEE  
VILLAZO GROUP, LLC  
9405 YORK ROAD  
MONTEREY, CA 93940  
(831) 601-9789



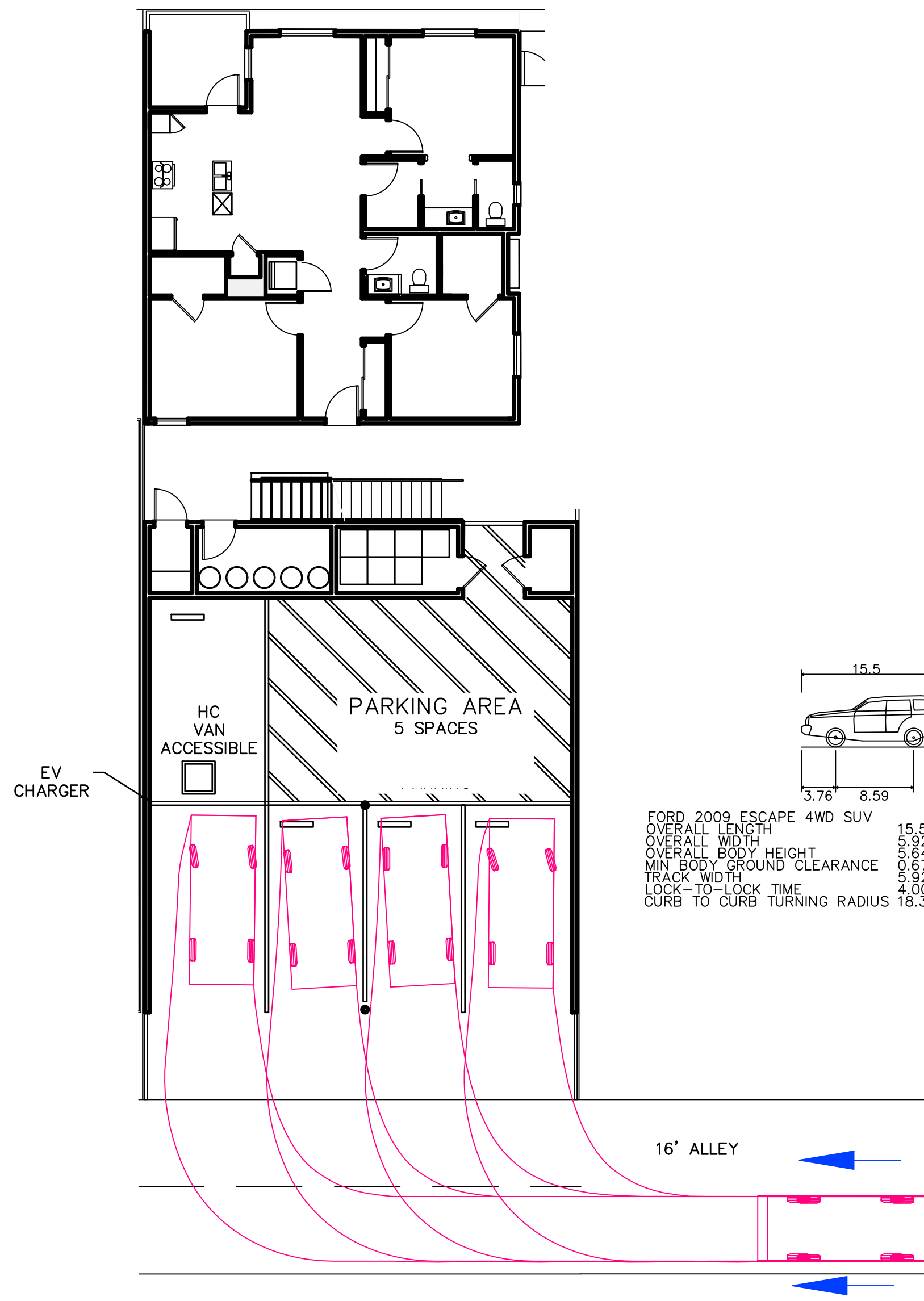
FORD 2009 ESCAPE 4WD SUV  
OVERALL LENGTH 15.500FT  
OVERALL WIDTH 8.922FT  
OVERALL BODY HEIGHT 5.849FT  
MIN BODY GROUND CLEARANCE 0.575FT  
TRACK WIDTH 5.925FT  
LOCK-TO-LOCK TIME 2.06S  
CURB TO CURB TURNING RADIUS 18.350FT



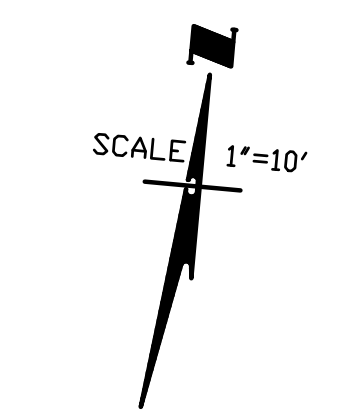
**EASTBOUND TURNING DETAIL**  
SCALE: 1"=10'



**DIMENSION DETAIL**  
SCALE: 1"=10'

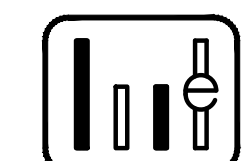


**WESTBOUND TURNING DETAIL**  
SCALE: 1"=10'



**UNAUTHORIZED CHANGES AND USES:**  
THE ENGINEER PREPARING THIS EXHIBIT WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS EXHIBIT. ALL CHANGES TO THE EXHIBIT MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THIS EXHIBIT.

REVISIONS			
NO.	DESCRIPTION	DATE	BY



**WONG ENGINEERS, INC.**  
PLANNING ENGINEERING SURVEYING  
4578 FEATHER RIVER DRIVE, SUITE A  
STOCKTON, CALIFORNIA (209) 476-0011  
*Gregory C. Wong* DATE 3/3/25 L.S. 7600 R.C.E. 48717

JOB NO: 4287  
DATE: MAR. 2025  
SCALE: AS SHOWN  
DRAWN: GC  
DESIGN: WEI  
CHECKED: ZCW

340 AMADOR AVENUE SEASIDE CALIFORNIA

## VEHICLE TURN TEMPLATE EXHIBIT

SHEET 1 OF ONE  
FILE 4287

Storm Water Control Plan  
(>2,500 s.f. / <5,000 s.f. net)  
Tier 1 Project

Villazzo Group, LLC  
3 Unit / 3 Story Multifamily Building  
340 Amador Street

APN 011-315-003  
Seaside, CA

Job # 25-063  
August, 2025



Prepared by Benjamin C. Wilson, RCE, QSD

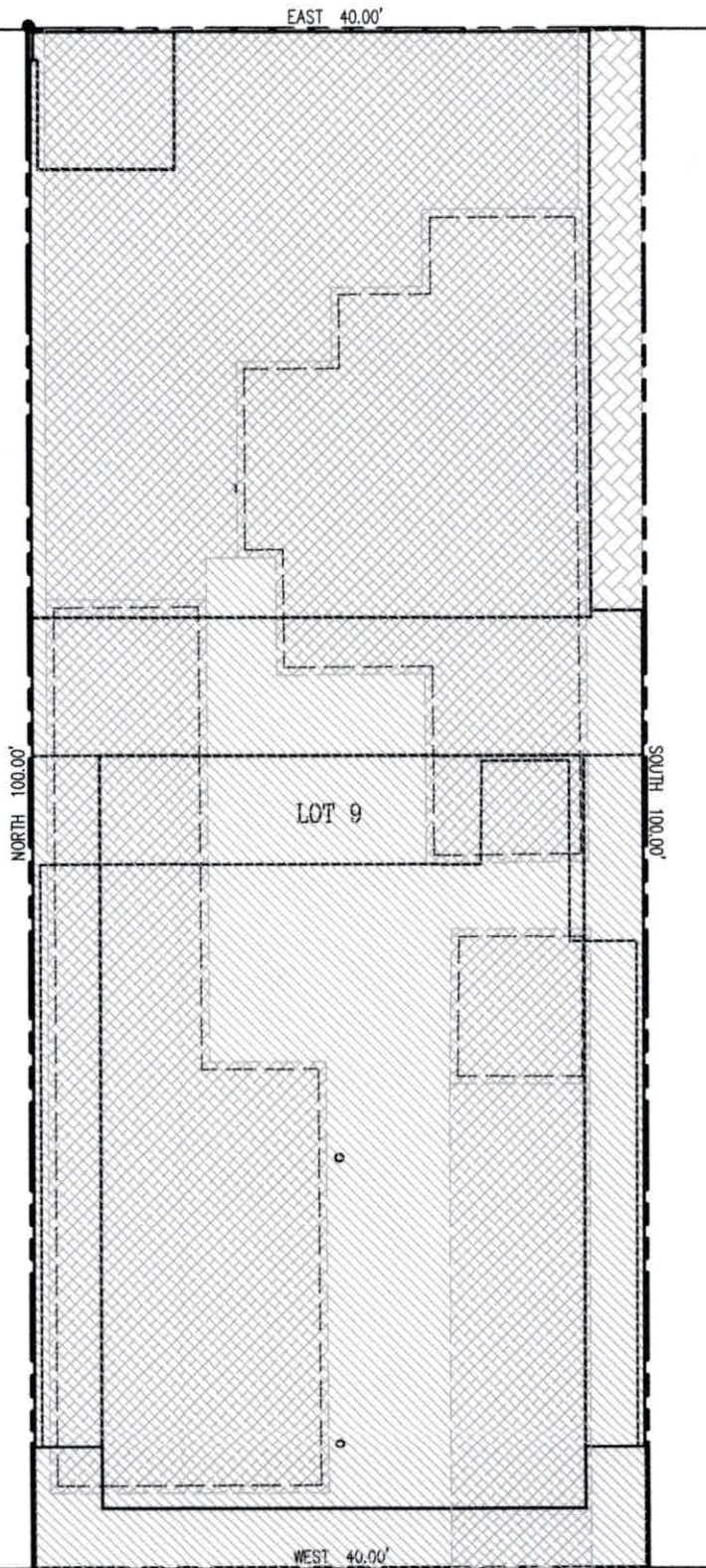


**Monterey Bay Engineers, Inc.**  
**Civil Engineering • Land Surveying**

Project Name	Villazzo Group, LLC		
Application Submittal Date			
Project Location	340 Amador Avenue, Seaside, CA APN 011-315-003		
Name of Owner / Developer	Jonathan Lee Villazzo Group, LLC 1130 Fremont Blve, #10512 Seaside, CA 93955		
Project Type and Description	Multifamily Residential 3 story / 3 units		
Total Project Site Area (acres)	0.92 acres (4,000 s.f.)		
Total New Impervious Surface Area (s.f.) (currently pervious that will be new impervious)	1,130 s.f.	3,835 s.f. total (=> Tier 1)	3,835 s.f. net (=> not Tier 2)
Total Replaced Impervious Surface Area (s.f.) (currently impervious that will be new impervious)	2,705 s.f.		
Total Pre-Project Impervious Surface Area	2,705 s.f.	0 s.f. reduction	
Total Post-Project Impervious Surface Area	3,835 s.f.		
Runoff Reduction Measures Selected	<input type="checkbox"/> 1. Reduction of Impervious Area <input type="checkbox"/> 2. Disperse Runoff to Vegetated Area <input checked="" type="checkbox"/> 3. Pervious Pavement <input checked="" type="checkbox"/> 4. Underground Cisterns or Rain Barrels <input type="checkbox"/> 5. Bioretention Facility or Planter Box		

Drainage Area	Tributary Area	
Landscaping	50 square feet	Self contained, 50 s.f. landscaping
Pervious Pavers	126 square feet	Self contained, 126 s.f. pervious pavers
Building/Parking	3,835 square feet	9 SC-740 Infiltrator chambers

**AMADOR AVENUE**  
(A 50 FOOT WIDE CITY STREET)



16' WIDE ALLEY

PVIOUS PAVERS 126 S.F.
EXISTING BUILDING/PAVING 2,705 S.F.
NEW IMPERVIOUS BUILDING/PAVING 3,835 S.F.



SCALE: 1" = 12'

**EXISTING/PROPOSED IMPERVIOUS**  
**340 AMADOR AVENUE**  
**SEASIDE, CA**  
APN: 011-315-003

PREPARED BY  
**MONTEREY BAY ENGINEERS, INC.**  
607 CHARLES AVE SUITE B  
SEASIDE, CALIFORNIA 93955  
(831) 899-7899

**AMADOR AVENUE**  
(A 50 FOOT WIDE CITY STREET)

PROPOSED LANDSCAPING  
UNDER ROOF LINE  
50 S.F.

PROPOSED  
PERVIOUS PAVERS  
126 S.F.

- PERVIOUS  
PAVERS  
126 S.F.
- PROPOSED  
LANDSCAPING  
50 S.F.
- NEW IMPERVIOUS  
BUILDING/PAVING  
3,835 S.F.

NORTH 100.00'

SOUTH 100.00'

LOT 9

PROPOSED SC-740  
UNDERGROUND INFILTRATORS  
MINIMUM 9 REQUIRED



WEST 40.00'

16' WIDE ALLEY



JUNE 19, 2025

SCALE: 1" = 12'

**PROPOSED STORM WATER RETENTION**  
340 AMADOR AVENUE  
SEASIDE, CA  
APN: 011-315-003

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MONTEREY BAY ENGINEERS, INC.

Civil Engineering And Land Surveying

607 Charles Avenue Suite B  
 SEASIDE, CA 93955  
 (831) 899-7899 Fax (831)899-7879  
 mbayengr@mbay.net

JOB 25-063 Villazzo Group, LLC

SHEET NO. 1 OF 2

CALCULATED BY BCW DATE 25 Aug 2025

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

SCALE \_\_\_\_\_ REV: \_\_\_\_\_

**DRAINAGE CALCULATIONS**

FOR: 340 AMADOR AVENUE  
 3 UNIT APARTMENT COMPLEX  
 SEASIDE, CA 93955  
 APN 011-215-003

REF: IMPROVEMENT PLANS BY MONTEREY BAY ENGINEERS, INC.  
 ARCHITECTURAL PLANS BY LLE-JAGOE ARCHITECTURE  
 CITY OF SEASIDE STANDARDS



340 AMADOR AVENUE

ASPHALT & CONCRETE PAVING =	191 SF =	0.004 ac	C =	0.95
LANDSCAPING	0 SF =	0.000 ac	C =	0.1
DISCONNECTED BUILDING AREA	0 SF =	0.000 ac	C =	0.3
BUILDING AREA =	3,644 SF =	0.084 ac	C =	0.95
<b>TOTAL DRAINAGE AREA ( A ) =</b>	<b>3,835 SF =</b>	<b>0.088 ac</b>	<b>C =</b>	<b>0.95</b>

INTENSITY ( i ) = 8.60 t<sup>-1/2</sup> (100 YEAR STORM EVENT/CITY OF SEASIDE) (7.75\*(0.5)\*2.22)

PERCOLATION RATE ( r ) = 20 in/hr

RUNOFF ( R ) = ( C ) ( i ) ( A ) 60 t  
 = ( 0.95 ) ( 8.6 t<sup>-1/2</sup> ) ( 0.088 ac ) ( 60t ) #  
 = 43.1 t<sup>1/2</sup>

TRY 9 STORM TECH SC-740 CHAMBERS \*\* TRIAL AREA = 347 SF  
 (7.11' X 5.42' / CHAMBER)

INFILTRATION ( I ) = 347 SF ( 20  $\frac{\text{in}}{\text{hr}}$  ) (  $\frac{1 \text{ ft}}{12 \text{ in}}$  ) (  $\frac{1 \text{ hr}}{60 \text{ min}}$  ) ( t min ) = 9.6 t

RUNOFF DRAINAGE DIFFERENCE = RUNOFF ( R ) - INFILTRATION ( I )  
 = 43.1 t<sup>1/2</sup> - 9.6 t

=> SOLVE FOR TIME WHEN RUNOFF DROPS TO MATCH INFILTRATION RATE  
 (DIFFERENCE IN RUNOFF BEFORE THIS TIME MUST BE STORED)

WHEN R=I => WHEN 43.1 t<sup>1/2</sup> = 9.6 t

=> t = (  $\frac{43.1}{9.6}$  )<sup>2</sup> = 20.2 MINUTES

MONTEREY BAY ENGINEERS, INC.

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mbayenr@mbay.net

JOB 25-063 Villazzo Group, LLC

SHEET NO. 2 OF 2

CALCULATED BY BCW DATE 25 Aug 2025

CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_

SCALE \_\_\_\_\_ REV: \_\_\_\_\_

**DRAINAGE CALCULATIONS (continued)**

=> SOLVE FOR STORAGE REQUIRED UNTIL TIME (t) = 20.2 MINUTES

$$\int_0^{20.2} (43.1 t^{1/2} - 9.6 t) dt$$

$$\Rightarrow (28.7 t^{3/2} - 4.8 t^2) \Big|_0^{20.2}$$

$$= [28.7 (20.2^{3/2}) - 4.8 (20.2^2)] - [0]$$

$$= 647 \text{ FT}^3 \text{ STORM WATER STORAGE REQUIRED}$$

CHECK THAT STORAGE PROVIDED IS ADEQUATE

(45.9 C.F. CHAMBER VOID + 29.6 C.F. IN DRAIN ROCK)

.=> 75.5 C.F. STORAGE PER INSTALLED SC-740 CHAMBER

$$9 \text{ CHAMBERS} \times 75.5 \text{ FT}^3 / \text{CHAMBER} = 680 \text{ FT}^3 \text{ PROVIDED}$$

$$680 \text{ FT}^3 > 647 \text{ FT}^3 \Rightarrow \boxed{\text{OK}}$$

Location Map. 340 Amador Avenue



Attachment 3 Staking and Flagging: A photograph taken on March 9, 2026 showing the sign erected to fulfill the staking and flagging requirements of Seaside Municipal Code 17.62.030.D.2.c.





May 8, 2025

GreenWaste Recovery, LLC  
14207 Del Monte Blvd  
Marina, CA 93933

To Whom It May Concern:

GreenWaste Recovery has reviewed the proposal for the triplex to be located at 340 Amador Ave, in Seaside, CA. As confirmed with Jonathan Lee, the initial contact, the proposal has two potential access pathways for our drivers which we have deemed acceptable. Drivers should be able to access the trash room from either Amador Ave or the alley. All access pathways and gates must be wide enough for drivers to roll waste containers from the trash room to Amador Ave with no obstacles, including, but not limited to vehicles. If the trash room or containers are locked, GreenWaste must be provided a key to unlock these. Alternatively, the property manager or maintenance on site can unlock them prior to service.

As per the franchise agreement with the City of Seaside, GreenWaste Recovery can open and close gates, push and/or pull containers, lock and unlock containers, or perform other services as reasonably necessary to access and empty containers (additional charges may apply). Contact Jonathan Lee has acknowledged that based on the proposal provided to us, there would be extra fees in addition to regular service charges for the containers.

Please note if there are obstacles to service, such as a vehicle blocking, downed power line, construction, a broken gate, or inaccessible lock, GreenWaste Recovery may not service and is not obligated to return to service. However, the customer may call us to schedule a return trip for service when the obstacle is confirmed to be removed (additional fees may apply). Services and rates can be reviewed online at the GreenWaste Recovery website or discussed with an outreach coordinator or customer service representative.

After reviewing the plan, we had a few recommendations. Please ensure that the trash room has enough space for adequate trash, recycling, and organics containers as required for compliance. If driver is expected to access through the 1<sup>st</sup> floor parking lot, we recommend a parking stall closest to the trash room be vacant to allow access. Otherwise, the driver can access through Amador Ave instead.

Please feel free to follow up with us should you have any further concerns or inquiries.

Sincerely,

Bessie Nicolaides  
Outreach Supervisor – Peninsula Operations



**CITY OF SEASIDE  
STAFF REPORT**

**Item No.: 5.B.**

**TO:** Planning Commission

**BY:** Beth Rocha, Senior Planner

**DATE:** March 25, 2026

**SUBJECT: USE PERMIT APPLICATION UP-2026-001, PLANNED DEVELOPMENT PERMIT APPLICATION PDP-2025-001, AND ARCHITECTURAL REVIEW APPLICATION AR-2026-001. LA'I COMMUNITIES, PROPERTY OWNER, AND PATRICK LEMASTER, PROJECT APPLICANT, REQUEST APPROVAL OF: A USE PERMIT TO OPERATE AN APPROXIMATELY 15,339 SQUARE FOOT RESIDENTIAL CARE FACILITY; A PLANNED DEVELOPMENT PERMIT TO PROVIDE FLEXIBILITY TO THREE ZONING ORDINANCE STANDARDS; AND ARCHITECTURAL REVIEW FOR A NEW 5,396 SF DETACHED TWO-STORY STRUCTURE AND ASSOCIATED SITE IMPROVEMENTS AT 1732 FREMONT BOULEVARD (APNs 012-072-045/020) IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.**

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**RECOMMENDATION**

Approve Use Permit Application UP-2026-001, Planned Development Permit Application PDP-2025-001, and Architectural Review Application AR-2026-001 subject to Exhibit A of Attachment 2 and the project conditions of approval.

**BACKGROUND**

On January 16, 2026 the applicant submitted Lot Boundary Adjustment (LBA) application No. LBA-2026-001 to merge APNs: 012-072-020 and 012-072-045. On March 17, 2026, the LBA was recorded on March 17, 2026.

**SITE DESCRIPTION**

The proposed project at 1732 Fremont consists of the renovation and change of use to an existing 10,182 square feet (SF) two-story building (APN: 012-072-045), and a new 5,396 SF detached 2-story structure (APN: 012-072-020). On March 17, 2026 the parcels were merged into one single parcel with Lot Boundary Adjustment application LBA-2026-001. The proposed project will reduce the existing parking area by approximately 8,208 SF, from 41 to 16 parking spaces. Of this reduction, the new two-story building will occupy 2,734 SF, with an additional 2,650 SF dedicated to recreational and walkway areas. The finished project will have 4,506 SF of landscaping area, increased from 1,661 SF.

**PERMIT ANALYSIS**

**Use Permit (UP-2026-001)**

The proposed use is classified by the Seaside Municipal Code (SMC) as a Residential Care Facility, which is defined as follows:

*A single-or multi-family residential facility licensed or supervised by a federal, state, or local health/welfare agency that provides 24-hour nonmedical care of unrelated persons who are handicapped and in need of personal services, supervision, or assistance essential for sustaining the activities of daily living or for the protection of the individual in a family-like environment.*

In accordance with Seaside Municipal Code (SMC) 17.14.030.B (Table 2-4 – Allowed Land uses and Permit Requirements for Commercial Zones), a Residential Care Facility (“the Facility”) is subject to the issuance of a Use Permit.

A complete description of the Facility is provided as Attachment 2, with some key aspects of the operation as follows:

- Sun Street Centers will operate the Facility
- Services limited to adolescents, aged 12–17 years.
- Short-term, 90-day maximum stay
- Capacity: 40 beds. The majority of beds (about 28) will be for Monterey County Medi-Cal residents with Seaside youth prioritized. Additional beds for surrounding counties of Santa Cruz, San Benito, and San Luis Obispo (approx. 8), the remainder for private insurance or self-pay Monterey County residents (approx. 4). There are six (12 bed) male dorm rooms located exclusively on Level two of the new building, with the others, 14 (28 bed) female dorm rooms, located in both buildings.
- The Facility will maintain the required California Department of Health Care Services licenses, including a dual Adolescent Residential Substance Use Disorder Residential Treatment license which includes Clinically Managed Residential Withdrawal Management (ASAM 3.2) as well as a Short-Term Residential Therapeutic Program (STRTP) level of care through California Department of Social Services – Community Care Licensing Division (DSS/CCLD).
- 24hr. staffed and supervised: 3 shifts with the following number of staff: morning:12, afternoon: 8, evening/overnight: 6; no in-and-out privileges

- Site features, amenities, and facility features: new landscaping, decorative boulders and trees, exterior upgrades to the existing building, entry courtyard/healing garden, basketball half-court and outdoor recreation areas, outdoor seating and fire table and pergola; the buildings feature a kitchen and common dining area, recreation room, education/community youth resource room.

The review authority may approve a Use Permit only after first finding all the following, as outlined in SMC 17.62.070.E:

**1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

*Evidence:* Residential care facilities are allowed in the CC zone with a Use Permit. The proposal complies with all other regulations of the Zoning Ordinance and the Municipal Code, except as noted in the flexible standards of the Planned Development Permit.

**2. The proposed use is consistent with the General Plan and any applicable specific plan.**

*Evidence:* The Seaside 2040 General Plan (2024) designates the proposed project area as Mixed-Use Low (MUL), which allows for a 2.5 FAR, mixed-use, residential and offices. The proposed 40-bed Residential Care Facility, featuring offices, is an allowed use per the General Plan. The scope of the project is consistent with the MUL designation.

**3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.**

*Evidence:* The General Plan designation to the immediate east is Neighborhood High, Mixed-Use Low to the north and south, and across Fremont Blvd. Employment. All designations allow for dense development, mixed-use and/or commercial development near and along Fremont Blvd., one of the city's major thoroughfares.

**4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

*Evidence:* The site is suitable for the proposed 40-bed residential care facility, with the number of parking spaces meeting code, new landscaping areas providing the required screening and improved streetscape, the proposed floor area well within compliance of the General Plan and other code-compliant aspects of the project. The increase in type, density and intensity is suitable, with existing access and utilities adequate and the absence of physical constraints.

**5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the**

**property is located.**

*Evidence: The facility is designed to provide a structured and supervised residential treatment environment, with trained staff present on-site 24 hours per day. Residents are not permitted unsupervised in-and-out privileges, and all activities occur under 24-hour staff oversight. The controlled nature of the facility's operations, including continuous supervision, structured programming, and limited resident mobility, minimizes the potential for impacts on the surrounding area. The Use Permit has been appropriately conditioned such that there should be no detriment to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.*

**Planned Development Permit (PDP-2025-001)**

Seaside Municipal Code section 17.62.050 sets forth the following purpose and regulations for Planned Development Permits:

*The Planned Development Permit is intended to provide for flexibility in the application of Zoning Ordinance standards to allow for innovation in site planning and other aspects of project design and more effective design responses to site features, uses on adjoining properties, and environmental impacts than the Zoning Ordinance standards would produce without adjustment. Each planned development project must be of obvious, significantly higher quality than would be achieved through conventional design practices and strict application of zoning standards. Economic gain or the loss of prospective profits shall not be a basis for consideration of a Planned Development Permit.*

The applicant has requested flexibility to the following regulations, providing the PDP Design Narrative Letter (Attachment 2) to illustrate how the modifications to the development standards are *necessary and appropriate* to accommodate the superior design of the proposed project, its compatibility with adjacent land uses, and its successful mitigation of any identified environmental impacts. Excerpts from the letter provided as "Applicant's Justification," below:

1. SMC 17.34.040, Table 3-8 – Parking Requirements by Land Use. The parking requirement for a Residential Care Facility is one covered parking space for each 2 residential units, plus one covered or uncovered space for each four units for guests and employees. The proposal includes 20, two-bedroom units, requiring 10 covered parking spaces and five covered or uncovered spaces. A total of 16 parking spaces are provided, none of which are covered.

*Applicant's Justification: The proposed use of the facility is a short-term (90 day max.) youth residential [Substance Use Disorder (SUD)] treatment center. Therefore, the parking classification required for a traditional "residential care facility" is not entirely representative of the proposed use. The requirement of covered parking spaces for residential care facilities, where residents are long-term / permanent in nature and maintain vehicles overnight is understandable. This is not the case with this facility. Sun Street Centers (the operator) prohibits its residents from having vehicles parked at the facility. Therefore, staff and visitors are the only people using the parking lot. Sun Street's parking policy / resident agreement is included in this submittal.*

2. SMC 17.34.110.D.1, Table 3-10 – Minimum Standard Parking Space Configuration requires a minimum stall of 9'w x 19'l.

*Applicant's Justification: We request a modification to the length of the parking stall from 19' to 18' to allow for the installation of the required ADA curb ramp at the required ADA parking space at the front building entrance. The existing ADA curb ramp does not comply with current ADA regulations. An 18' long parking space meets ADA requirements and is a typical parking stall dimension in many jurisdictions. The zoning ordinance also allows for compact spaces which have a 16' long stall depth.*

3. SMC 17.34.110.E.3.a.(5). Shade trees shall be provided at a minimum rate of one tree for every 25 linear feet of landscaped area, or other spaces as determined by the review authority to be appropriate to the site and surrounding development.

*Applicant's Justification: We have added 4 shade trees at the border between Birch Ave and 1 additional tree at the north-east corner of the parking lot. We are requesting an exception from the remainder of the shade tree requirements due to the nature of the existing small parking lot. Compliance with this standard is not feasible without significantly reducing the number of parking spaces.*

SMC 17.62.050.G.1.a-g states *the Commission may approve a Planned Development Permit only after first finding that:*

**a. The project is consistent with the General Plan and any applicable specific plan, any applicable density bonus requirements (see Chapter 17.33 – Affordable Housing Incentives), and is allowed within the applicable zone.**

*Evidence: The Seaside 2040 General Plan (2024) designates the proposed project area as Mixed-Use Low (MUL), which allows for a 2.5 FAR, mixed-use, residential and offices. The proposed 40-bed Residential Care Facility, including offices, is an allowed use per the General Plan under "mixed-use" and specifically as a Residential Care Facility with a Use Permit in the CC Zoning District.*

**b. The project complies with all applicable provisions of this Zoning Ordinance other than those modified by the Planned Development Permit.**

*Evidence: As outlined in the zoning analysis of the staff report, this project complies with all applicable zoning ordinance provisions, except for the three PDP-modified provisions.*

**c. The location, size, planning concepts, design features, and operating characteristics of the project are and will be compatible with the character of the site, and the land uses and development intended for the surrounding neighborhood by the General Plan.**

*Evidence: The mixed-use nature of the project along Fremont Blvd, one of the City's major commercial thoroughfares, is an appropriate location for both the proposed use and the physical scale of the project. The project is within the parameters of the General Plan, without maximizing the development, at a time when the majority of the neighborhood has not yet utilized the increased density and intensity of development*

*allowed in the 2040 General Plan. Additionally, the site landscaping and trees create a transitional buffer between the development and the public sphere, contributing to the streetscape and are an improvement to the neighborhood.*

**d. The approved modifications to the development standards of this Zoning Ordinance are necessary and appropriate to accommodate the superior design of the proposed project, its compatibility with adjacent land uses, and its successful mitigation of any identified environmental impacts.**

*Evidence: The waiver to the 10 required covered parking spaces (SMC 17.34.040, Table 3-8 - Parking Requirements by Land Use) is appropriate, given the difference in operations between the proposed short-term facility and a traditional long-term stay residential care facility where the covered parking requirement is more in-line with the covered spaces required of residential developments.*

*The second waiver, requested to modify the parking space length from 19' to 18' (SMC 17.34.110.D.1, Table 3-10 – Minimum Standard Parking Space Configuration), is necessary to accommodate the number of required parking spaces. Whereas, complying with the parking space length would result in the elimination of one row of parking, or up to five parking spaces, and would likely lead to negative impacts to the surrounding neighborhood, with the maximum number of staff at 12 persons for the morning shift and not being able to accommodate visitor parking. The third waiver to SMC 17.34.110.E.3.a.(5), to lessen the requirement of shade trees being provided at a minimum rate of one tree for every 25 linear feet of landscaped area is justified given the existing landscaping, proposed trees, compliant parking quantity, as well as the three-foot-wide landscape areas that aren't wide enough to support the growing area needed for trees. With approximately 216 linear feet of landscaped area, the code would require nine trees. Proposed is the strategic placement of four shade trees along the Birch frontage, one tree is proposed along the Fremont frontage, and one additional tree in the entry courtyard that could provide shade to the parking area, once it reaches mature height and width. These trees would be accented with landscaping features such as boulders to create an attractive visual marker in a highly visible location.*

**e. The development authorized by the Planned Development Permit approval will be of significantly higher quality, more energy efficient, more conserving of resources, and/or will produce fewer and less serious environmental impacts than development that could otherwise occur in compliance with the requirements of this Zoning Ordinance without adjustment.**

*Evidence: The proposed design incorporates thoughtful site planning, high-quality architectural elements, and enhanced landscaping that together create a cohesive and well-integrated development. The project also incorporates site planning that supports reduced energy and water consumption. Landscaping and site improvements are designed to minimize environmental impacts while improving the visual and functional quality of the site. In addition, the project's integrated design approach reduces potential environmental impacts through efficient use of the site and enhanced outdoor spaces that support both environmental performance and user wellbeing. As a result,*

*the project will produce fewer and less significant environmental impacts than a conventional development built strictly to the base zoning standards without the flexibility provided by the Planned Development Permit. Accordingly, the proposed development represents a superior design outcome that is more energy efficient, more conserving of resources, and of significantly higher quality than development that might otherwise occur under standard zoning regulations.*

**f. The project can be adequately, conveniently, and reasonably served by public facilities, services, and utilities.**

*Evidence: The project is located in an urbanized area of the city, where service by public facilities, services, and utilities exists and not limited.*

**g. The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, or detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.**

*Evidence: The establishment, maintenance, and operation of the proposed residential care facility would not, under the circumstances of this particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood, nor would it be detrimental or injurious to nearby property or improvements, or to the general welfare of the City. The facility is designed to provide a structured and supervised residential treatment environment for people, with trained staff present on-site 24 hours per day. Residents are not permitted unsupervised in-and-out privileges, and all activities occur under 24-hour staff oversight. The controlled nature of the facility's operations, including continuous supervision, structured programming, and limited resident mobility, minimizes the potential for impacts on the surrounding area. The facility functions as a therapeutic and residential environment rather than a transient or high-traffic use, and therefore is not expected to generate unusual noise, traffic, or other disturbances that would adversely affect neighboring properties. Furthermore, the use provides an important community service by supporting persons in need of treatment and stability in a safe, managed setting. With appropriate operational controls and professional supervision in place, the proposed use will operate in a manner that is compatible with the surrounding neighborhood and will not be detrimental to public health, safety, or general welfare.*

**Architectural Review (AR-2026-001)**

Per Seaside Municipal Code 17.62.030.E., the Board of Architectural Review must evaluate:

a. Architectural considerations. Architectural considerations, including the character, quality, and scale of the design, architectural relationship with the site and other structures, building materials, colors, fencing, trash enclosure and walkway improvements, exterior lighting and signs, and the screening of exterior appurtenances.

b. Landscape considerations. Landscape considerations, including the color, coverage, location, size, texture, and type of plant materials, provisions for irrigation, maintenance, and the protection of landscaped areas, and similar elements. The Board of Architectural Review shall encourage the planting of native and/or drought-tolerant landscaping in compliance with Section 17.30.040 (Landscaping Standards).

c. Lighting considerations. Proposed outdoor lighting, including the proposed placement of fixtures, type of fixtures, and illumination levels.

### *Architectural Character, Quality, and Scale*

The proposed two-story structure is located at the northeast corner of the property, separated from the primary parking area by perimeter fencing and further recessed behind a defined entry courtyard/healing garden. This placement creates a thoughtful transition from the more active parking area to a quieter, semi-private building environment, while maintaining compatibility with the existing development pattern on site.

At just under 5,400 square feet and approximately 29 feet in height, the building is appropriately scaled for the site and subordinate to the existing structure. The overall massing is effectively reduced through a combination of architectural strategies, including a U-shaped floor plan that frames the courtyard space, covered and unenclosed corridors that introduce transparency and shadow lines, and articulated façade planes that avoid large, uninterrupted wall surfaces.

The use of a restrained material and color palette further softens the building's visual presence. Light-colored stucco walls are complemented by painted metal and stained cedar canopies, warm wood siding applied in both vertical and horizontal orientations on offset planes, creating depth and visual interest while maintaining cohesion. The roof form also contributes to the project's architectural expression. Two gabled roof elements at the building's ends, combined with a flat roof section at the center, break up the overall roof mass and reflect the mixed-use character of the development. The proposed dark bronze colored standing seam metal roof is a prominent feature on the east and west elevations, while complemented in color by the fascia boards and painted metal canopies. Collectively, these design elements result in a building that is visually balanced, contextually responsive, and compatible with the scale and character of the surrounding site.

The existing two-story building will undergo comprehensive interior renovations, along with targeted exterior improvements designed to reinforce the architectural character and material palette of the proposed structure. Exterior modifications include the installation of vertical wood siding on the south (Birch Street-facing) and east (parking lot-facing) elevations; replacement windows in black aluminum frames; repainting of the existing trellis to match the proposed fascia color; installation of new galvanized, powder-coated metal railings on the north and south elevations; and the addition of hot-dipped steel canopies over the east-facing entrances. Additionally, three blank wall expanses have been identified as potential locations for a community mural. Together, these enhancements modernize the existing building, create visual cohesion across the site, and support a unified development.

### *Materials and Colors*

Category	Element	Material / Product	Finish / Color	
Architectural	Galvanized metal quardrails and handrails	Black Satin (Benjamin Moore 2131-10)	Brownstone (Benjamin Moore)	
	Metal Roofing	Standing seam & corrugated metal roofing (AEP Span HR-36), <u>Zincalume</u> steel	Dark bronze (manufacturer finish)	
	Exterior Wall Cladding	" <u>Kebony</u> " modified wood siding, vertically and horizontally mounted 1x6	Clear sealer (TBD)	
	Painted Architectural Surfaces	Elastomeric paint system, with longer life-span (Benjamin Moore)	Primary body color of existing building: "Sail Cloth;" Fascia: "Bear Creek" by Benjamin Moore	
	Canopies	Hot-dipped galvanized steel and cedar	"Brownstone"	
	Windows	Weather Shield Vue Series	Black aluminum framed with frosted glass	
	Wall treatment	Contra glazed porcelain tile, 4" x 12"	Silver matte	
Accessory Materials	Fire Table	Prism Hardscapes Tavola 6 concrete fire table	Pewter	Approx. 38" W x 90" L x 16" H
	Fencing & Screening	<u>Knotwood</u> aluminum fencing, 4" slats	Royal Oak, Chestnut	
	Trash enclosure	Roof: corrugated metal, dark bronze Walls: concrete masonry with plaster finish, "Sail Cloth" paint Gate: painted black aluminum		
Lighting	Wall-Mounted Lighting	Tech Lighting outdoor wall sconce, model 700WSPIT	Black	~916 lumens
	Ceiling-Mounted Lighting	WAC Lighting Downtown Round, model FM-W47205-30-BK	Black	~607 lumens
	Pole-Mounted Area Lighting	Lithonia Lighting DSX0-LED P1 30K 80 CRI T4M MVOLT RPA EGSR	Black	~3,502 lumens per fixture

### *Landscaping*

The site landscape is designed to support user well-being, ecological performance, and neighborhood integration through the use of native and climate-adapted plant materials, layered vegetation structure, and clearly defined outdoor spaces. The planting strategy responds to varying site conditions, including public streetscapes, interior circulation areas, and a private designated restorative space north of the parking lot.

Streetscape landscaping along Birch and Fremont Avenues reinforces the public realm and improves pedestrian comfort while maintaining visibility and safety. Street-facing plantings are selected for tolerance to urban conditions and are arranged to provide shade, reduce heat gain, and soften building and hardscape edges without obstructing sightlines. Landscaping features including boulders are proposed for the street corner.

Climbing vegetation is used selectively on architectural elements and fencing to reduce the visual scale of infrastructure and create a cohesive streetscape character consistent with CPTED (Crime Prevention Through Environmental Design) principles.

Within the interior of the site, landscaping transitions to a more naturalistic, layered framework. *Arbutus menziesii* (Pacific madrone) provides light canopy coverage and microclimate moderation, while *Vaccinium ovatum* (evergreen huckleberry) establishes a durable understory that defines circulation and gathering areas without creating visual barriers. Vertical growth habit plantings, including *Hydrangea petiolaris*, *Clematis cirrhosa*, and *Lonicera hispidula*, soften walls and structures and provide seasonal variation while maintaining long-term durability.

The area north of the parking lot is designed as a restorative outdoor environment intended to support teen decompression and emotional regulation. Increased planting density and layered vegetation create a buffer from vehicular activity, reducing noise, visual movement, and heat. Plant species are selected for predictable growth habits, soft textures, and year-round presence to promote calm, sensory balance, and a sense of refuge while preserving visibility and passive supervision.

Overall, the landscape design emphasizes low-water usage plants with a mix of California natives and ornamentals, ease of maintenance, user comfort, ecological function, and neighborhood compatibility.

### *Lighting*

Exterior lighting consists exclusively of LED fixtures and is designed to provide functional illumination while minimizing visual impact. Fixture locations are indicated on the plans.

Wall-mounted lighting includes Tech Lighting outdoors, providing approximately 916 lumens per fixture.

Ceiling-mounted lighting includes WAC Lighting Downtown Round, delivering approximately 607 lumens per fixture.

Pole-mounted area lighting includes Lithonia Lighting fixtures, providing approximately 3,502 lumens per fixture. Pole-mounted fixtures measure approximately 14"W x 8.9"H x 28"D. Pole mounted maximum height 16'.

All lighting is energy-efficient, code-compliant LED technology and mounted as indicated in the construction documents.

*Staking and Flagging*

Compliance was achieved with SMC section 17.62.030.D.2, when the applicant erected two project signs along each frontage of the property, at least 14 days prior to the hearing, on March 9, 2026. Additionally, the City mailed a copy of the public hearing notice to both the occupants of every physical address and every registered property owner located within 300' of the project site at least 10 days prior to the hearing.

**ZONING ANALYSIS**

The project is fully compliant with all applicable regulations of the zoning code, with the exception of the PDP-requested waivers outlined above. See Attachment 1: Zoning Analysis.

**ATTACHMENTS**

- 1. Attachment 1 to Staff Report: Zoning Analysis
  - 2. Attachment 2 to Staff Report: Project Description and Operations Statement
  - 3. Attachment 3 Draft Resolution
  - 4. Exhibit A to Attachment 3: Project Plans
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## ZONING ANALYSIS

Table 1. Floor Area Ratio

	Floor Area (SF)	Verification
Existing first floor	5,153	5,202
Existing second floor	5,029	
Proposed first floor	4,914	4,859
Proposed second floor	5,029	5,141 (includes 59 SF elevator)
Proposed new building first floor	2,734	2,726
Proposed new building second floor	2,662	2,719 (includes 59 SF elevator)
Zoning Allowed Floor Area (0.50)	0.61	Compliant, Government Code 65589.5(j)(4)
General Plan Allowed Floor Area (2.50)	0.61	Compliant, Government Code 65589.5(j)(4)

Table 2. Lot Coverage

	Area (SF)
Parcel area	24,829
Maximum coverage allowed	N/A

Table 3. Residential units

Location	Number of Units
Residential units, existing building 1 <sup>st</sup> floor	0 units
Residential units, existing building 2 <sup>nd</sup> floor	9 two-bedroom rooms
Residential units, new building 1 <sup>st</sup> floor	5 two-bedroom rooms
Residential units, new building 2 <sup>nd</sup> floor	6 two-bedroom rooms
Total units	20 two-bed max. units (40 beds)

Table 4. Residential density

Standard	Density Allowed	Density Proposed	Compliant/Not Compliant
Residential density allowed per general plan (MUL)	45 du/ac or 1 dwelling unit per 968 SF	1 unit per 1,250 SF	Compliant

Table 5. General standards

	Standard	Proposed	Compliant/Not Compliant
Building height – first structure	Zoning: Lesser of 4 stories or 48 ft. GP: Four stories / 50'	28'-10" per labels. Contradicted by drawing	Compliant
Building height – second structure	Lesser of 4 stories or 48 ft. GP: Four stories / 50'	27'-11.5"	Compliant
All Setbacks	0'		Compliant

Table 6. Parking quantity

Standard	Proposed	Compliant / Noncompliant
Residential Care Facility: 1 covered space for each 2 residential units, plus 1 covered or uncovered space for each 4 units for guests and employees	16 uncovered parking spaces	Compliant quantity, but not compliant for being uncovered. $20 \text{ units} / 2 = 10$ covered plus Compliant
One accessible parking space shall be provided within a parking lot with up to 25 spaces.	1 accessible space	Compliant

Table 7. Parking design

Standard	Proposed	Compliant/Noncompliant
Minimum length of 19' and width of 9'	Length of 18' and width of 9'	PDP Request
17.34.110.D.2. When the length of a parking space abuts a column, fence,	All parking spaces are 9'	Compliant

wall, or other obstruction, the required width of the entire parking space shall be increased by at least one foot.		
17.34.110.D.6.(2) Where the parking lot does not provide a continuous circulation for vehicles, a reserve back-up area with a minimum depth of eight feet for a standard space and five feet for a compact space at the end of the dead-end aisle.	8' provided	Compliant
17.34.110.G.1 Parking spaces shall be clearly outlined with four-inch-wide lines painted on the parking surface.	Note provided	Compliant
17.34.110.J.4. When provided, wheel stops shall be placed to allow for two feet of vehicle overhang area within the dimension of the parking space in order to avoid overhang onto walkways, property lines, and landscaped areas	Wheels stops are 2' from the curb	Compliant
17.34.120.D.2.a A driveway for a multi-family or nonresidential development shall have a minimum paved width of 13 feet for a one-way driveway and 26 feet for a two-way driveway.	26' wide	Compliant
17.34.120.E.1 The nearest edge of a driveway curb cut shall be at least three feet from the nearest property line, the centerline of a fire	Compliant	Compliant

hydrant, light standard, traffic signal, utility pole, or other similar facility.		
17.34.120.F. See Subsection <a href="#">17.30.030.E</a> (Height limit within traffic safety visibility areas).	Traffic safety visibility area shown.	Compliant

*Table 8. Parking Lot Landscaping*

Standard	Proposed	Compliant/Noncompliant
17.34.110.E.2. Areas containing plant materials shall be bordered by a minimum six-inch-high concrete curb, except adjacent to bicycle paths, or where otherwise deemed unnecessary by the Zoning Administrator.	Curbs not consistently shown, heights not shown	Compliance via condition of approval
17.34.110.E.3.a.(2) A parking area for a residential use, except for a single dwelling, shall be designed to provide a landscaped planting strip between the street right-of-way and parking area with a minimum width of five feet.	Screened	Compliant
(3) Landscaping shall be designed and maintained to screen cars from view from the street to a minimum height of three feet, but shall not exceed the maximum allowable height within a traffic safety visibility area in compliance with Subsection <a href="#">17.30.030.E</a> (Height limit within traffic safety visibility areas). However, where the finished elevation of the parking area is lower at the boundary line than the abutting property elevation, the change in elevation may be used in lieu of, or in combination with, additional screening to satisfy this requirement.	Screened	Compliant
(5) Shade trees shall be provided at a minimum rate of one for every 25 linear feet of landscaped area, or other	Shade trees less frequent than every 25'	PDP request

Standard	Proposed	Compliant/Noncompliant
spacing as determined by the review authority to be appropriate to the site and surrounding development.		
17.34.110.E.4.a Amount of landscaping. Multi-family residential and nonresidential uses shall provide landscaping areas within each outdoor parking area at a minimum ratio of 10 percent of the gross area of the parking lot. (1) The review authority may grant an exception for small, infill parking lots where compliance with this standard is not feasible without significantly reducing the number of parking spaces. (2) Trees not less than six feet in planted height and 24-gallon container in size shall be planted throughout the parcel and along any street frontage. (3) At a minimum, one shade tree shall be provided for every five parking spaces.	Calculations illustrate compliant with 10% requirement.	Compliant
17.34.110.E.4.b. (3) Landscaping shall be located so that pedestrians are not required to cross unpaved landscaped areas to reach building entrances from parked cars. This shall be achieved through proper orientation of the landscaped fingers and islands, and by providing pedestrian access through landscaped areas that would otherwise block direct pedestrian routes.	Landscaping not blocking pedestrian movement	Compliant

*Table 9. Landscaping*

Standard	Proposed	Compliant / Noncompliant
17.30.040.C.1 Minimum dimensions. Each area of landscaping shall have a minimum	5' provided	Compliant

Standard	Proposed	Compliant / Noncompliant
interior width of five feet within the residential and commercial zones.		
17.30.040.C.2. Required landscaping shall be protected with a minimum six-inch-high concrete curb, except where adjacent to sidewalks, unimproved paths, bioswales or other low-impact development features, bicycle paths, or where otherwise deemed unnecessary by the Zoning Administrator to allow for stormwater discharge into landscaping areas.		Compliance via condition of approval.
17.30.040.F Street tree requirements. The installation of street trees in the public right-of-way or on private streets may be required as a condition of approval by the Planning Commission or Board of Architectural Review in compliance with the following standards: 1. Location. a. Street trees shall be planted in the public right-of-way where street trees are planned for installation under the City's current Capital Improvement Program or an adopted specific plan or Master Plan on a private street between the street curb and abutting property line or as otherwise directed by the City Engineer. b. Exception: Where site conditions do not allow the installation of the street trees as established by this section, trees may be located on private property within 10 feet of the property line along the street frontage.		PDP request
17.30.040.F.2 Quantity. a. The number of required street trees shall be calculated at the rate of one 15-gallon tree for every 30 feet of street frontage. b. The installed tree spacing may be varied to accommodate site conditions or design considerations; however, the number of trees required for each street	See above	See above

Standard	Proposed	Compliant / Noncompliant
frontage on a lot bounded by more than one street shall be planted along the corresponding street frontage. d. The City Engineer may modify the number of required street trees for a project on a case-by-case basis.		
17.30.040.G.1. All landscaped areas except those approved for maintenance with intentionally unirrigated native plants shall include an automatic irrigation system.		To be determined by MPWMD / with a thorough WUCOLS review
17.30.040.L.3. Maintenance agreement required. Before final inspection or occupancy, and before the recordation of a final subdivision map where applicable, the applicant shall enter into a landscape maintenance agreement with the City to guarantee proper maintenance in compliance with Subsection L.1 of this section. The form and content of the agreement shall be approved by the City Attorney and the Zoning Administrator.		Compliance via condition of approval – to be executed prior to Certificate of Occupancy.

*Table 10. Waste storage*

Standard	Proposed	Compliant / Not compliant
17.30.110.B Under multifamily rules would be required to have 96 SF of waste storage	13'-5.5" * 9'-10" = 132 SF of waste storage	Compliant
17.30.110.C Under nonresidential rules would be required to have 96 SF of waste storage	13'-5.5" * 9'-10" = 132 SF of waste storage	Compliant
17.30.110.E.1 The design and construction of the storage areas shall: a. Be architecturally compatible with the surrounding structures; b. Be properly secured to prevent access by unauthorized persons, while allowing authorized persons access for disposal of materials;		Compliant

<p>c. Provide a concrete pad within the fenced or walled areas and a concrete apron which facilitates the handling of the individual bins or containers;</p>		
<p>17.30.110.E.1.e. Provide closed containers and/or containers with secure lids for the waste products capable of preventing their unauthorized transfer either outside the required enclosure area or off site;</p> <p>f. Protect the areas and the individual bins or containers provided within from adverse environmental conditions which might render the collected materials unmarketable;</p>	<p>Provided</p>	<p>Compliant</p>
<p>17.30.110.E.1.g. Provide a suitably designed and constructed enclosure which is:</p> <p>(1) Surrounded by a six-foot-high solid decorative fence or wall on three sides and on the fourth side (the side accessible to the users) with a suitably constructed wall that provides for enclosure while at the same time allows the users to be able to empty the materials into the bins or containers. Solid doors, meeting the aforementioned height requirements, shall also be provided on only one side to ensure that the enclosure completely conceals the stored material from surrounding land uses.</p> <p>(2) Properly sized based on the nature of the proposed use(s) it is designed to serve and measures at least eight feet by 10 feet, unless certification has been provided by a local refuse disposal firm that a</p>	<p>Provided</p>	<p>Compliant</p>

<p>smaller enclosure area will be satisfactory. In no case shall the areas measure less than six feet by six feet.</p>		
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*Table 11. Lighting*

Standard	Proposed	Compliant / Noncompliant
<p>17.30.070.A. A. Maximum height. A freestanding outdoor light fixture shall be limited to a maximum height of 16 feet, measured from adjacent normal grade to the top of the fixture(s). The fixture shall be considered to be the highest portion of the light structure. When not located adjacent to a single-family residential zone, the Board of Architectural Review may grant exceptions to the maximum height of freestanding outdoor light fixture(s) with the finding that the proposed height is consistent with surrounding land uses and is compatible with the existing or proposed surrounding structures. Exceptions to the maximum height should not be made by the Board for proposed freestanding lights that are adjacent to single-family residential zones.</p> <p>B. Energy efficiency. Outdoor lighting shall utilize energy-efficient (high pressure sodium, low pressure sodium, hard-wired compact fluorescent, LED, or other lighting technology that is of equal or greater energy efficiency) fixtures and lamps.</p> <p>C. Position of light fixtures. All lighting fixtures shall be properly directed, recessed, and fully shielded (e.g., downward and away from adjoining properties) to reduce light bleed and glare onto adjacent properties or public rights-of-way, by:</p> <ol style="list-style-type: none"> <li>1. Ensuring that the light source (e.g., bulb, etc.) is not visible from off the site; and</li> <li>2. Confining glare and reflections within the boundaries of the subject site to the maximum extent feasible.</li> </ol>	<p>Complaint info provided</p>	<p>Compliance via condition of approval</p>

<p>D. Maximum illumination. No lighting on private property shall produce an illumination level greater than one foot-candle on any property within a residential zone except on the site of the light source.</p> <p>E. Backlighting, Uplighting and Glare (BUG) rating. All outdoor light fixtures are subject to the BUG rating limits established by the California Energy Code (CALGreen 5.106.8) prior to the issuance of an electrical permit.</p> <p>F. No blinking, flashing, or high intensity. No permanently installed lighting shall blink, flash, flutter, or be of unusually high intensity or brightness, or change light brightness, color, or intensity, as determined by the Zoning Administrator.</p> <p>G. New light fixtures on commercial buildings. Installation of new light fixtures on commercial buildings shall be subject to review and approval by the Board of Architectural Review.</p>		
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Fencing

Compliant 6' tall fencing proposed throughout site.



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1/15/26

City of Seaside  
Planning Department

**Attn: Beth Rocha**

Senior Planner

**Re: 1732 Fremont Blvd – Project Description**

The proposed project at 1732 Fremont consists of the renovation and change of use to an existing 10,182 sf two-story mixed-use building (parcel # 012-072-045), and a new 5,396 sf detached 2 story structure on parcel 012-072-020. The parcels are proposed to be merged into one single parcel. The proposed use for the new facility will be a short term (90 day max.) adolescent SUD residential treatment center. La'i Communities LLC will be developing the project with the idea that all spaces should be designed to support mental health, with integrated services and technology to create an environment that supports mental health recovery.

Sun Street Centers will operate the facility and maintain a dual-licensed Adolescent Residential Substance Use Disorder Residential Treatment licensed through the California Department of Health Care Services (DHCS) which Includes Clinically Managed Residential Withdrawal Management (ASAM 3.2) as well as a Short-Term Residential Therapeutic Program (STRTP) level of care through California Department of Social Services – Community Care Licensing Division (DSS/CCLD).

The program will provide services for youth ages 12–17 with behavioral health and substance use treatment needs for male and females. The facility will be staffed 24 hours a day, broken up into 3 shifts. There will be 12 staff members for the morning shift, 8 staff members for afternoon shift, and 6 staff members for the evening / overnight shift. The residents are supervised 24 hours a day.

The Seaside Adolescent Substance Use Disorder (SUD) Treatment project in Monterey County directly addresses a critical shortage of local residential services for youth. Currently, adolescents requiring treatment must be referred to facilities over 300 miles away, creating significant barriers to care (1). Statewide, RAND estimates California needs 10–15 additional residential adolescent SUD beds per 100,000 youth—approximately 2,800 to 4,200 beds to meet current demand (2,3,4). Monterey County faces compounded challenges, including high rates of youth drug use (67% of high school staff report moderate or severe problems, compared to 52% statewide) (5) and elevated risks of homelessness, trafficking, and exploitation among adolescents (6–9). The Seaside project will provide trauma-informed, community-based residential treatment specifically designed for these vulnerable populations, offering specialized care for these youth.

Below is a list of services provided at the proposed facility:

- Accepting Medi-Cal (95%) and private insurance and self-pay (5%)
- Designed to serve both juvenile system-involved and general community youth



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- Capacity: 40 beds. Majority of beds (about 28) will be for Monterey County Medi-Cal residents with Seaside youth prioritized. Additional beds for surrounding counties of Santa Cruz, San Benito, and San Luis Obispo (approx. 8), remainder for private insurance or self-pay Monterey County residents (approx. 4)
- 24/7 supervised care, average stay 90 days
- Trauma-informed individual and group counseling
- Family engagement and support services
- On-site or coordinated education services
- Medication management and clinical oversight
- Clinically Managed Residential Withdrawal Management (ASAM 3.2)

**Specific Building Design goals:**

- Communal space for residents to help alleviate the feelings of isolation.
- Optimized building thermal performance
- Natural lighting with improved air quality
- Smart systems integration, sound control, task lighting,
- Connection to nature / landscaping

**Parking:**

We're proposing a total of 16 parking spaces with 2 elec. car charging stalls.

**Landscaping:**

The proposed project will reduce the existing parking area by approximately 8,208 square feet. Of this reduction, the new two-story building will occupy 2,734 square feet, with an additional 2,650 square feet dedicated to recreational and walkway areas. The finished project will have 4,506 sf of landscaping area, vs. 1,661 sf of existing landscape area.

The landscape design prioritizes endemic and drought-tolerant plant species native to the Monterey Bay Plains and Terraces. Outdoor areas are conceived as therapeutic tools, fostering movement, reflection, and connection. Plantings are intended not only to evoke native ecosystems but also to provide seasonal diversity, integrate bioswales as blue-space features, and offer opportunities for learning and caretaking. These areas will support patient education, encourage stewardship of the local environment, and create habitat for threatened native species in collaboration with conservation partners.

Site pathways will consist of poured concrete, while activity areas such as the pergola, healing garden, and learning stair will use permeable pavers. The activity courtyard will feature either a permeable sport court panel system or a recycled EPDM surface.

**Energy efficiency:**

We will be providing energy-efficient upgrades to the existing building by increasing the amount of thermal insulation, new lighting featuring led light fixtures, better air quality with new HVAC equipment and enhanced natural daylighting. We will also be providing a solar rooftop system with the hopes of the new facility being a net zero energy use facility.



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#### References:

(1) California Health and Human Services Agency. SUD Recovery Treatment Facilities Dataset.

(2) McBain RK et al. Adult Psychiatric Bed Capacity, Need, and Shortage Estimates in California—2021. *RAND Health Q.* 2022;9(4):16.

(3) American Psychiatric Association. The Psychiatric Bed Crisis in the United States. *AJP.* 2022;179(8):586–8.

(4) California DHCS. Needs Assessment: Assessing the Continuum of Care for Behavioral Health Services in California. 2021.

(5) KidsData.org. Students Identified with Alcohol or Drug Problems in California.

(6) Tri-County CSEC Program. Commercially Sexually Exploited Children (CSEC) Program MOU. 2015.

(7) Monterey County Rape Crisis Center. Human Trafficking Resources.

(8) Murphy L. Labor and Sex Trafficking Among Homeless Youth: A Ten-City Study. CA DOJ; 2016.

(9) Miller G. Human Trafficking Worsening on Monterey Peninsula. *The Sandpiper.* 2023.

**SUN STREET CENTERS**  
**Adolescent Residential Treatment**  
**Seaside, California**

**Parking Policy**

Once admitted to program, residents, guests of residents, alumni, past clients or any other people who are not employees of Sun Street Centers or Sun Street Centers' guests are not permitted to park inside of the facility. Residents will not have codes for pedestrian gates and will need to use designated entrance to come back to program if they leave for approved appointments.

**PLANNING COMMISSION  
RESOLUTION NO. 26-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING USE PERMIT APPLICATION NO. UP-2026-001 TO OPERATE A RESIDENTIAL CARE FACILITY; PLANNED DEVELOPMENT PERMIT APPLICATION NO. PDP-2025-001 FOR FLEXIBILITY TO THREE ZONING ORDINANCE STANDARDS; AND ARCHITECTURAL REVIEW APPLICATION NO. AR-2026-001 FOR A NEW 5,396 SF DETACHED TWO-STORY STRUCTURE AND ASSOCIATED SITE IMPROVEMENTS AT 1732 FREMONT BOULEVARD (APNS: 012-072-045 AND 012-072-020) IN THE COMMUNITY COMMERCIAL(CC) ZONING DISTRICT.**

**WHEREAS**, La’i Communities, property owner, and Patrick LeMaster, project applicant, applied for Planned Development Permit Application No. PDP-2025-001, Use Permit Application No. UP-2026-001, and Architectural Review Application No. AR-2026-001; and

**WHEREAS**, the proposed project requires approval by the Planning Commission, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

**WHEREAS**, the Planning Commission considered oral comments and written information concerning PDP-2025-001, UP-2026-001, and AR-2026-001 at a duly noticed public hearing held on March 25, 2026.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission adopts the following findings:

**1. Architectural Review is not an activity subject to the California Environmental Quality Act (CEQA) pursuant to 15061(b)(3) of the CEQA Guidelines.**

*Evidence:* Discretionary design review of an otherwise permitted use does not give the City the authority to mitigate environmental impacts and thus the project is not subject to the California Environmental Quality Act (CEQA). Architectural Review is not an activity subject to CEQA pursuant to 15061(b)(3) of the CEQA guidelines.

**2. The Use Permit and Planned Development Permit are Categorically Exempt Class 32 from the California Environmental Quality Act (CEQA) pursuant To Section 15332 of the CEQA Guidelines.**

*Evidence:* The project is consistent with both the General Plan designation and policies, as well as with the zoning regulations of the CC Zone District. The project

*site is within the city limits, surrounded by urban uses, and is well below five acres, at 24,829 SF. The developed project site has no value as a habitat for endangered, rare or threatened species. Additionally, approval of the project as a care facility including professional/administrative offices would not result in any significant effects relating to traffic, noise, air quality or water quality. Lastly, the developed site is adequately served by all required utilities and public services.*

**BE IT FURTHER RESOLVED**, that the Planning Commission adopts the following findings for UP-2026-001:

**3. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

*Evidence:* Residential care facilities are allowed in the CC zone with a Use Permit. The proposal complies with all other regulations of the Zoning Ordinance and the Municipal Code, except as noted in the flexible standards of the Planned Development Permit.

**4. The proposed use is consistent with the General Plan and any applicable specific plan.**

*Evidence:* The Seaside 2040 General Plan (2024) designates the proposed project area as Mixed-Use Low (MUL), which allows for a 2.5 FAR, mixed-use, residential and offices. The proposed 40-bed Residential Care Facility, featuring offices, is an allowed use per the General Plan. The scope of the project is consistent with the MUL designation.

**5. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.**

*Evidence:* The General Plan designation to the immediate east is Neighborhood High, Mixed-Use Low to the north and south, and across Fremont Blvd. Employment. All designations allow for dense development, mixed-use and/or commercial development near and along Fremont Blvd., one of the city's major thoroughfares.

**6. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

*Evidence:* The site is suitable for the proposed 40-bed residential care facility, with the number of parking spaces meeting code, new landscaping areas providing the required screening and improved streetscape, the proposed floor area well within

*compliance of the General Plan and other code-compliant aspects of the project. The increase in type, density and intensity is suitable, with existing access and utilities adequate and the absence of physical constraints.*

**7. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

*Evidence: The facility is designed to provide a structured and supervised residential treatment environment, with trained staff present on-site 24 hours per day. Residents are not permitted unsupervised in-and-out privileges, and all activities occur under 24-hour staff oversight. The controlled nature of the facility's operations, including continuous supervision, structured programming, and limited resident mobility, minimizes the potential for impacts on the surrounding area. The Use Permit has been appropriately conditioned such that there should be no detriment to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.*

**BE IT FURTHER RESOLVED**, that the Planning Commission adopts the following findings for PDP-2025-001:

**8.** The project is consistent with the General Plan and any applicable specific plan, any applicable density bonus requirements (see Chapter [17.33](#) – Affordable Housing Incentives), and is allowed within the applicable zone.

*Evidence: The Seaside 2040 General Plan (2024) designates the proposed project area as Mixed-Use Low (MUL), which allows for a 2.5 FAR, mixed-use, residential and offices. The proposed 40-bed Residential Care Facility, including offices, is an allowed use per the General Plan under "mixed-use" and specifically as a Residential Care Facility with a Use Permit in the CC Zoning District.*

**9.** The project complies with all applicable provisions of this Zoning Ordinance other than those modified by the Planned Development Permit.

*Evidence: As outlined in the zoning analysis of the staff report, this project complies with all applicable zoning ordinance provisions, with the exception of the three PDP-modified provisions.*

**10.** The location, size, planning concepts, design features, and operating characteristics of the project are and will be compatible with the character of the site, and the land

uses and development intended for the surrounding neighborhood by the General Plan.

*Evidence: The mixed-use nature of the project along Fremont Blvd, one of the City's major commercial thoroughfares, is an appropriate location for both the proposed use and the physical scale of the project. The project is within the parameters of the General Plan, without maximizing the development, at a time when the majority of the neighborhood has not yet utilized the increased density and intensity of development allowed in the 2040 General Plan. Additionally, the site landscaping and trees create a transitional buffer between the development and the public sphere, contributing to the streetscape and are an improvement to the neighborhood.*

- 11.** The approved modifications to the development standards of this Zoning Ordinance are necessary and appropriate to accommodate the superior design of the proposed project, its compatibility with adjacent land uses, and its successful mitigation of any identified environmental impacts.

*Evidence: The waiver to the 10 required covered parking spaces (SMC 17.34.040, Table 3-8 - Parking Requirements by Land Use) is appropriate given the difference in operations between the proposed short-term facility and a traditional long-term stay residential care facility where the covered parking requirement is more in-line with the covered spaces required of residential developments.*

*The second waiver, requested to modify the parking space length from 19' to 18' (SMC 17.34.110.D.1, Table 3-10 – Minimum Standard Parking Space Configuration), is necessary to accommodate the number of required parking spaces. Whereas, complying with the parking space length would result in the elimination of one row of parking, or up to five parking spaces, and would likely lead to negative impacts to the surrounding neighborhood with the maximum number of staff at 12 persons for the morning shift and not being able to accommodate visitor parking.*

*The third waiver to SMC 17.34.110.E.3.a.(5), to lessen the requirement of shade trees being provided at a minimum rate of one tree for every 25 linear feet of landscaped area is justified given the existing landscaping, proposed trees, compliant parking quantity, as well as the three-foot-wide landscape areas that aren't wide enough to support the growing area needed for trees. With approximately 216 linear feet of landscaped area, the code would require nine trees. Proposed is the strategic placement of four shade trees along the Birch frontage, one tree is proposed along the Fremont frontage, and one additional tree in the entry courtyard that could provide shade to the parking area, once it reaches mature height and width. These trees would be accented with landscaping features such as boulders to create an attractive visual marker in a highly visible location.*

- 12.** The development authorized by the Planned Development Permit approval will be of significantly higher quality, more energy efficient, more conserving of resources, and/or will produce fewer and less serious environmental impacts than development that could otherwise occur in compliance with the requirements of this Zoning Ordinance without adjustment.

*Evidence: The proposed design incorporates thoughtful site planning, high-quality architectural elements, and enhanced landscaping that together create a cohesive and well-integrated development. The project also incorporates site planning that supports reduced energy and water consumption. Landscaping and site improvements are designed to minimize environmental impacts while improving the visual and functional quality of the site. In addition, the project's integrated design approach reduces potential environmental impacts through efficient use of the site and enhanced outdoor spaces that support both environmental performance and user wellbeing. As a result, the project will produce fewer and less significant environmental impacts than a conventional development built strictly to the base zoning standards without the flexibility provided by the Planned Development Permit. Accordingly, the proposed development represents a superior design outcome that is more energy efficient, more conserving of resources, and of significantly higher quality than development that might otherwise occur under standard zoning regulations.*

- 13.** The project can be adequately, conveniently, and reasonably served by public facilities, services, and utilities.

*Evidence: The project is located in an urbanized area of the city, where service by public facilities, services, and utilities is existing and not limited.*

- 14.** The establishment, maintenance, or operation of the use would not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, or detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

*Evidence: The establishment, maintenance, and operation of the proposed residential care facility would not, under the circumstances of this particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the surrounding neighborhood, nor would it be detrimental or injurious to nearby property or improvements, or to the general welfare of the City. The facility is designed to provide a structured and supervised residential treatment environment, with trained staff present on-site 24 hours per day. Residents are not permitted*

*unsupervised in-and-out privileges, and all activities occur under 24-hour staff oversight.*

*The controlled nature of the facility's operations, including continuous supervision, structured programming, and limited resident mobility, minimizes the potential for impacts on the surrounding area. The facility functions as a therapeutic and residential environment rather than a transient or high-traffic use, and therefore is not expected to generate unusual noise, traffic, or other disturbances that would adversely affect neighboring properties.*

*Furthermore, the use provides an important community service by supporting persons in need of treatment and stability in a safe, managed setting. With appropriate operational controls and professional supervision in place, the proposed use will operate in a manner that is compatible with the surrounding neighborhood and will not be detrimental to the public health, safety, or general welfare.*

**BE IT FURTHER RESOLVED**, the Planning Commission approves PDP-2025-001, UP-2026-001, and AR-2026-001 to allow a 24,829-square-foot Residential Care Facility subject to Exhibit A: Project Plans and the following Conditions of Approval:

***Planning:***

1. Parking shall generally be limited to employees and those conducting business at the site, except that family members or other authorized representatives may park for the purposes of visiting or to meet at the site. Visitors shall be prescheduled by facility staff to ensure that the number of parking stalls is adequate and that the operations of the facility do not significantly impact parking in the surrounding neighborhood.
2. The number of employees shall be limited to no more than 12 at any given time. Employees and visitors shall be instructed to park in the parking lot.
3. Residents at the center shall be prohibited from keeping any vehicles on the site or in the vicinity of the site.
4. Residents shall be monitored at all times to ensure that they do not leave the facility unless accompanied by facility staff. No fewer than six employees shall be on duty at any given time to ensure proper monitoring. Exterior gates and doors exiting the facility shall be locked or equipped with a notification system to alert facility staff when unauthorized use occurs. If a resident is discovered to be missing, the facility shall immediately notify the Seaside Police Department.

5. All plantings shall be adequately watered during the establishment period of one year. In the event of unsuccessful establishment, defined as plants dying, being damaged, or not thriving, any such plants shall be replaced at a 1:1 basis.
6. Landscaped areas, including trees and other plantings, as well as paving, walls, and fences, shall be regularly maintained. Boulders or other landscape features approved by the Zoning Administrator shall be provided on the street corner.
7. Area lighting shall be designed to minimize the negative effects of lighting the night sky and employ control features so as to avoid light being directed off-site. The light source for externally-illuminated signs must be positioned so that light does not shine directly on adjoining properties or cause glare or shine in the eyes of motorists or pedestrians. All outdoor lighting shall be downlit and fully shielded. No outdoor lights shall be permitted that blink, flash, or change intensity.
8. Compliance with SMC 17.30.070 Outdoor Lighting is to be illustrated in the lighting plans of the building permit plan set.
9. The Zoning Administrator has the authority to approve minor changes to the landscaping, lighting, and architectural finishes of this project, given changes are kept in a similar design style, the colors and materials are within the same design family (metal, wood, composite siding), and the juxtaposition of the materials and colors achieves a similar design balance and aesthetic.

***Building:***

10. Prior to the issuance of a building permit, the proposed project shall be designed and constructed in full compliance with the most currently adopted California Building, Electrical, Plumbing, Mechanical, Energy, and Green Building Standards and all other applicable local and state regulations.

***Fire Department:***

11. Construction must comply with all requirements of the California Fire Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.

***Engineering and Public Works:***

12. Proposed project must implement stormwater best management practices (BMPs) during construction.(SMC 8.46)

- a. Applicant required to submit a site specific Erosion and Sediment Control plan sheet showing locations of material storage and handling, and washout locations (i.e. concrete, stucco, paint, etc). Sample Erosion and Sediment Control Plan attached.
  - b. Applicant required to complete and submit a Storm water Compliance Tracking Form, with signature, attached.
13. Post-development peak storm water runoff rates shall not exceed predevelopment rate. A pro rata share of the cost of offsite erosion sediment, and flood control improvements and/or for maintenance to the principal drainage way may be required by the city engineer to handle the increase peak runoff and/or sediment generated by the project.(SMC 15.32.170)
- a. Site plans to clearly show direction of stormwater drainage from new or redeveloped impervious surfaces.
  - b. Drainage shall not be directed to adjacent properties.
  - c. Site plan to clearly denote site coverage type (ie landscaping, building, concrete,)
  - d. Site plan to include table summarizing existing impervious surface square footage, proposed new impervious surface, redeveloped impervious surface and total impervious surface.
  - e. Proposed site plans to show location of new and existing downspouts.
  - f. Downspouts and/or overflow from cisterns or rain barrels to be directed to permeable surface.
14. Applicant is required to obtain a sewer permit or waiver from Monterey One Water. Contact Seaside County Sanitation District (SCSD) to assess any additional sewer fees that may apply to the project. This step is necessary to ensure compliance with local regulations and to avoid any delays in the processing of your permit application. SCSD contact e-mail (PGrogan@ci.seaside.ca.us).
15. Applicant to make payment for the TAMC Traffic Fee to the City of Seaside Building Department.

***Standard:***

16. Except as modified by the conditions of approval, plans submitted for Building Permits must be in compliance with Exhibit A: Project Plans.
17. The applicant agrees as a condition and in consideration of the approval of this permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly

notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

18. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).

19. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner prior to issuance of any Building Permit or establishment of any use authorized by the permit.

20. This approval shall become null and void unless a Building Permit application is submitted or authorized use is established within twelve (12) months of April 1, 2026 in accordance with Seaside Municipal Code Section 17.64.080.A. Time extensions may be granted in accordance with Seaside Municipal Code Section 17.64.080.B. This approval shall also become null and void if the implementing Building Permit application expires.

21. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

**PASSED AND ADOPTED** at a regular meeting of the Planning Commission of the City of Seaside, State of California, on the 25<sup>th</sup> day of March 2026 by the following vote:

- AYES:
- NOES:
- ABSENT:
- ABSTAIN:

---

Will Silva, Chairperson

ATTEST:

---

Planning Commission Secretary

**Use Permit Application No. UP-2026-001,  
Planned Development Permit Application No. PDP-2025-001,  
and  
Architectural Review Application No. AR-2026-001  
Resolution No. 26-XX**

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

\_\_\_\_\_  
Applicant's Signature

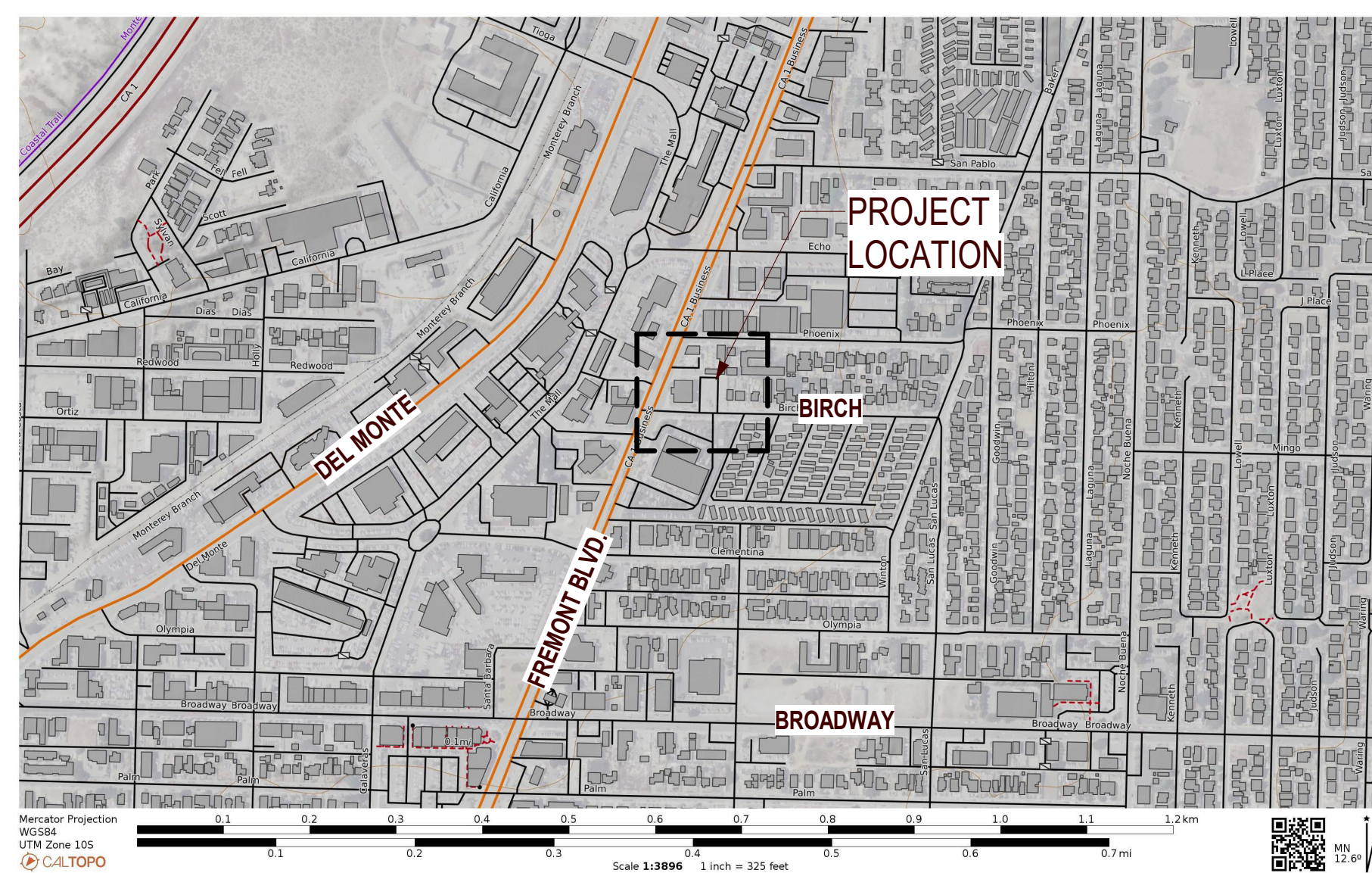
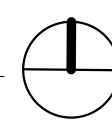
\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date



### VICINITY MAP



### BUILDING CODE INFO

FIRE SPRINKLERS	YES
CONSTRUCTION TYPE	TYPE VB
OCCUPANCY GROUP	R2.1

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODE (CBC),
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS

### BUILDING AREA

EXISTING FACILITY	
LEVEL 1 - EXISTING	5153 SF
LEVEL 2 - EXISTING	5029 SF
<b>TOTAL</b>	<b>10,182 SF</b>
LEVEL 1 - PROPOSED	4914 SF
LEVEL 2 - PROPOSED	5029 SF
<b>TOTAL</b>	<b>9,943 SF</b>

### PROPOSED 2 STORY ADDITION

LEVEL 1 - PROPOSED	2734 SF
LEVEL 2 - PROPOSED	2662 SF
<b>TOTAL</b>	<b>5396 SF</b>

### DEFERRED SUBMITTALS

NONE

### GRADING ESTIMATES

GRADING CUT	0 CU. YDS.
GRADING FILL	0 CU. YDS.
GRADING NET CUT OR FILL	0 CU. YDS.

### MISCELLANEOUS

WATER SOURCE	CAL AM
SEWER SYSTEM	PUBLIC SEWER
TREES TO BE REMOVED	0

### PROJECT TEAM

**OWNER:** La'i Communities  
1732 Fremont Blvd - Suite #200A  
Seaside, CA 93955  
Phone: 949-351-4126  
E-mail: rtanaka@laicomunities.com  
Contact: Ryan Tanaka,

**OPERATOR:** Sun Street Centers  
11 Peach Dr  
Salinas CA, 93901  
Phone: 831-753-5144  
E-mail: afoglia@sunstreet.org  
Contact: Anna Foglia - CEO

**ARCHITECT:** Lx Design Studio  
3771 Rio Road Suite 101 - A  
Carmel, Ca 93923  
Phone: 831-293-8691  
E-mail: patrick@lxdesignstudio.com  
Contact: Patrick LeMaster, AIA, LEED AP

**STRUCTURAL:** HOWARD CARTER & ASSOC.

**GENERAL CONTRACTOR:** AUSONIO INC.

SHEET NO.	SHEET NAME	PLANNING PERMIT 10.19.25
GENERAL INFORMATION		
G1.00	COVER SHEET- GENERAL INFO	•
CIVIL		
C1.00	SURVEY	•
C1.01	IMPERVIOUS AREA EXHIBIT	•
ARCHITECTURE - EXISTING BLDG		
A0.10	EXISTING / DEMOLITION SITE PLAN	•
A0.11	PROPOSED SITE PLAN	•
A0.12	SITE DETAILS	•
A2.01	1ST FLOOR EXISTING/ DEMOLITION PLAN	•
A2.02	2ND FLOOR EXISTING/ DEMOLITION PLAN	•
A2.11	PROPOSED 1ST FLOOR PLAN	•
A2.12	PROPOSED 2ND FLOOR PLAN	•
A2.16	ROOF PLAN	•
A3.10	EXTERIOR ELEVATIONS - MTL. PALETTE	•
A3.11	EXTERIOR ELEVATIONS - MTL. PALETTE	•
A3.12	3D VIEWS - MTL. PALETTE	•
ARCHITECTURE - NEW BUILDING		
A2.21 (NB)	LEVEL 1 FLOOR PLAN - NEW FACILITY	•
A2.22 (NB)	LEVEL 2 FLOOR PLAN - NEW FACILITY	•
A2.23 (NB)	ROOF PLAN - NEW FACILITY	•
A3.10 (NB)	EXTERIOR ELEVATIONS - MTL. PALETTE	•
A3.11 (NB)	EXTERIOR ELEVATIONS - MTL. PALETTE	•
A3.12 (NB)	EXTERIOR ELEVATIONS - MTL. PALETTE	•
A3.13 (NB)	3D VIEWS - MTL. PALETTE	•
A3.14 (NB)	3D VIEWS - MTL. PALETTE	•
LANDSCAPE		
L1.10	PROPOSED PLANTING PLAN	•
L1.20	PROPOSED ENLARGED PLANTING PLAN	•
L1.30	PROPOSED ENLARGED PLANTING PLAN	•
L2.10	PROPOSED PLANT SCHEDULE	•
L2.20	PROPOSED PLANT SCHEDULE	•

### SCOPE OF WORK

THE PROJECT CONSISTS OF THE RENOVATION AND CHANGE OF USE FOR AN EXISTING 10,182 SF MIXED USE BUILDING (RESTAURANT / OFFICE) INTO A 9,943 SF SHORT TERM (90 DAY MAX.) YOUTH RESIDENTIAL S.U.D TREATMENT CENTER. THE EXISTING FACILITY WILL HAVE 18 BEDS AND CONTAIN STAFF OFFICES, EDUCATION RM, KITCHEN, DINING, AND RECREATION SPACE. WE ARE ALSO PROPOSING AN ADJACENT NEW 2 STORY FACILITY (5,396 SF) THAT WILL CONTAIN 22 ADDITIONAL BEDS WITH ADDITIONAL STAFF OFFICE SPACE.

THIS APPLICATION PROPOSES TO MERGE APN 012-072-045 & 012-072-020 INTO A SINGLE PARCEL.

16 PARKING SPACE PROPOSED WITH 2 ELEC. CAR CHARGING STALLS

### ZONING INFORMATION

PROPERTY ADDRESS: 1732 FREMONT BLVD & 1123 BIRCH AVE SEASIDE, CA 93955

APN: 012-072-045 (.36 ACRES - 15,682 SF)  
012-072-020 (.21 ACRES - 9,309 SF)

ZONING: CC - COMMUNITY COMMERCIAL

FLOOR AREA RATIO (MERGED PARCELS)  
15,339 / 24,991 = .61

SITE COVERAGE (STRUCTURES & IMPERVIOUS SURFACES)  
20,814 / 24,991 = 83%

LANDSCAPE AREA = 4097 SF = 16%

SETBACKS  
FRONT 0'  
SIDE 0'  
REAR 0'

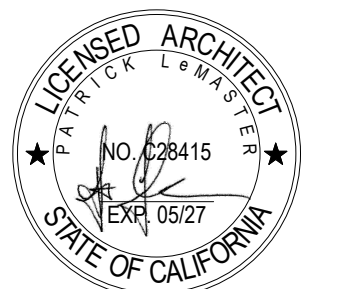
HEIGHT LIMIT: 4 STORIES OR 48'



Design Studio

ARCHITECTURE + PLANNING

3771 Rio Road - Suite 101A  
Carmel, CA 93923  
(Ph) 206-673-8539  
lxdesignstudio.com



SHEET ISSUE

REVISION #

OWNER:  
Lai Communities  
1732 Fremont Blvd, Seaside, CA 93955

Sun Street Centers's Youth Treatment Center  
1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
1-13-26

Scale:  
Job: 2411

Sheet  
COVER SHEET-  
GENERAL INFO

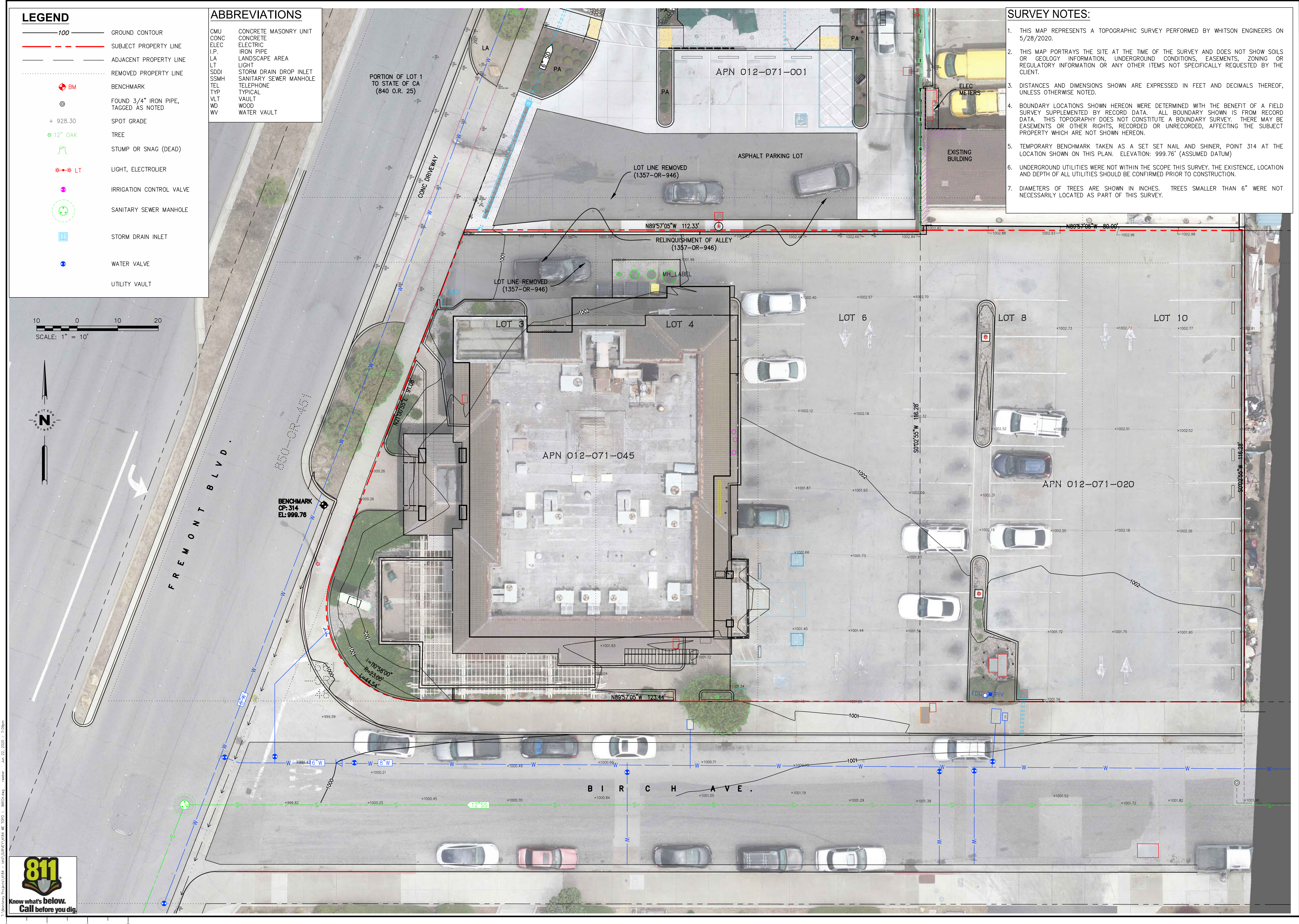
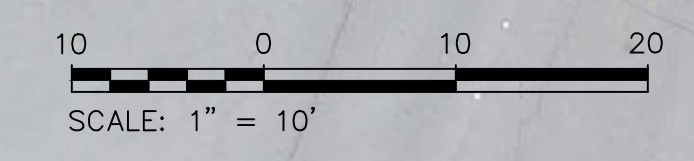
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1/15/2026 11:13:35 AM

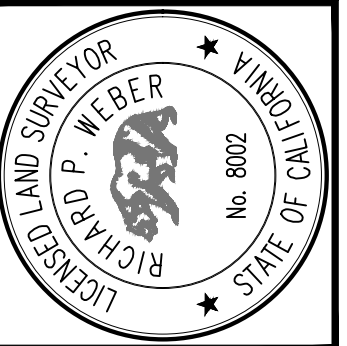
LEGEND	
	GROUND CONTOUR
	SUBJECT PROPERTY LINE
	ADJACENT PROPERTY LINE
	REMOVED PROPERTY LINE
	BENCHMARK
	FOUND 3/4" IRON PIPE, TAGGED AS NOTED
	SPOT GRADE
	TREE
	STUMP OR SNAG (DEAD)
	LIGHT, ELECTROLIER
	IRRIGATION CONTROL VALVE
	SANITARY SEWER MANHOLE
	STORM DRAIN INLET
	WATER VALVE
	UTILITY VAULT

ABBREVIATIONS	
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
ELECC	ELECTRIC
IP	IRON PIPE
LA	LANDSCAPE AREA
LT	LIGHT
SDDI	STORM DRAIN DROP INLET
SSMH	SANITARY SEWER MANHOLE
TEL	TELEPHONE
TYP	TYPICAL
VLT	VAULT
WD	WOOD
WV	WATER VAULT

- SURVEY NOTES:**
1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON 5/28/2020.
  2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGY INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
  3. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
  4. BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED WITH THE BENEFIT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY SHOWN IS FROM RECORD DATA. THIS TOPOGRAPHY DOES NOT CONSTITUTE A BOUNDARY SURVEY. THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY WHICH ARE NOT SHOWN HEREON.
  5. TEMPORARY BENCHMARK TAKEN AS A SET SET NAIL AND SHINER, POINT 314 AT THE LOCATION SHOWN ON THIS PLAN. ELEVATION: 999.76" (ASSUMED DATUM)
  6. UNDERGROUND UTILITIES WERE NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
  7. DIAMETERS OF TREES ARE SHOWN IN INCHES. TREES SMALLER THAN 6" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.



Civil Engineering  
Land Surveying  
6 Hazel Court  
Monterey, California  
831.649.9225  
whitsonengineers.com



NO.	DATE	DESCRIPTION

Seaside, California  
APN 011-095-001-002

**1732 FREMONT BLVD**  
**TOPOGRAPHIC SURVEY**

SCALE: 1"=10'  
DRAWN: RPW  
JOB No.: 4184.00  
SHEET  
**C1.0**  
OF





GENERAL NOTES



ARCHITECTURE  
+  
PLANNING

3771 Rio Road - Suite 101A  
Carmel CA 93923  
(PH) 206.427.3539  
lxdesignstudio.com



SHEET ISSUE

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
2.3.11	REMOVE PORTION OF (E) CONCRETE SLAB
2.3.13	REMOVE (E) CONCRETE MASONRY COLUMN
2.22.06	(E) GAS METER
2.22.10	(E) FIRE DEPARTMENT CONNECTION
2.26.09	EXISTING TRANSFORMER TO REMAIN
2.32.06	REMOVE (E) SIGN
2.32.07	REMOVE (E) LANDSCAPING, IRRIGATION AND GRAVEL
2.33.09	REMOVE (E) PARKING STRIPS
2.33.10	REMOVE PORTION OF (E) CONCRETE CURB

REVISION #

OWNER:  
Lai Communities  
1732 Fremont Blvd, Seaside, CA 93955

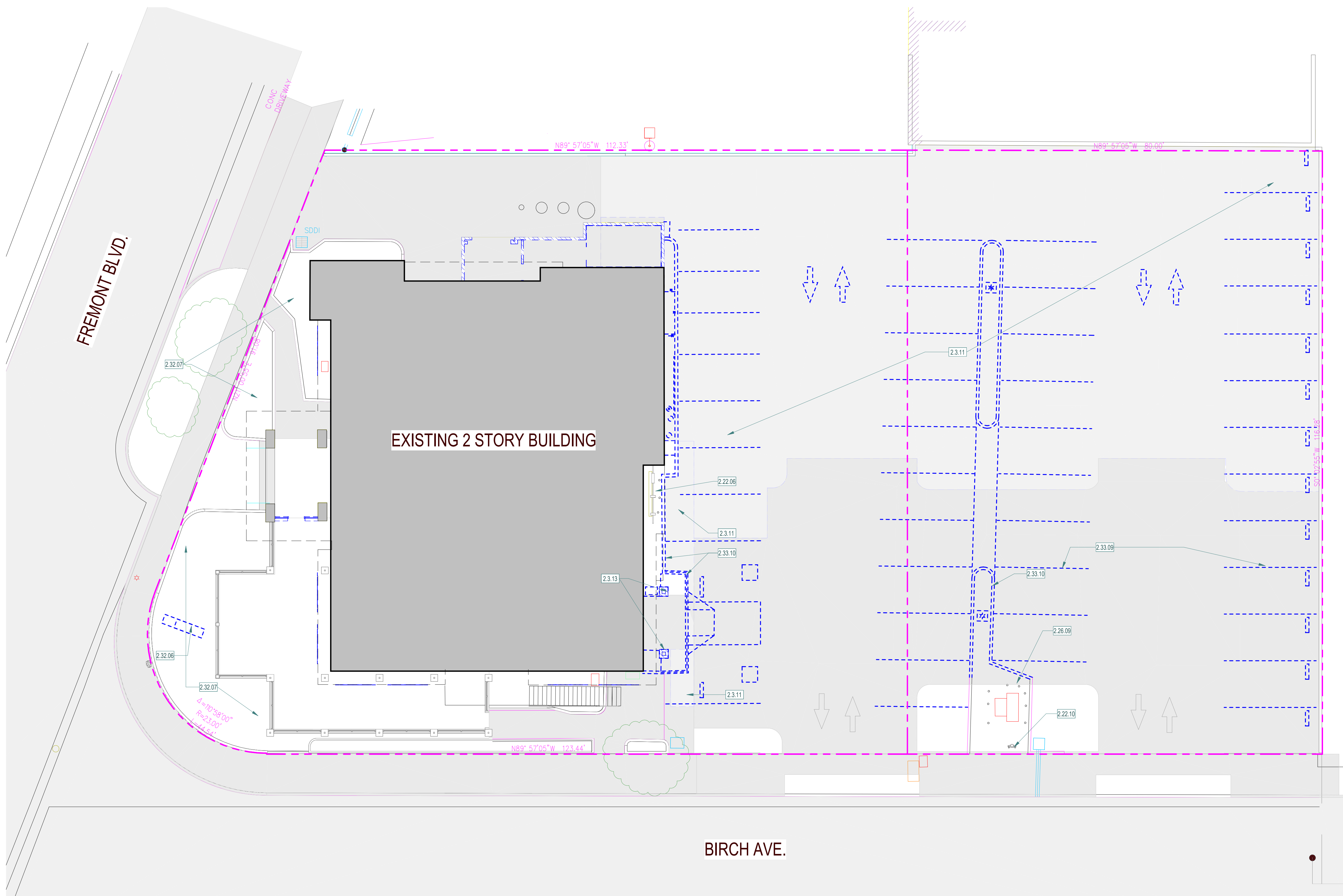
Sun Street Center's Youth  
Treatment Center  
1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
1-13-26

Scale: As indicated  
Job: 2411

Sheet  
EXISTING /  
DEMOLITION  
SITE PLAN

A0.10  
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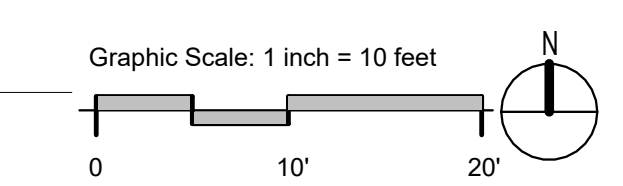


EXISTING LANDSCAPE AREA
AREA
1661 SF

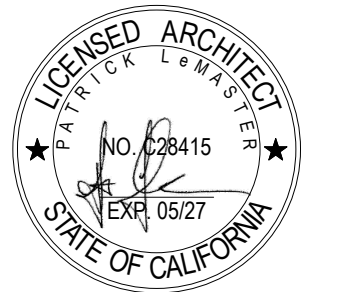
LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WALL / FLOOR / ELEMENT TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED

1 SITE - EXISTING / DEMOLITION  
1" = 10'-0"



GENERAL NOTES



SHEET ISSUE

REVISION #

OWNER:  
Lai Communities

1732 Fremont Blvd, Seaside, CA 93955

**Sun Street Center's Youth Treatment Center**  
1732 Fremont Blvd, Seaside, CA 93955

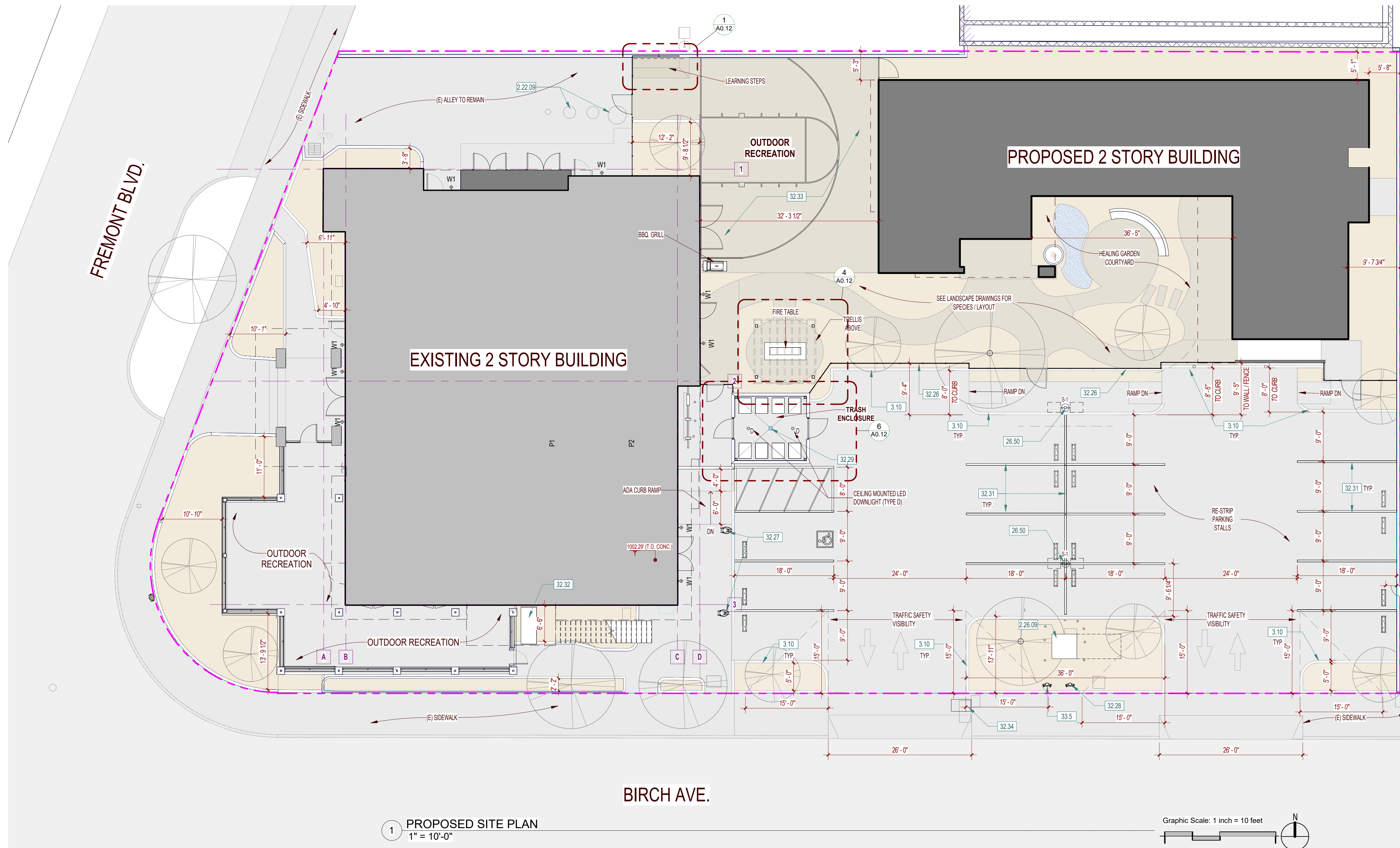
PLANNING SUBMITTAL

Scale: As indicated  
Job: 2411

Sheet  
**PROPOSED SITE PLAN**

**A0.11**



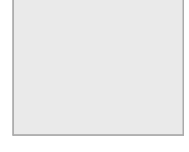
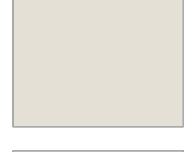
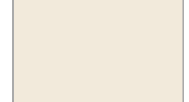
2/12/2026 5:30:12 PM



SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
2.22.09	(E) SANITARY SEWER AND GREASE TRAP ACCESS / CLEAN-OUT
2.26.09	EXISTING TRANSFORMER TO REMAIN
3.10	6" HIGH CONCRETE CURB
26.50	NEW POLE MOUNTED PARKING LOT LED LIGHT FIXTURE
32.26	5'-0" HIGH ALUMINUM FENCING (PRIVACY SCREEN) BY KNOTWOOD - "WOOD GRAIN LOOK" 4" SLAT SIZE - COLOR "ROYAL OAK"
32.27	ELECTRIC VEHICLE CHARGING STATION
32.28	NEW FIRE DEPARTMENT CONNECTION
32.29	NEW AREA DRAIN CONNECTED TO SANITARY SEWER
32.31	4" WIDE PAINTED PARKING STRIPE
32.32	32"W x 76"L x 48.5 H LOCKABLE BIKE LOCKER BY DERO - D1 SERIES
32.33	(E) CONCRETE SLAB - CONTRACTOR TO GRIND AND REFINISH WITH EPOXY COATING (TO MATCH COLORED CONCRETE) AND PAINT BASKETBALL COURT LAYOUT IN WHITE PAINT
32.34	CONTRACTOR TO PROVIDE DRIVEABLE UTILITY VAULT COVER
33.5	EXISTING FIRE DEPARTMENT CONNECTION (TO REMAIN)

LEGEND

	EXISTING BUILDING TO REMAIN
	NEW ADDITION
	CONCRETE
	NEW INTEGRAL COLORED CONCRETE WALKWAY "CLIFFSIDE BROWN" BY DAVIS COLORS
	PLANTER



(W-1) L.E.D. EXTERIOR WALL SCENCE



(S-1) L.E.D. EXTERIOR PARKING LOT LIGHT (POLE MOUNTED)

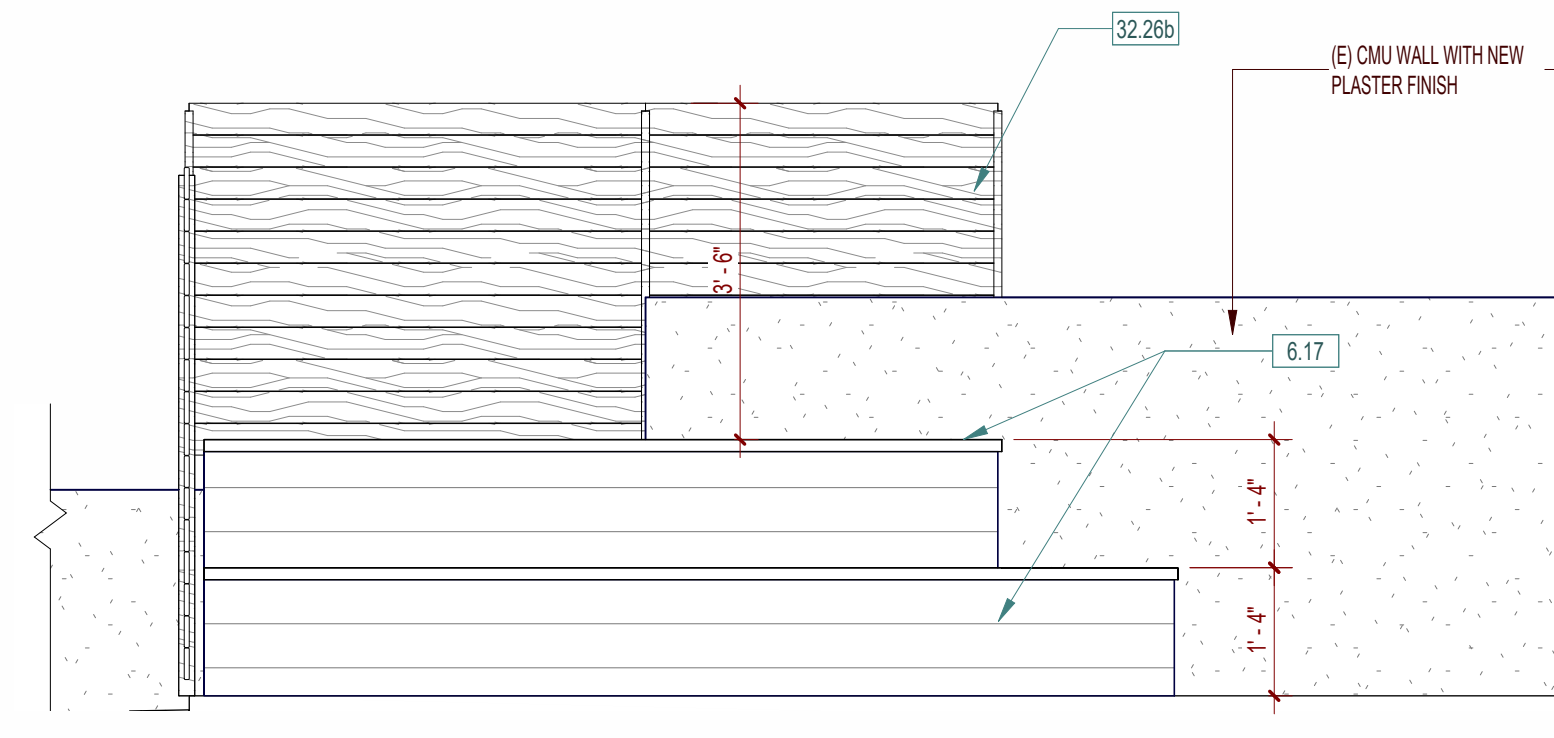


(D) L.E.D. EXTERIOR SURFACE MOUNT

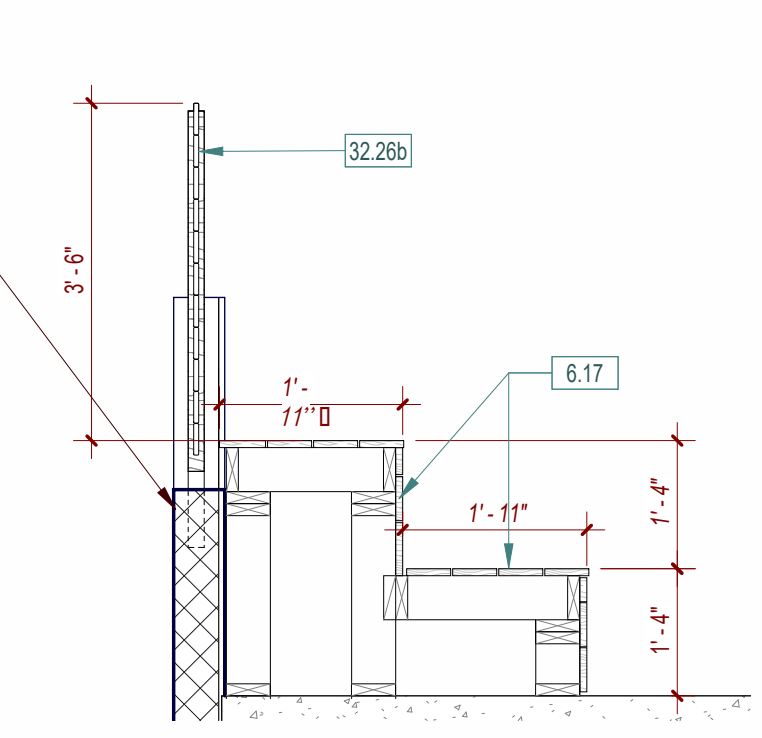
EXTERIOR LIGHT FIXTURE SCHEDULE								
MARK	MANUFACTURER & CATALOG NO.	MOUNTING	LAMPS		VOLTS	DIMENSIONS	LUMENS	REMARKS
			QTY./ WATTS	TYPE				
W1	TECH LIGHTING PITCH SINGLE OUTDOOR SCENCE 700WSPT - BLACK	WALL MOUNT	23.5 WATTS	L.E.D	120V	5W x 5H x 3.9D	916	
D	WAC LIGHTING - FM-W4725-30-BK DOWNTOWN ROUND CLG @ TRASH ENCLOSURE	CEILING MOUNT	11.9 WATTS	L.E.D	120V	5" DIA.	607	
S-1	LITHONIA LIGHTING OSXO - LED P1 30K 80 CRI T4M MVOLT RPA EGRS - BLACK	POLE MOUNT	34 WATTS	L.E.D	120V	14" W x 8.9" H x 28" D	3802	POLE MOUNTED LED PARKING LIGHT - TOP OF FIXTURE MOUNTED AT 16'



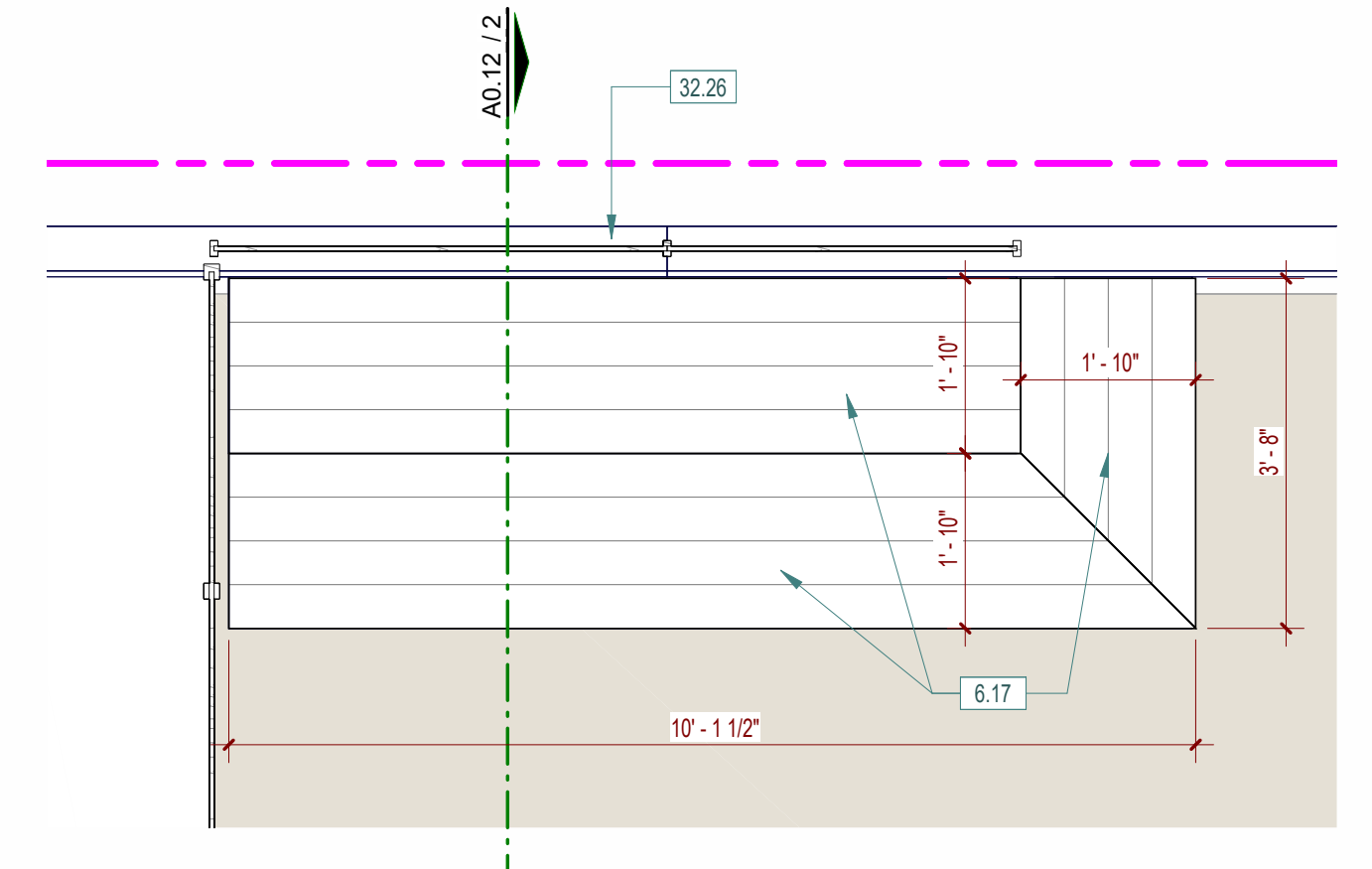
INTEGRAL COLOR FOR NEW CONCRETE HARDSCAPE "CLIFFSIDE BROWN" BY DAVIS COLORS



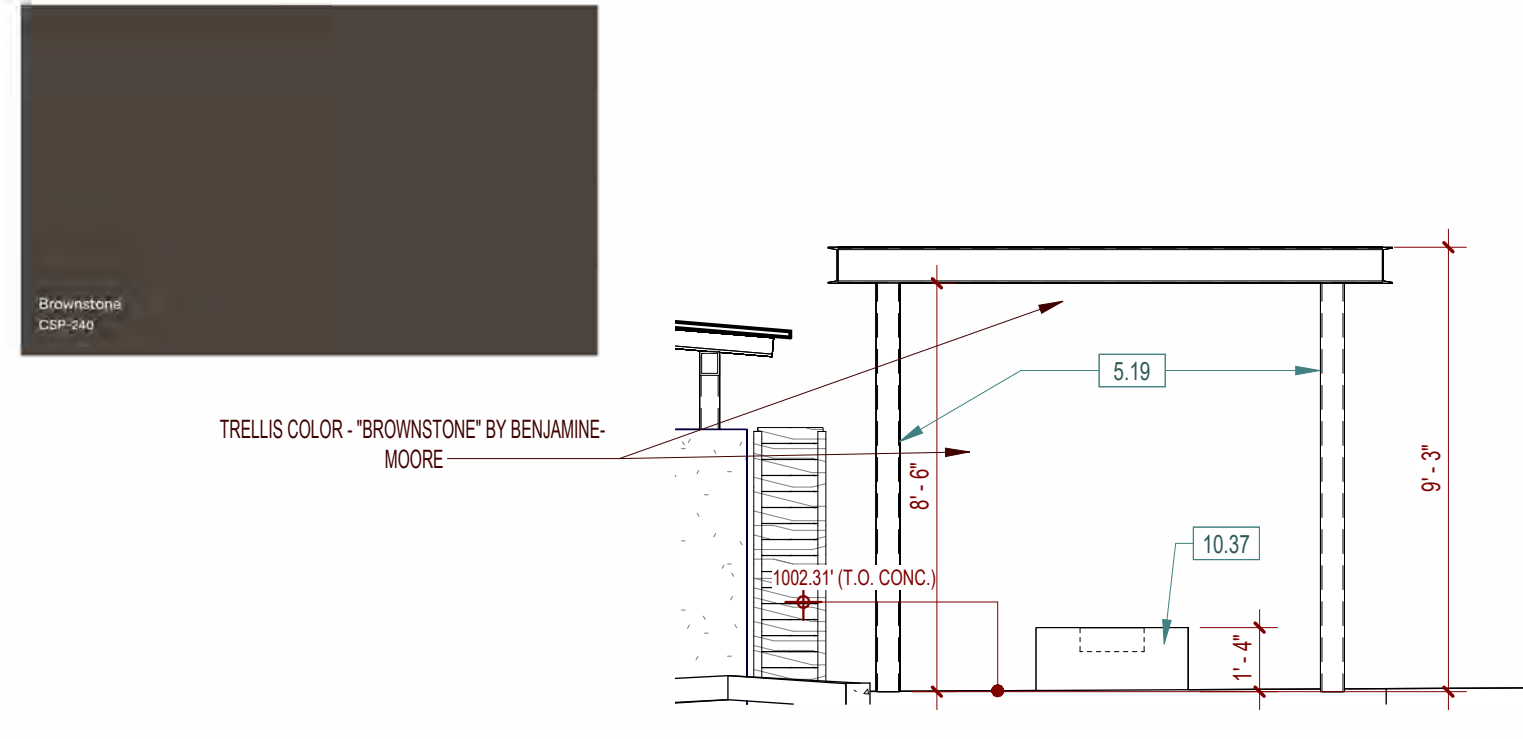
3 SEATING AREA - ELEVATION  
1/2" = 1'-0"



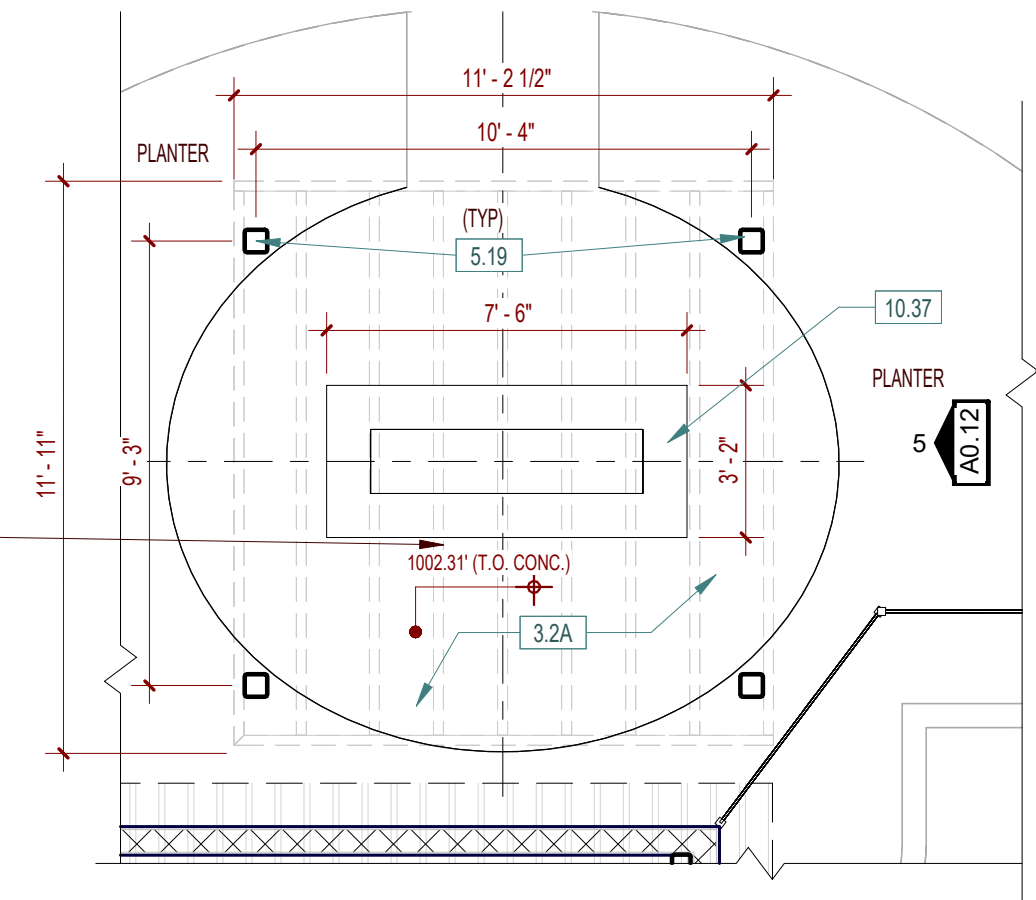
2 SEATING AREA - SECTION  
1/2" = 1'-0"



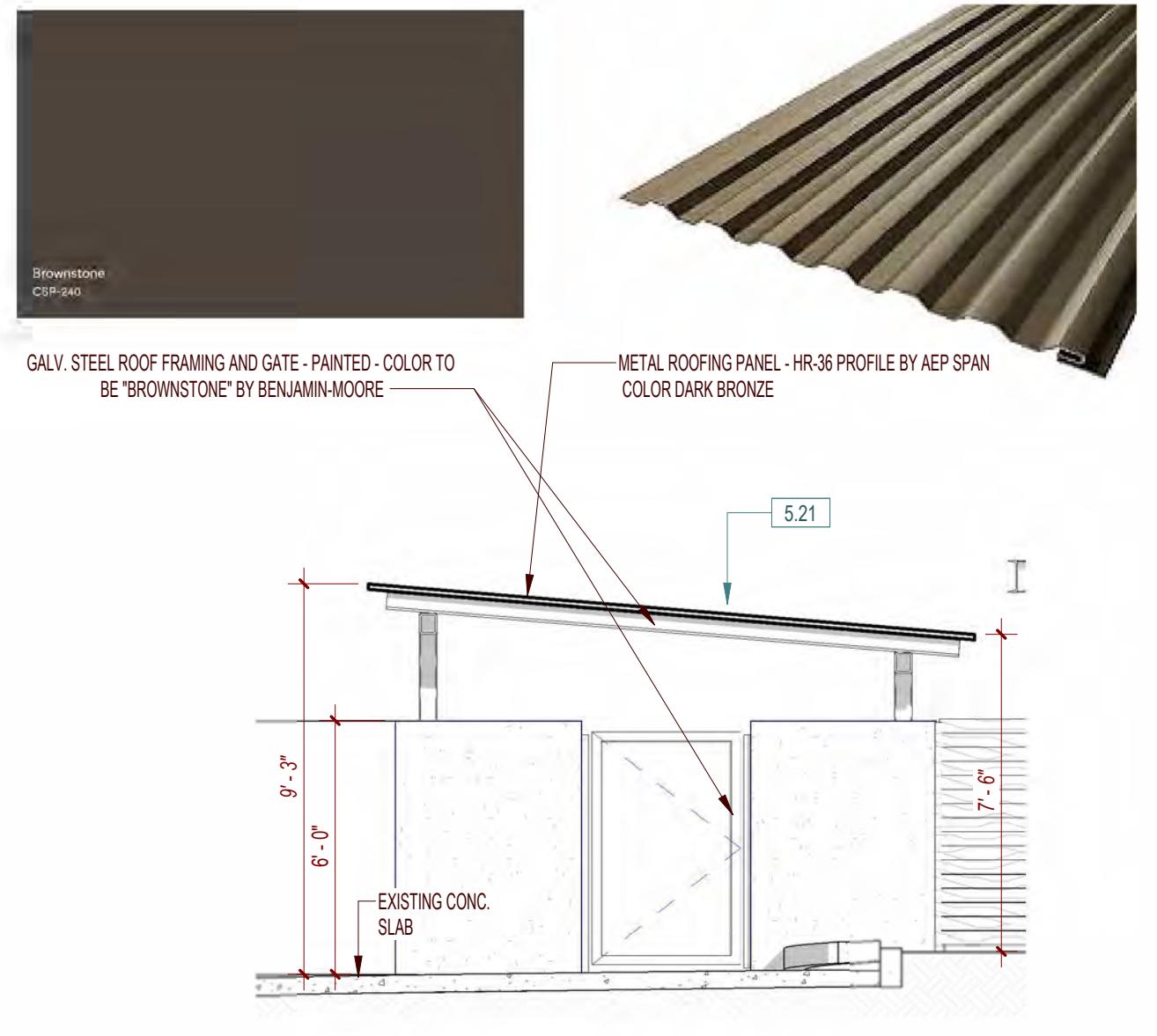
1 ENLARGED SITE - SEATING AREA  
1/2" = 1'-0"



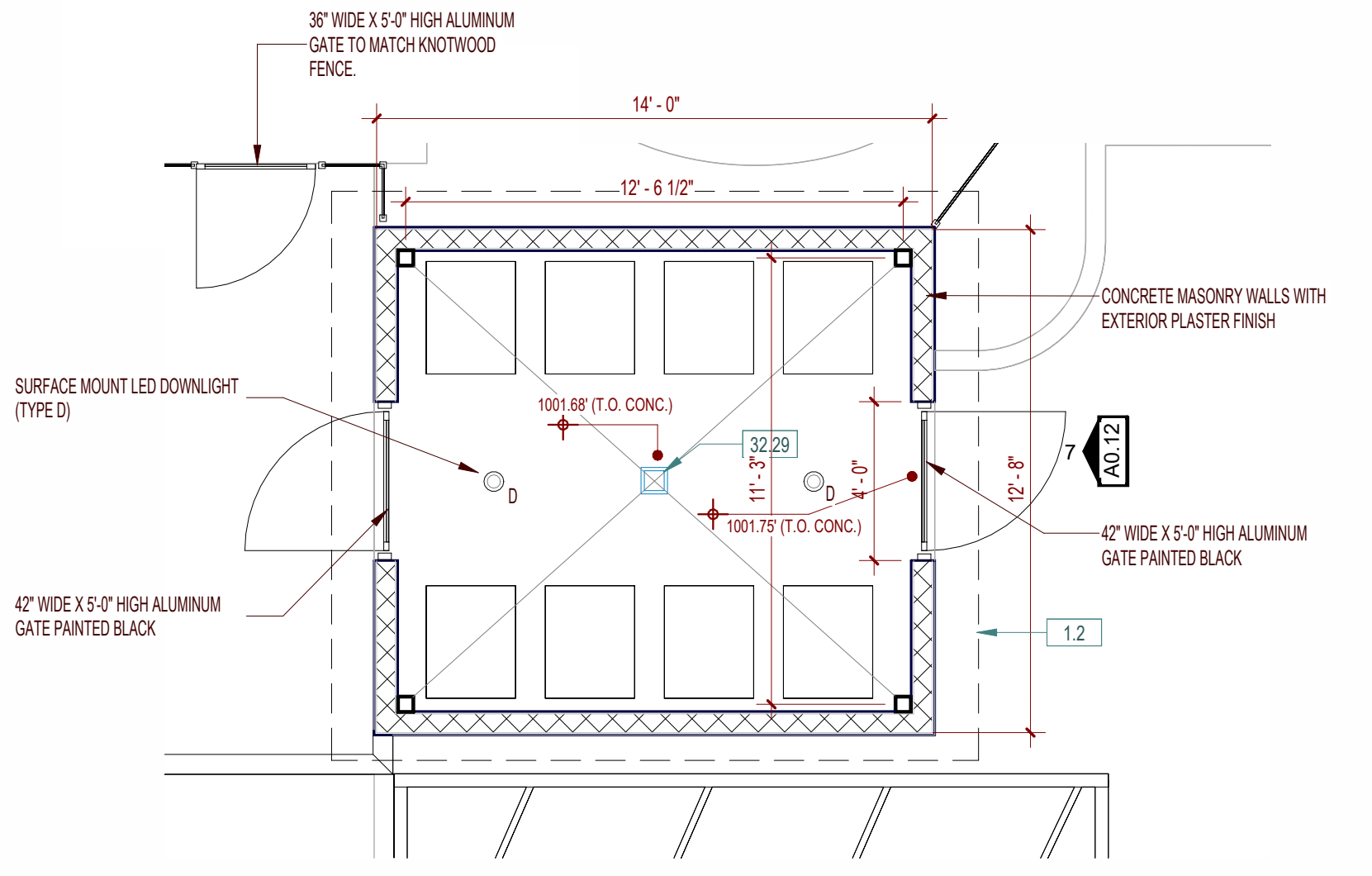
5 TRELLIS ELEVATION  
1/4" = 1'-0"



4 FIRE TABLE AND TRELLIS PLAN  
1/4" = 1'-0"

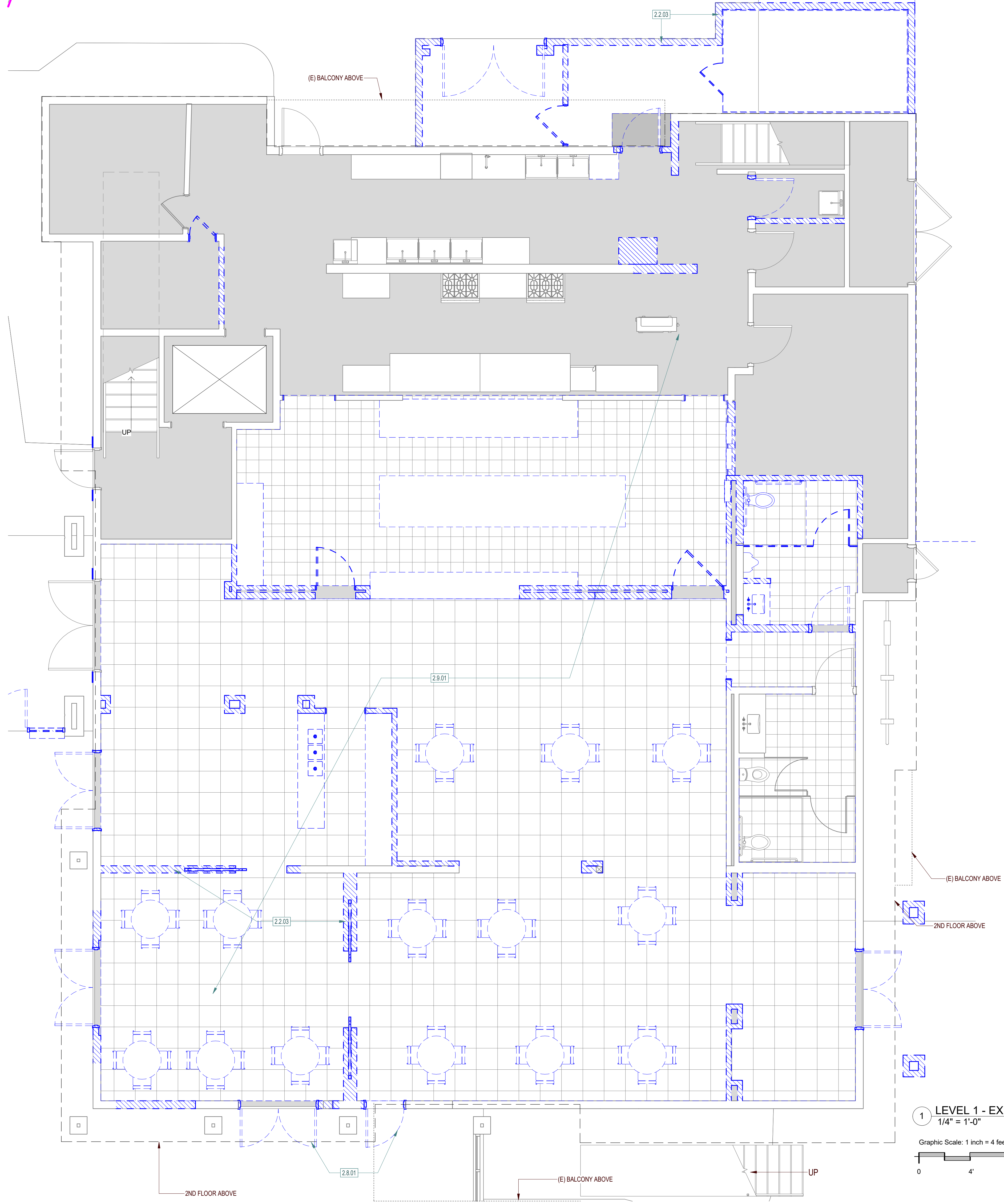


7 TRASH ENCLOSURE ELEVATION  
1/4" = 1'-0"



6 TRASH ENCLOSURE  
1/4" = 1'-0"

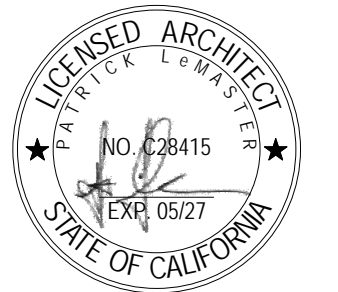
SHEET KEYNOTES	
KEYNOTE #	DESCRIPTION
1.2	ROOF ABOVE
3.2A	4" CONCRETE SLAB W/ INTEGRAL COLOR
5.19	GLAVANIZED STEEL TUBE COLUMN (PAINTED)
5.21	METAL ROOF PANEL-HR-36 PROFILE BY AEP SPAN - DARK BRONZE COLOR
6.17	NEW MODIFIED WOOD DECK BOARDS (KEBONY 5/4 X 6 DECK BOARDS) WITH CLEAR SEALER
10.37	38"W X 90"L X 16"H OUTDOOR GAS FIRE TABLE - TAVOLA 6" BY PRISM HARDSCAPES- GLASS FIBER REINF. CONCRETE - COLOR "PEWTER"
32.26	5'-0" HIGH ALUMINUM FENCING (PRIVACY SCREEN) BY KNOTWOOD -WOOD GRAIN LOOK" 4" SLAT SIZE -COLOR "ROYAL OAK"
32.26b	42" HIGH ALUMINUM FENCING (PRIVACY SCREEN) BY KNOTWOOD -WOOD GRAIN LOOK" 4" SLAT SIZE -COLOR "ROYAL OAK"
32.29	NEW AREA DRAIN CONNECTED TO SANITARY SEWER



### GENERAL NOTES

1. MATERIAL SALVAGE: COORDINATE WITH OWNER PRIOR TO DEMOLITION. REMOVE, PROTECT AND STORE MATERIAL SCHEDULED FOR REUSE AND SALVAGE.
2. SEE STRUCTURAL DRAWINGS FOR DEMOLITION SPECIFIC TO ANY NEW STRUCTURAL WORK.
3. THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
4. REPAIR ALL DEMOLITION PERFORMED, IN EXCESS OF THAT REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
5. REMOVE FROM SITE AND LEGALLY DISPOSE OF DAILY ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
6. REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING / SHORING.

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SHEET ISSUE

### SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
2.2.03	REMOVE (E) WALL
2.8.01	REMOVE (E) WINDOW OR DOOR AND ASSOCIATED FRAME
2.9.01	REMOVE (E) TILE FLOORING AND GLUE / MORTAR

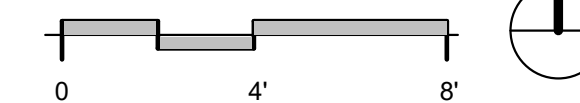
REVISION #

### LEGEND

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WALL / FLOOR / ELEMENT TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED

1 LEVEL 1 - EXISTING/ DEMO FLOOR PLAN  
 1/4" = 1'-0"

Graphic Scale: 1 inch = 4 feet



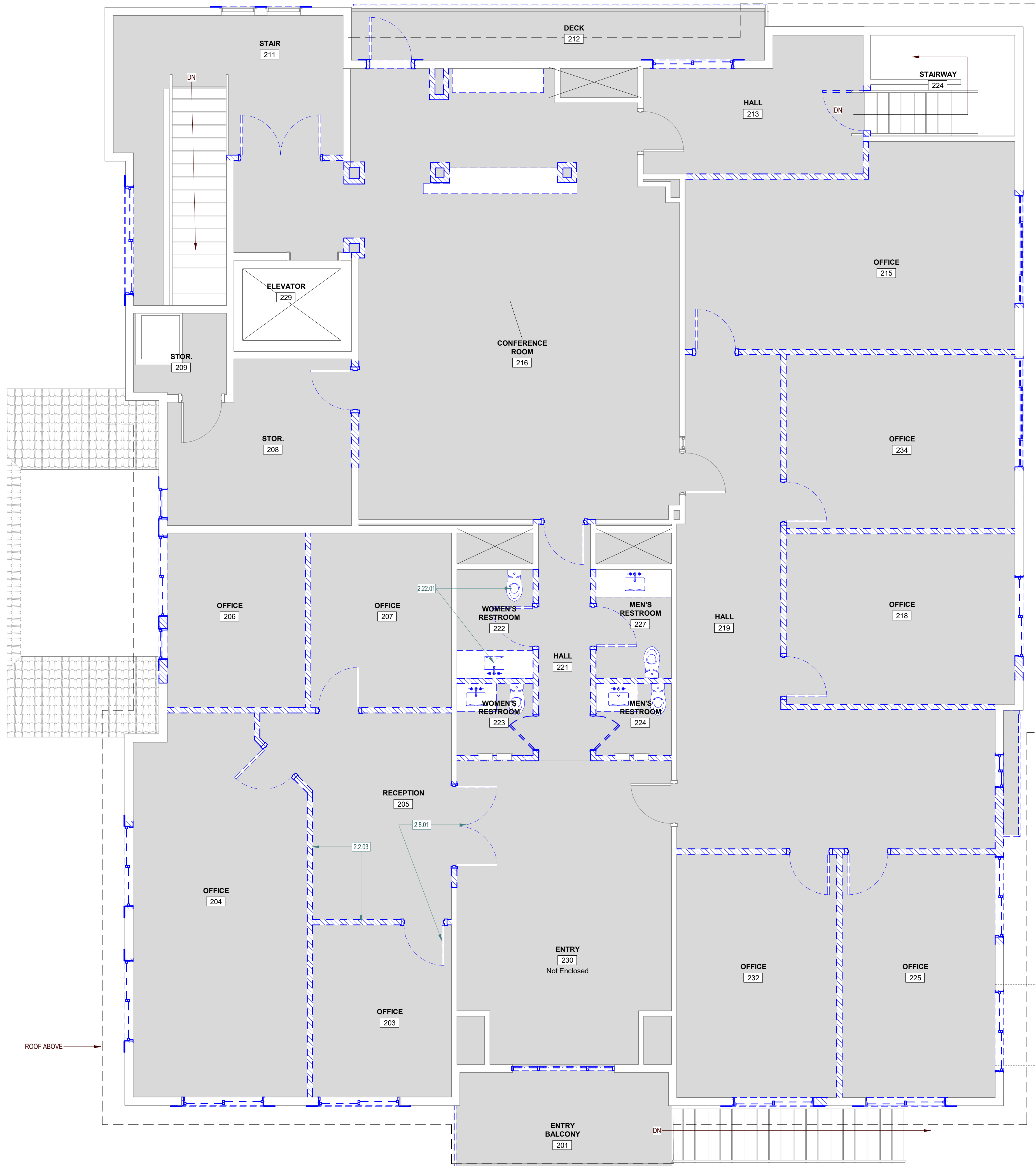
OWNER:  
**Lai Communities**  
 1732 Fremont Blvd, Seaside, CA 93955

**Sun Street Center's Youth Treatment Center**  
 1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
 1-13-26

Scale: 1/4" = 1'-0"  
 Job: 2411

Sheet  
 1ST FLOOR  
 EXISTING/  
 DEMOLITION  
 PLAN  
 A2.01  
 1/12/2026 3:40:51 PM



**GENERAL NOTES**

1. MATERIAL SALVAGE: COORDINATE WITH OWNER PRIOR TO DEMOLITION. REMOVE, PROTECT AND STORE MATERIAL SCHEDULED FOR REUSE AND SALVAGE.
2. SEE STRUCTURAL DRAWINGS FOR DEMOLITION SPECIFIC TO ANY NEW STRUCTURAL WORK.
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SHEET ISSUE

**SHEET KEYNOTES**

KEYNOTE #	DESCRIPTION
2.2.03	REMOVE (E) WALL
2.8.01	REMOVE (E) WINDOW OR DOOR AND ASSOCIATED FRAME
2.22.01	REMOVE (E) PLUMBING FIXTURE, ALL NEW FIXTURES TO MEET STATE REQUIRED FLOW RATES

REVISION #

OWNER:  
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 1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
 1-13-26

Scale: 1/4" = 1'-0"  
 Job: 2411

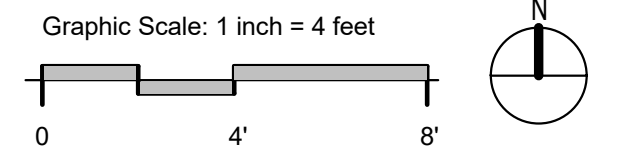
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**2ND FLOOR EXISTING/DEMOLITION PLAN A2.02**

1/12/2026 3:42:00 PM

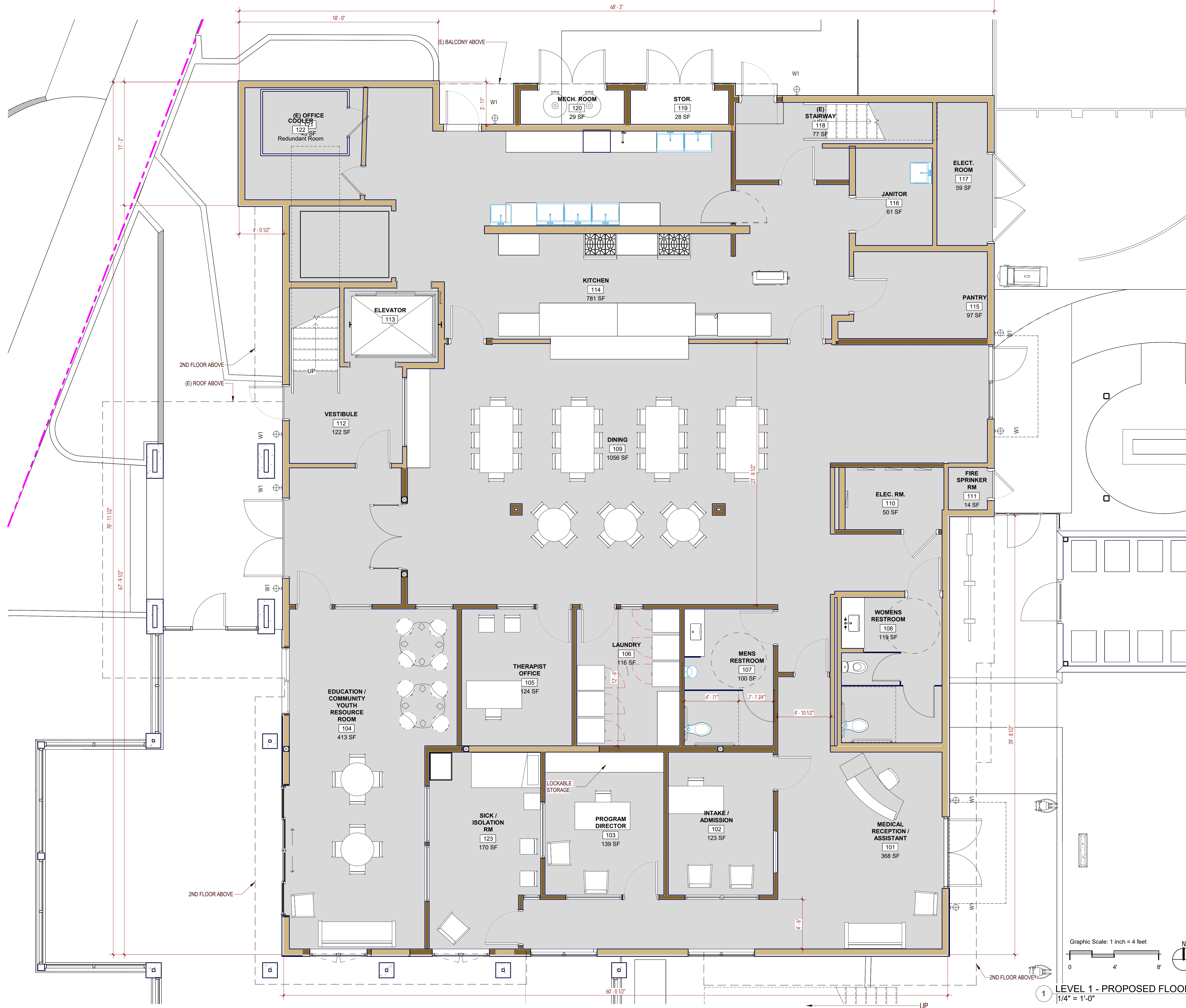
**LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WALL / FLOOR / ELEMENT TO BE DEMOLISHED
- EXISTING DOOR TO BE DEMOLISHED

**1 LEVEL 2 - EXISTING/ DEMO FLOOR PLAN**  
 1/4" = 1'-0"



ROOF ABOVE



**GENERAL NOTES**

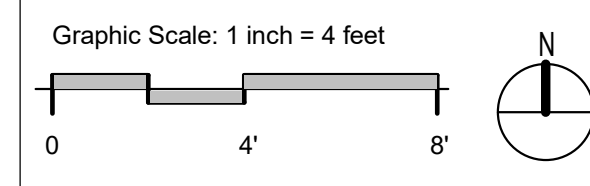
1. ALL DIMENSIONS ARE FROM GRID LINES, FACE OF MASONRY AND FACE OF STUD UON. MASONRY DIMENSIONS ARE NOMINAL.
2. SEE SHEET G1.1 FOR PLUMBING, ELECTRICAL AND MECHANICAL NOTES.
3. DOOR OPENINGS WITHIN STUD PARTITIONS SHALL BE LOCATED WITH THE HINGE SIDE 4" FROM THE FINISH FACE OF ADJACENT PARTITION, UON.
4. PARTITION TYPES CONTINUE AT OPENINGS AND AROUND CORNERS UON.
5. CONSTRUCTION DOCUMENTS SHALL NOT BE SCALED. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNATED CONDITIONS. ONLY WRITTEN DIMENSIONS SHALL GOVERN. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DIMENSIONS THAT ARE IN QUESTION OR THAT ARE REQUIRED TO PROPERLY LAYOUT THE WORK. DO NOT PROCEED WITH WORK IN THE AREA OF A DISCREPANCY OR CONFLICT UNTIL ARCHITECT GIVES DIRECTION. IF THE CONTRACTOR PROCEEDS WITHOUT DIRECTION FROM ARCHITECT, IT SHALL BE AT CONTRACTORS RISK AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CORRECTIVE ACTION WITH NO ADDITIONAL COST TO THE OWNER.
6. ALIGNMENT OF PARTITIONS AND FINISHES, AS SCHEDULED, SHALL BE STRAIGHT, TRUE AND PLUMB, U.O.N.
7. UNMARKED PARTITIONS SHALL MATCH ADJACENT TYPES.
8. FOR LIGHTING AND LIGHTING CONTROL, SEE REFLECTED CEILING PLAN.
9. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AS REQUIRED BY SECTION R314.3 OF THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 907.2.11.2 OF THE 2022 CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA HEALTH AND SAFETY CODE SECTION 13113.7.
10. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AS REQUIRED BY SECTION R013.2 OF THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 420.6 OF THE 2022 CALIFORNIA BUILDING CODE (CBC).  
 \* MULTI-PURPOSE ALARMS (COMBINATION CARBON MONOXIDE AND SMOKE ALARMS) MAY BE USED.

**SHEET KEYNOTES**

KEYNOTE #	DESCRIPTION

**LEGEND**

- EXISTING STUD WALL TO REMAIN (RENOVATION PROJECTS ONLY)
- NEW WALL - SEE WALL / PARTITION TYPES (SEE SHEET A0.1 SERIES SHEETS)
- CMU WALL
- CONCRETE WALL
- PARTITION WALL ASSEMBLY INDICATOR - (SEE A1.00 SERIES SHEETS)
- PARTITION WALL MODIFIER PARTITION WALL TYPE
- FLOOR/ ROOF ASSEMBLY TAG (SEE SHEET A1.0 SERIES SHEETS)
- DOOR TAG (SEE A6 SERIES SHEETS)
- WINDOW TAG (SEE A6 SERIES SHEETS)



1 LEVEL 1 - PROPOSED FLOOR PLAN  
1/4" = 1'-0"

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**LICENSED ARCHITECT**  
 NO. C-28415  
 EXP. 05/27  
 STATE OF CALIFORNIA

**SHEET ISSUE**

REVISION #	DESCRIPTION

**OWNER:**  
Lai Communities  
1732 Fremont Blvd, Seaside, CA 93955

**Sun Street Center's Youth Treatment Center**  
1732 Fremont Blvd, Seaside, CA 93955

**PLANNING SUBMITTAL**  
1-13-26

Scale: As indicated  
Job: 2411

**Sheet**  
PROPOSED 1ST FLOOR PLAN

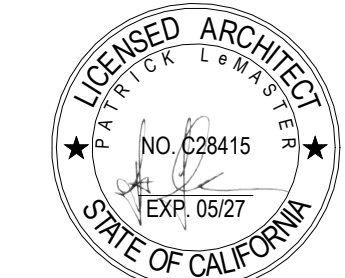
**A2.11**  
1/12/2026 3:44:30 PM  
Packet Page 88

## GENERAL NOTES

- ALL DIMENSIONS ARE FROM GRID LINES, FACE OF MASONRY AND FACE OF STUD UON. MASONRY DIMENSIONS ARE NOMINAL.
- SEE SHEET G1.1 FOR PLUMBING, ELECTRICAL AND MECHANICAL NOTES.
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  - MULTI-PURPOSE ALARMS (COMBINATION CARBON MONOXIDE AND SMOKE ALARMS) MAY BE USED.



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SHEET ISSUE

REVISION #

OWNER:  
Lai Communities  
1732 Fremont Blvd, Seaside, CA 93955

Sun Street Center's Youth  
Treatment Center  
1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
1-13-26

Scale: As indicated  
Job: 2411

Sheet  
PROPOSED 2ND  
FLOOR PLAN

A2.12

1/12/2026 3:07:35 PM

## SHEET KEYNOTES

### LEGEND

EXISTING (RENOVATION)  
NEW WALL - SEE WALL / PARTITION TYPES (SEE SHEET A0.1 SERIES SHEETS)  
CMU WALL  
CONCRETE WALL  
PARTITION / WALL ASSEMBLY INDICATOR - (SEE A1.00 SERIES SHEETS)  
PARTITION / WALL MODIFIER  
PARTITION / WALL TYPE  
FLOOR / ROOF ASSEMBLY TAG (SEE SHEET A1.0 SERIES SHEETS)  
DOOR TAG (SEE A6 SERIES SHEETS)  
WINDOW TAG (SEE A6 SERIES SHEETS)

1 LEVEL 2 - PROPOSED FLOOR PLAN  
1/4" = 1'-0"  
Graphic Scale: 1 inch = 4 feet



GENERAL NOTES



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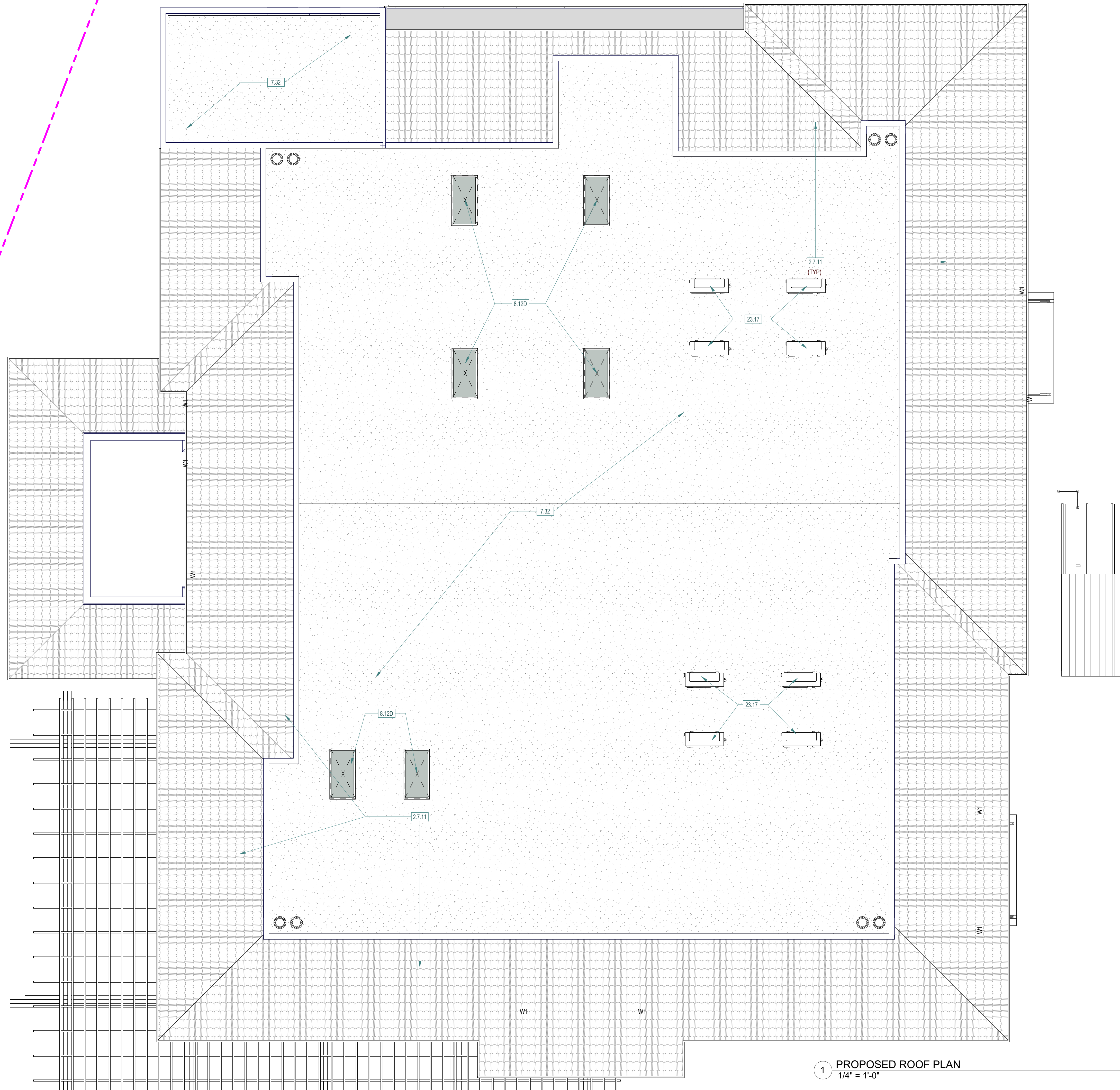


SHEET ISSUE

SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
2.7.11	(E) CLAY TILE ROOF TO REMAIN
7.32	NEW CLASS A SINGLE PLY PVC ROOFING MEMBRANE (LIGHT GREY COLOR), FULLY ADHERED OVER PROTECTION BOARD.
8.12D	(N) FLAT SKYLIGHT (FIXED) WITH NON-REFLECTIVE GLASS
23.17	(N) HEAT PUMP SEE MECHANICAL DRAWINGS

LEGEND



1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

REVISION #



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PLANNING SUBMITTAL  
1-13-26

Scale: 1/4" = 1'-0"  
Job: 2411

Sheet  
ROOF PLAN

A2.16

1/12/2026 3:07:36 PM



1 PROPOSED EAST  
3/16" = 1'-0"



2 PROPOSED SOUTH  
3/16" = 1'-0"



6.10C - 1X6 MODIFIED WOOD SIDING - "KEBONY" CHARACTER SIDING W/ CLEAR SEALER



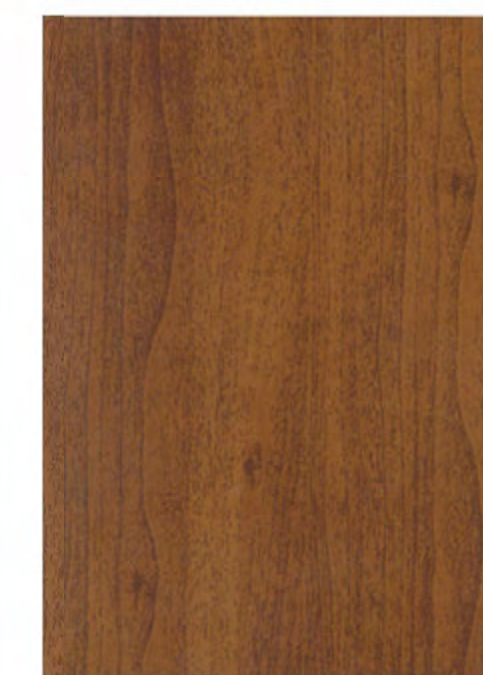
8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS. WEATHER SHIELD "VUE" SERIES BLACK COLOR



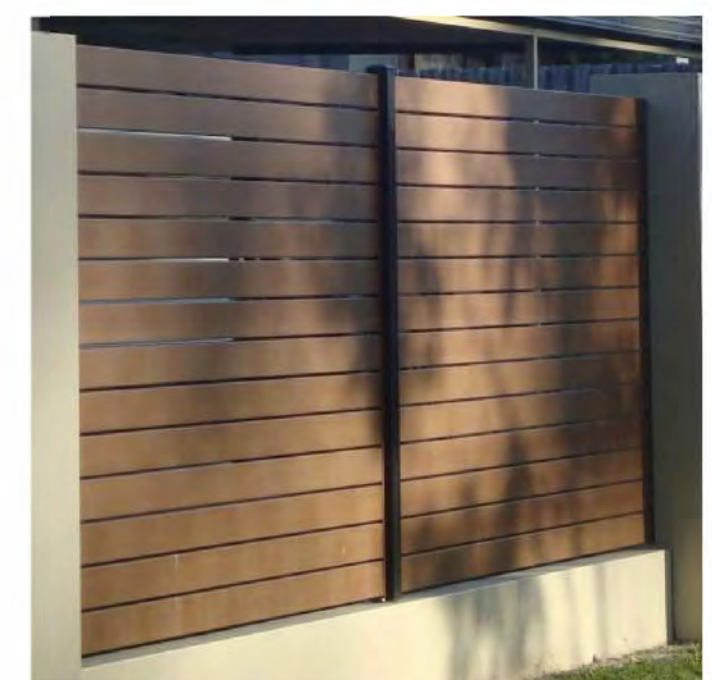
5.21 - METAL ROOF PANEL @ TRASH ENCLOSURE -HR-36 PROFILE BY AEP SPAN - DARK BRONZE COLOR



CANOPY, TRELLIS, TRASH ENCLOSURE, STAIR, COLOR - "BROWNSTONE" CSP-240 BY BENJAMINE-MOORE



32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



5.4D - HOT DIPPED GALVANIZED METAL RAILING POWDER COATED, COLOR "BLACK SATIN" 2131-10 BY BENJAMIN MOORE



9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMIN MOORE



SHEET ISSUE

REVISION #

OWNER:  
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1732 Fremont Blvd, Seaside, CA 93955

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1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
1-13-26

Scale: 3/16" = 1'-0"  
Job: 2411

Sheet  
EXTERIOR ELEVATIONS - MTL. PALETTE

A3.10

1/12/2026 3:07:47 PM



6.10C - 1x6 MODIFIED WOOD SIDING - "KEBONY" CHARACTER SIDING W/ CLEAR SEALER



SHEET ISSUE



8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS. WEATHER SHIELD "VUE" SERIES BLACK COLOR



CANOPY, TRELLIS, TRASH ENCLOSURE, STAIR, COLOR - "BROWNSTONE" CSP -240 BY BENJAMINE-MOORE

REVISION #

OWNER:  
Lai Communities

1732 Fremont Blvd, Seaside, CA 93955

**Sun Street Center's Youth Treatment Center**

1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL  
1-13-26

Scale: 3/16" = 1'-0"  
Job: 2411

Sheet  
EXTERIOR ELEVATIONS - MTL. PALETTE

A3.11

1/12/2026 3:07:56 PM



2 PROPOSED WEST  
3/16" = 1'-0"



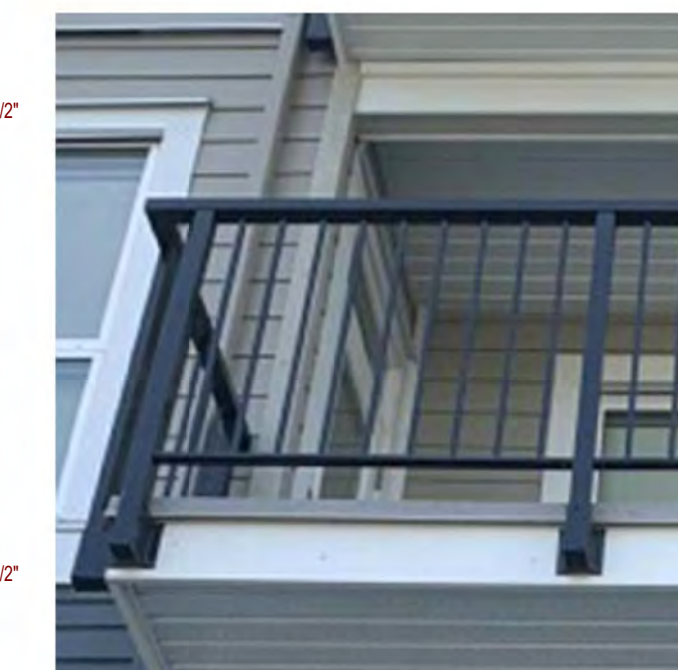
1 PROPOSED NORTH  
3/16" = 1'-0"



32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



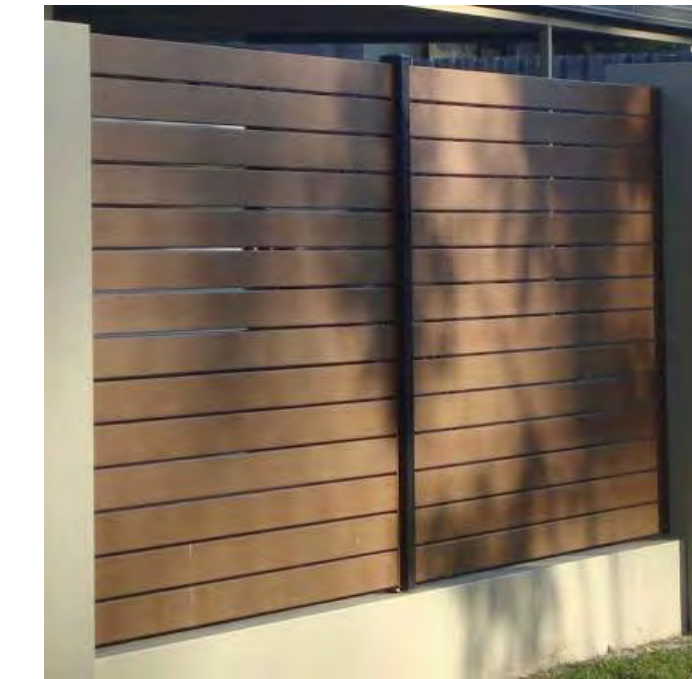
32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



5.4D - HOT DIPPED GALVANIZED METAL RAILING POWDER COATED, COLOR "BLACK SATIN" 2131-10 BY BENJAMIN MOORE



9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMIN MOORE



32.26 - KNOTWOOD ALUMINUM FENCING  
4" SLAT SIZE - COLOR "CHESTNUT"



6.10C - 1X6 MODIFIED WOOD SIDING - "KEBONY"  
CHARACTER SIDING W/ CLEAR SEALER



32.26 - KNOTWOOD ALUMINUM FENCING  
4" SLAT SIZE - COLOR "CHESTNUT"



8.1 - ALUMINUM EXTERIOR DOORS AND  
WINDOWS. WEATHER SHIELD "VUE" SERIES  
BLACK COLOR



9.9 - NEW EXTERIOR ELASTOMERIC PAINT -  
COLOR "SAIL CLOTH" OC-142 BY BENJAMIN MOORE



9.20 - TRUEXTERIOR POLY ASH PAINTED FASCIA  
BOARD, (E) WOOD BEAMS AND TRIM. PAINT  
COLOR "BEAR CREEK" BY BENJAMINE MOORE.



SHEET ISSUE

REVISION #

OWNER:  
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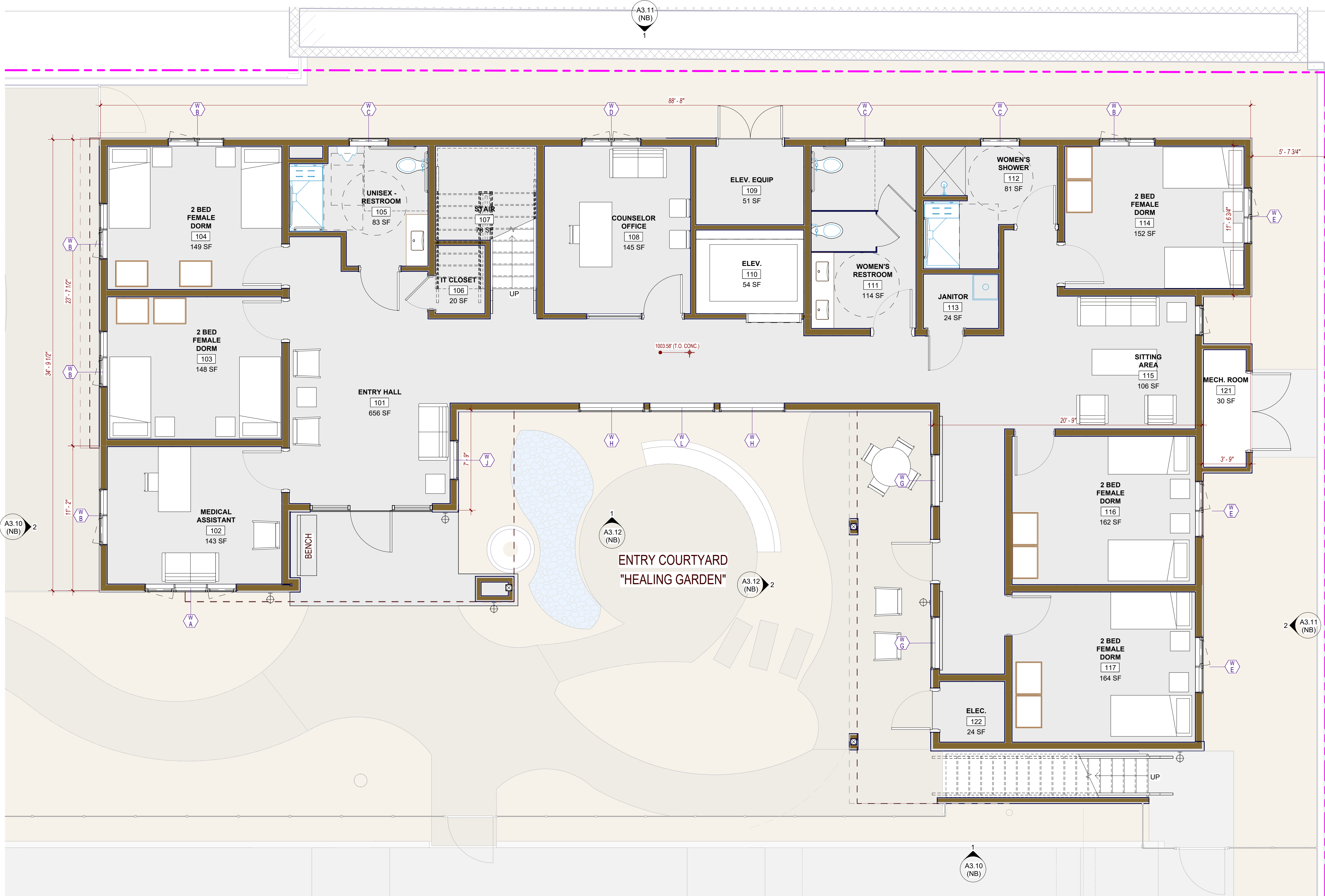
PLANNING SUBMITTAL  
1-13-26

Scale:  
Job: 2411

Sheet  
3D VIEWS - MTL.  
PALETTE

A3.12

1/12/2026 3:07:57 PM



**GENERAL NOTES**

- ALL DIMENSIONS ARE FROM GRID LINES, FACE OF MASONRY AND FACE OF STUD UON. MASONRY DIMENSIONS ARE NOMINAL.
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- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AS REQUIRED BY SECTION R314.3 OF THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 907.2.11.2 OF THE 2022 CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA HEALTH AND SAFETY CODE SECTION 13113.7.
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• MULTI-PURPOSE ALARMS (COMBINATION CARBON MONOXIDE AND SMOKE ALARMS) MAY BE USED.

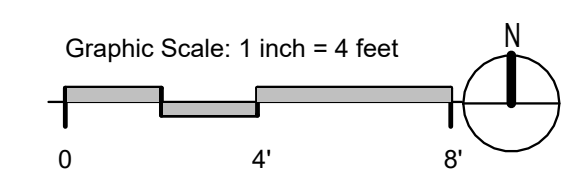
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 Carmel CA 93923  
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REVISION #	DESCRIPTION

**SHEET KEYNOTES**

**1 LEVEL 1 FLOOR PLAN - NEW FACILITY**  
 1/4" = 1'-0"



**LEGEND**

- NEW (SEE SCHEDULES)
- CMU WALL
- CONCRETE WALL
- PARTITION WALL ASSEMBLY INDICATOR - (SEE A1.00 SERIES SHEETS)
- PARTITION WALL MODIFIER
- PARTITION WALL TYPE
- FLOOR/ROOF ASSEMBLY TAG (SEE SHEET A1.0 SERIES SHEETS)
- DOOR TAG (SEE A6 SERIES SHEETS)
- WINDOW TAG (SEE A6 SERIES SHEETS)

**OWNER:**  
 Lai Communities  
 1732 Fremont Blvd, Seaside, CA 93955

**Sun Street Center's Youth Treatment Center**  
 1732 Fremont Blvd, Seaside, CA 93955

**PLANNING SUBMITTAL**  
 1-13-26

Scale: As indicated  
 Job: 2411










**Sheet**  
 LEVEL 1 FLOOR PLAN - NEW FACILITY  
 A2.21(NB)  
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## GENERAL NOTES

- ALL DIMENSIONS ARE FROM GRID LINES, FACE OF MASONRY AND FACE OF STUD UON. MASONRY DIMENSIONS ARE NOMINAL.
- SEE SHEET G1.1 FOR PLUMBING, ELECTRICAL AND MECHANICAL NOTES.
- DOOR OPENINGS WITHIN STUD PARTITIONS SHALL BE LOCATED WITH THE HINGE SIDE 4" FROM THE FINISH FACE OF ADJACENT PARTITION, UON.
- PARTITION TYPES CONTINUE AT OPENINGS AND AROUND CORNERS UON.
- CONSTRUCTION DOCUMENTS SHALL NOT BE SCALED. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNATED CONDITIONS. ONLY WRITTEN DIMENSIONS SHALL GOVERN. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DIMENSIONS THAT ARE IN QUESTION OR THAT ARE REQUIRED TO PROPERLY LAYOUT THE WORK. DO NOT PROCEED WITH WORK IN THE AREA OF A DISCREPANCY OR CONFLICT UNTIL ARCHITECT GIVES DIRECTION. IF THE CONTRACTOR PROCEEDS WITHOUT DIRECTION FROM ARCHITECT, IT SHALL BE AT CONTRACTORS RISK AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CORRECTIVE ACTION WITH NO ADDITIONAL COST TO THE OWNER.
- ALIGNMENT OF PARTITIONS AND FINISHES, AS SCHEDULED, SHALL BE STRAIGHT, TRUE AND PLUMB, U.O.N.
- UNMARKED PARTITIONS SHALL MATCH ADJACENT TYPES.
- FOR LIGHTING AND LIGHTING CONTROL SEE REFLECTED CEILING PLAN.
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AS REQUIRED BY SECTION R314.3 OF THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC) AND SECTION 907.2.11.2 OF THE 2022 CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA HEALTH AND SAFETY CODE SECTION 13113.7.
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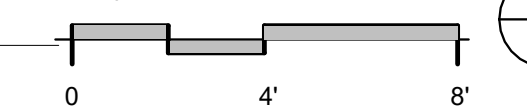
## SHEET KEYNOTES

## LEGEND

-  NEW WALL - SEE WALL / PARTITION TYPES (SEE SHEET A0.1 SERIES SHEETS)
-  CMU WALL
-  CONCRETE WALL
-  PARTITION WALL ASSEMBLY INDICATOR - (SEE A1.00 SERIES SHEETS)
-  PARTITION WALL MODIFIER
-  PARTITION WALL TYPE
-  FLOOR/ ROOF ASSEMBLY TAG (SEE SHEET A1.0 SERIES SHEETS)
-  DOOR TAG (SEE A6 SERIES SHEETS)
-  WINDOW TAG (SEE A6 SERIES SHEETS)

1 LEVEL 2 FLOOR PLAN - NEW FACILITY  
1/4" = 1'-0"

Graphic Scale: 1 inch = 4 feet



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1-13-26

Scale: As indicated

Job: 2411

Sheet  
LEVEL 2 FLOOR  
PLAN - NEW  
FACILITY

A2.22(NB)

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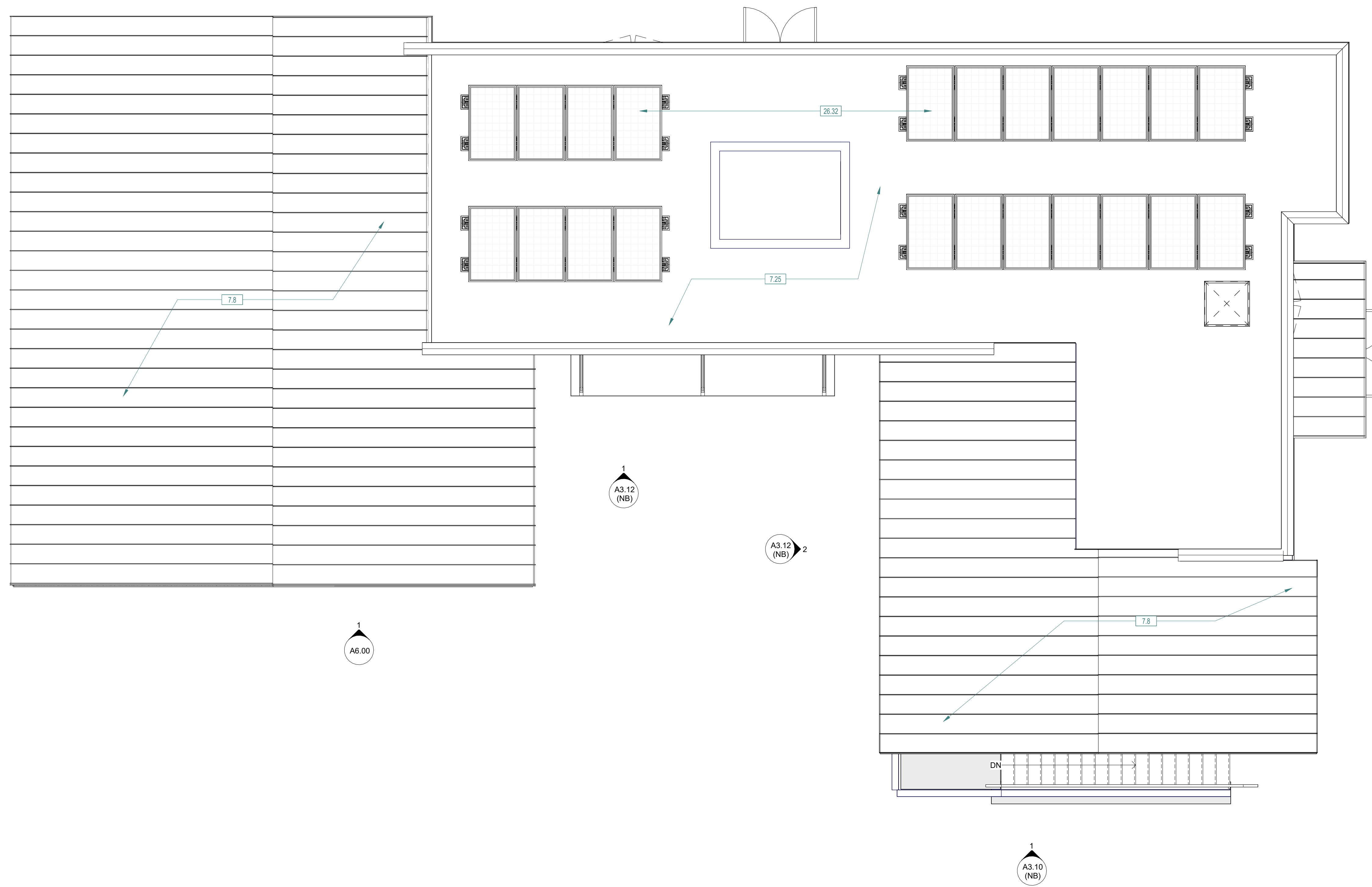
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SHEET ISSUE



### SHEET KEYNOTES

KEYNOTE #	DESCRIPTION
7.8	NEW STANDING SEAM METAL ROOF (CLASS 'A')
7.25	NEW CLASS A SINGLE PLY PVC ROOFING MEMBRANE (LIGHT GREY COLOR). FULLY ADHERED OVER TAPERED INSULATION AND PROTECTION BOARD.
26.32	NEW PHOTOVOLTAIC SOLAR PANELS

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**Sun Street Center's Youth Treatment Center**

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Scale: 1/4" = 1'-0"  
Job: 2411

Sheet  
ROOF PLAN

A2.23(NB)

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1 PROPOSED ROOF PLAN  
1/4" = 1'-0"



6.10C - 1X6 MODIFIED WOOD SIDING - "KEBONY" CHARACTER SIDING W/ CLEAR SEALER



8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS. WEATHER SHIELD "VUE" SERIES BLACK COLOR

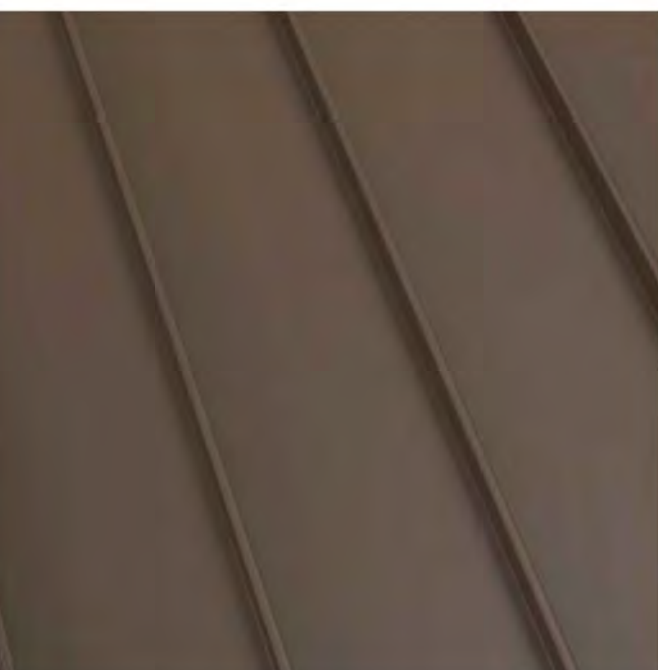


9.20 - TRU EXTERIOR POLY ASH PAINTED FASCIA BOARD, (E) WOOD BEAMS AND TRIM. PAINT COLOR "BEAR CREEK" BY BENJAMINE MOORE.



32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"

32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



7.8 - NEW STANDING SEAM METAL ROOF- AEP DESIGN SPAN HP - COLOR "DARK BRONZE"



9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMIN MOORE

1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"



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PLANNING SUBMITTAL  
1-13-26

Scale: 1/4" = 1'-0"

Job: 2411

Sheet  
EXTERIOR ELEVATIONS - MATERIAL PALETTE  
A3.10 (NB)

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1-13-26

Scale: 1/4" = 1'-0"  
Job: 2411

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EXTERIOR  
ELEVATIONS -  
MATERIAL  
PALETTE  
A3.11 (NB)

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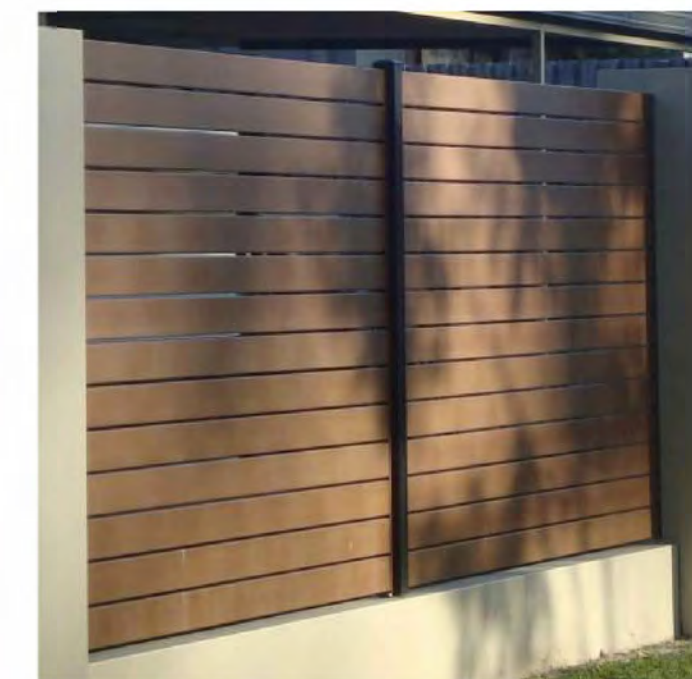
6.10C - 1X6 MODIFIED WOOD SIDING - "KEBONY" CHARACTER SIDING W/ CLEAR SEALER



8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS, WEATHER SHIELD "VUE" SERIES BLACK COLOR



9.20 - TRUEXTERIOR POLY ASH PAINTED FASCIA BOARD, (E) WOOD BEAMS AND TRIM, PAINT COLOR "BEAR CREEK" BY BENJAMINE MOORE.



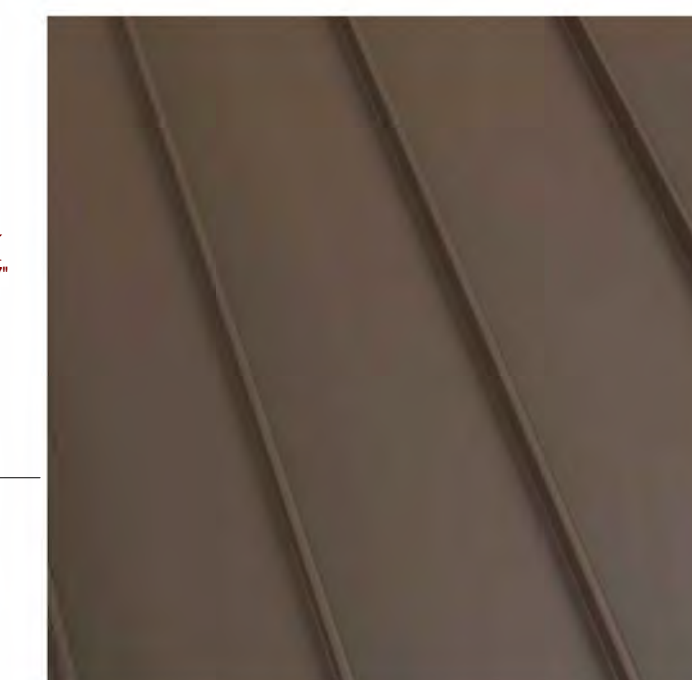
32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



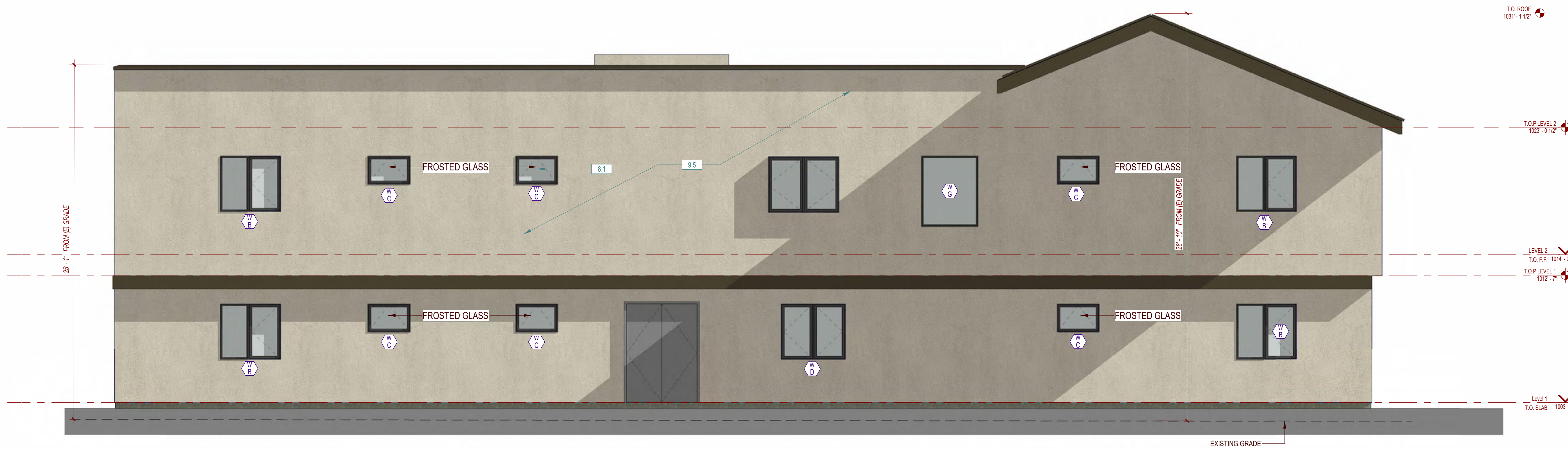
9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMINE MOORE



32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



7.8 - NEW STANDING SEAM METAL ROOF - AEP DESIGN SPAN HP - COLOR "DARK BRONZE"



1 NORTH ELEVATION  
1/4" = 1'-0"



2 EAST ELEVATION  
1/4" = 1'-0"



1 COURTYARD - SOUTH ELEV.  
1/4" = 1'-0"



2 COURTYARD - WEST  
1/4" = 1'-0"



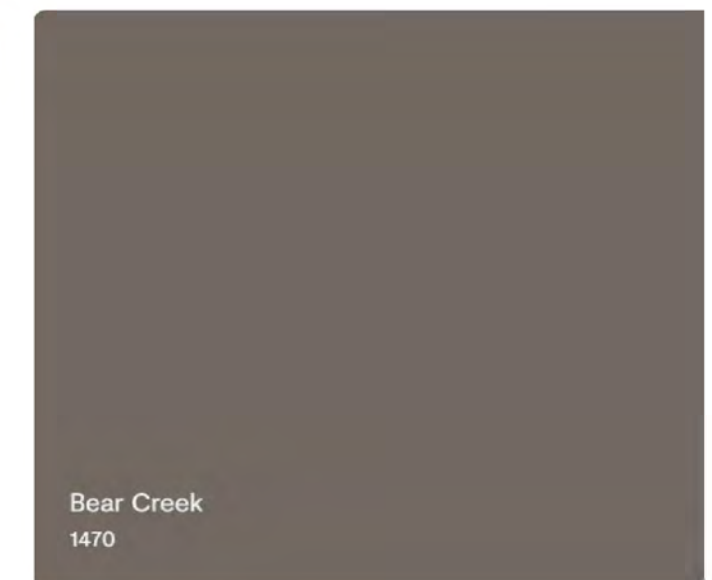
6.10C - 1X6 MODIFIED WOOD SIDING - "KEBONY" CHARACTER SIDING W/ CLEAR SEALER



8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS. WEATHER SHIELD "VUE" SERIES BLACK COLOR



9.30 - 4" x 12" GLAZED PORCELAIN TILE BY EMSEER TILE - COLOR SILVER "MATTE" FINISH



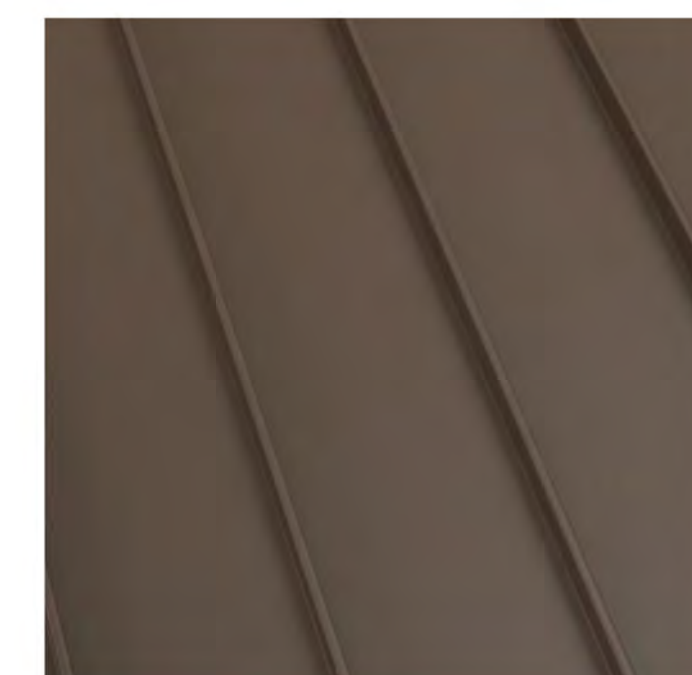
9.20 - TRUEXTERIOR POLY ASH PAINTED FASCIA BOARD, (E) WOOD BEAMS AND TRIM. PAINT COLOR "BEAR CREEK" BY BENJAMINE MOORE.



32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



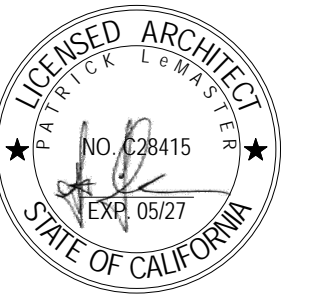
32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



7.8 - NEW STANDING SEAM METAL ROOF - AEP DESIGN SPAN HP - COLOR "DARK BRONZE"



9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMINE MOORE



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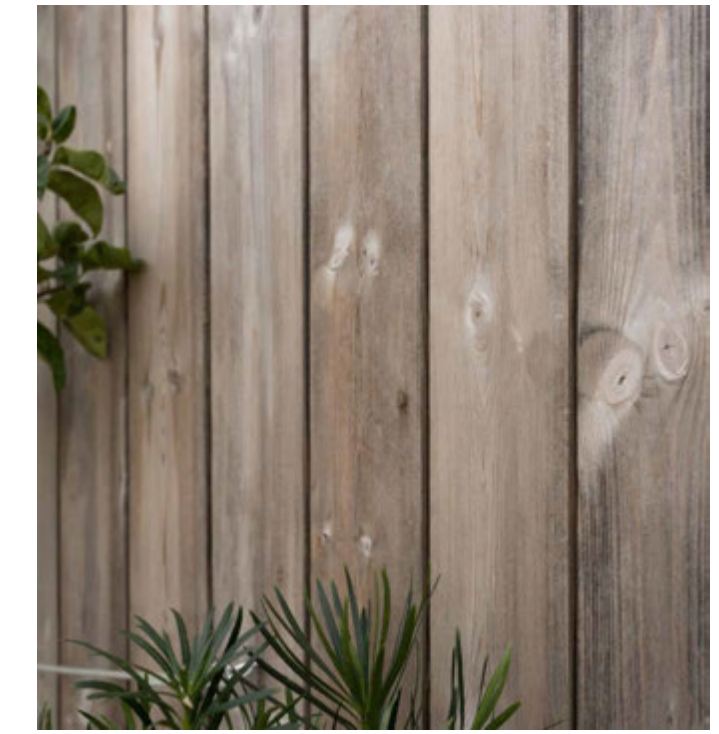
**Sun Street Center's Youth Treatment Center**  
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1-13-26

Scale: 1/4" = 1'-0"  
Job: 2411

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EXTERIOR ELEVATIONS - MATERIAL PALETTE  
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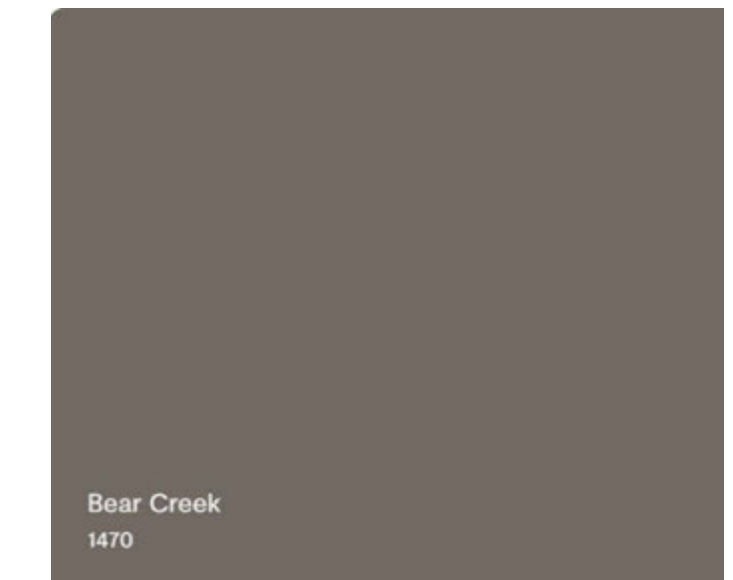
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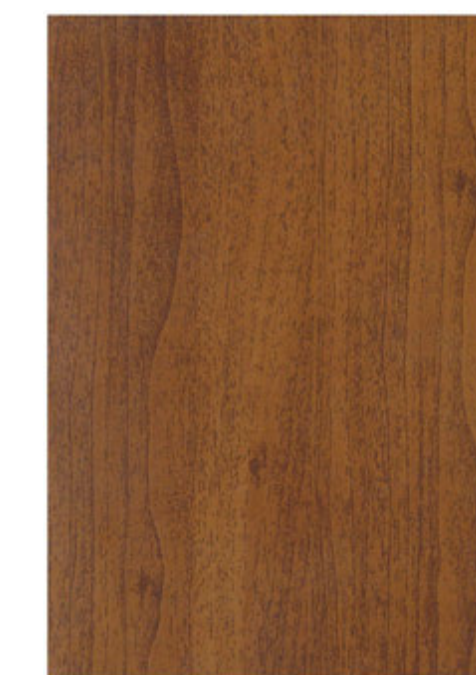
6.10C - 1X6 MODIFIED WOOD SIDING - "KEBONY" CHARACTER SIDING W/ CLEAR SEALER



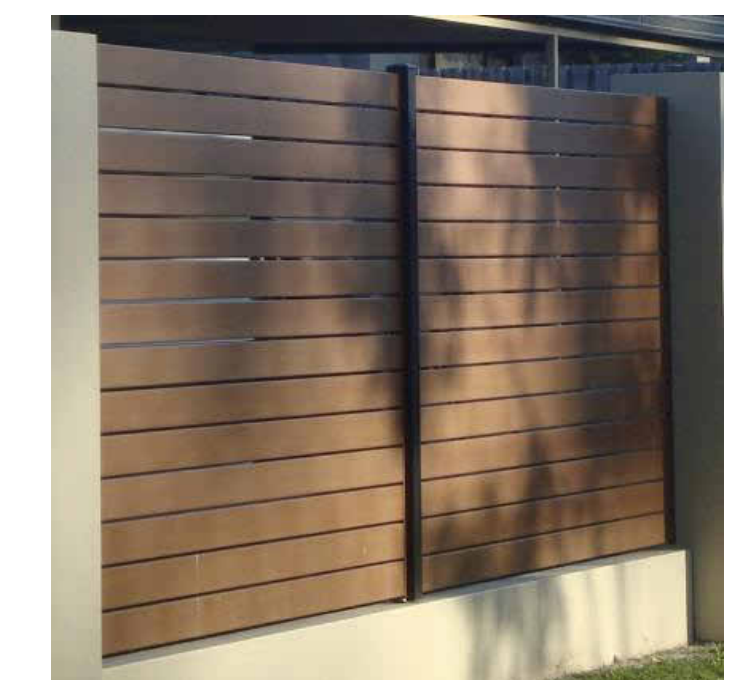
8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS. WEATHER SHIELD "VUE" SERIES BLACK COLOR



9.20 - TRUExTERIOR POLY ASH PAINTED FASCIA BOARD, (E) WOOD BEAMS AND TRIM. PAINT COLOR "BEAR CREEK" BY BENJAMINE MOORE.



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7.8 - NEW STANDING SEAM METAL ROOF- AEP DESIGN SPAN HP - COLOR "DARK BRONZE"



9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMIN MOORE



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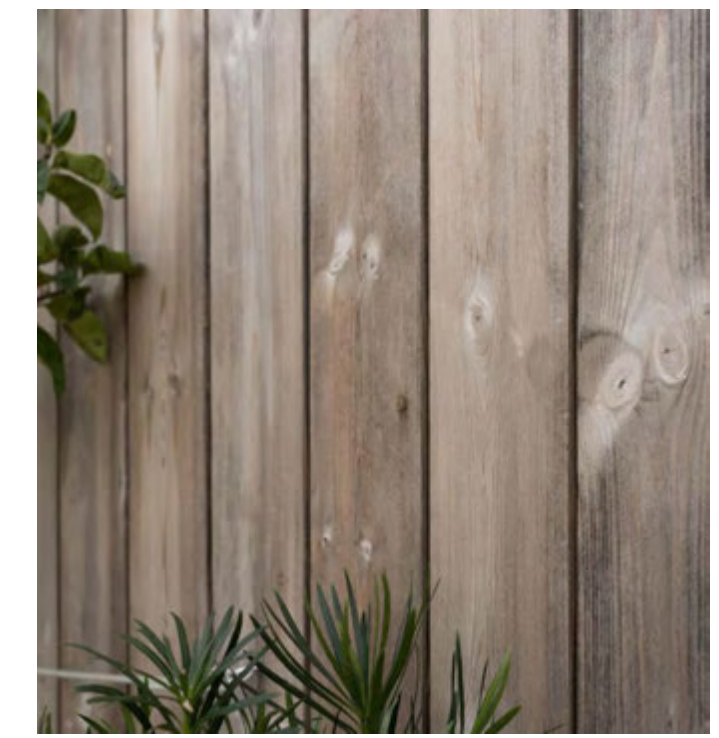
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MATERIAL  
PALETTE

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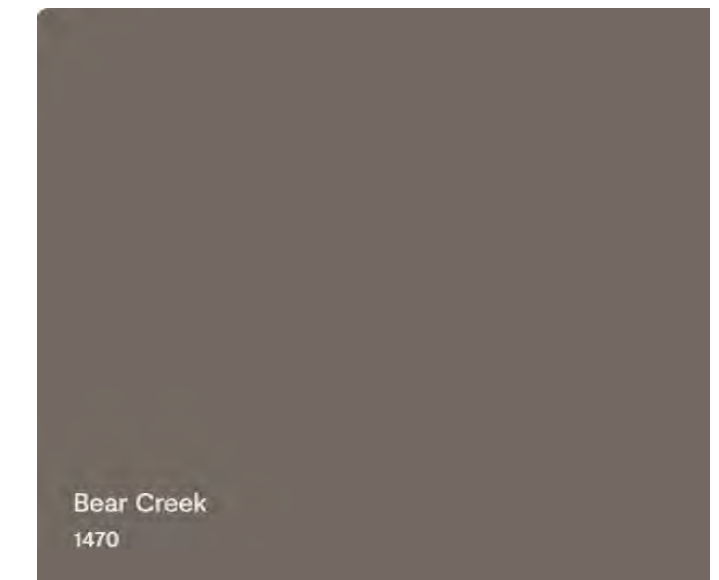
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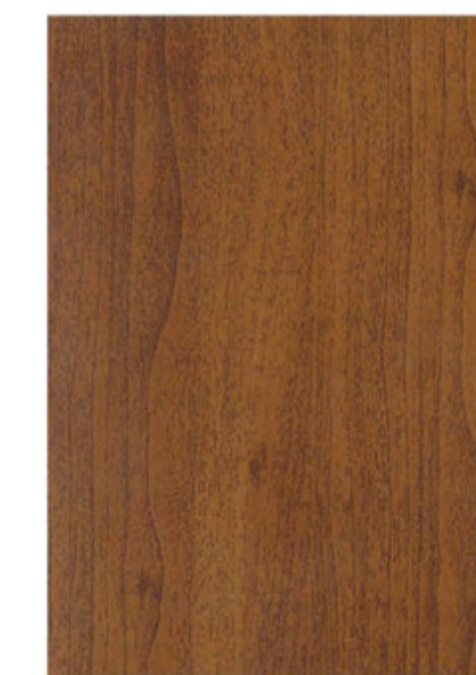
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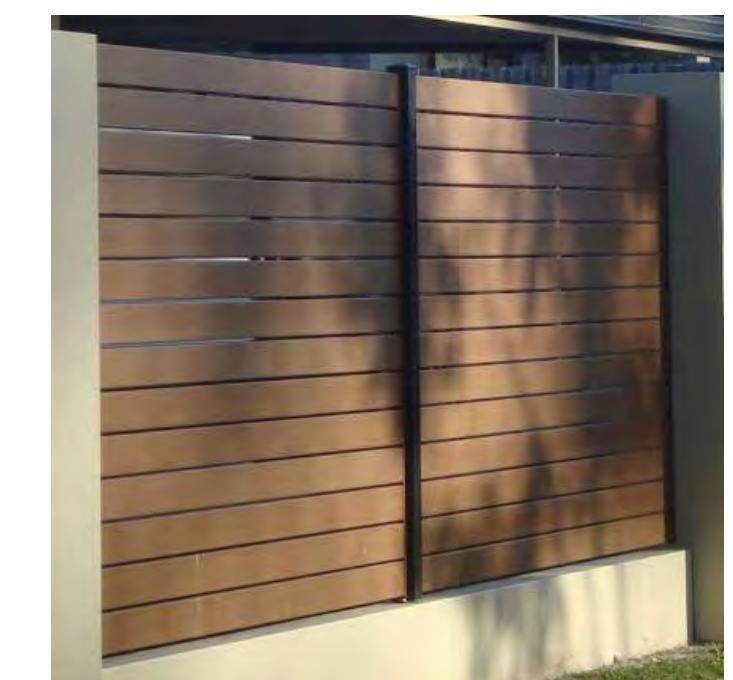
8.1 - ALUMINUM EXTERIOR DOORS AND WINDOWS. WEATHER SHIELD "VUE" SERIES BLACK COLOR



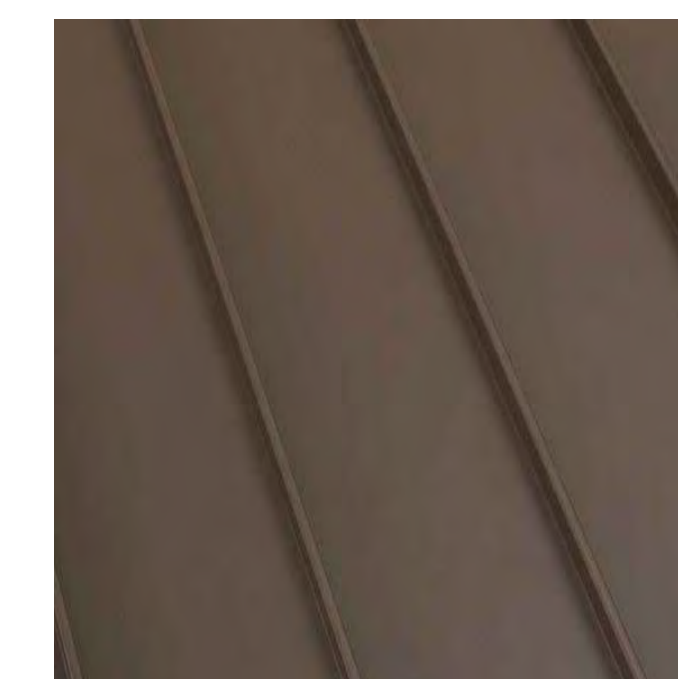
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32.26 - KNOTWOOD ALUMINUM FENCING 4" SLAT SIZE - COLOR "CHESTNUT"



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7.8 - NEW STANDING SEAM METAL ROOF- AEP DESIGN SPAN HP - COLOR "DARK BRONZE"



9.9 - NEW EXTERIOR ELASTOMERIC PAINT - COLOR "SAIL CLOTH" OC-142 BY BENJAMIN MOORE



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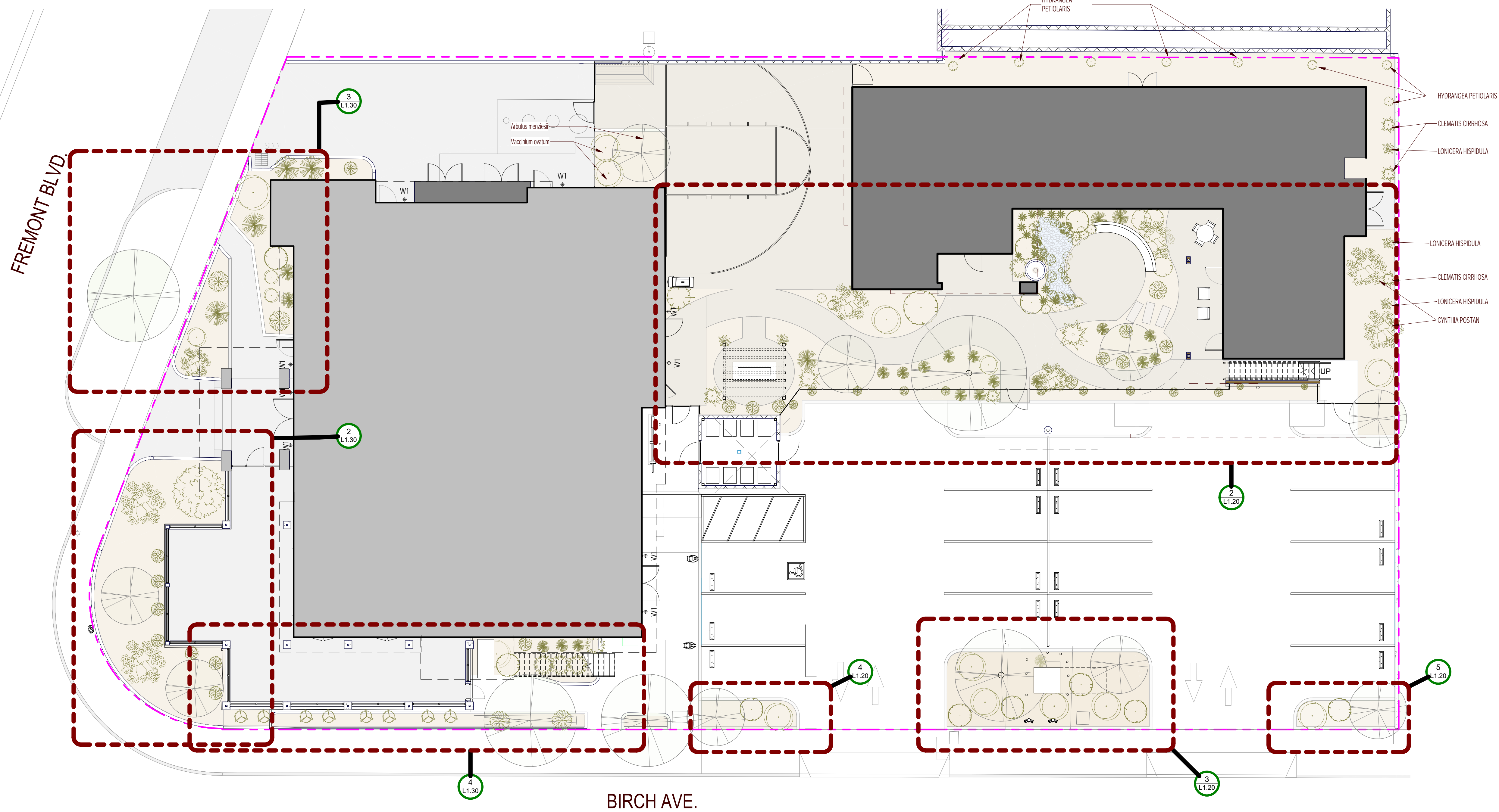
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1-13-26

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Job: 2411

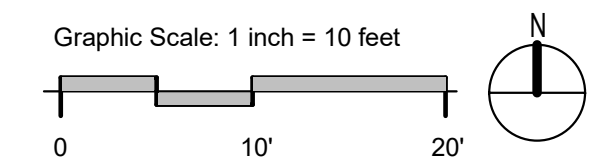
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3D VIEWS -  
MATERIAL  
PALETTE

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2 LANDSCAPE PLAN  
1" = 10'-0"



**Trees**

- |                 |  |
|-----------------|--|
| Pacific Madrone | <i>Arbutus menziesii</i>                         |
| Strawberry Tree | <i>Arbutus unedo</i> ( <i>Arbutus x Marina</i> ) |
| Blueblossom     | <i>Ceanothus thyrsiflorus</i>                    |
| Western Redbud  | <i>Cercis occidentalis</i>                       |
| Pygmy Cypress   | <i>Hesperocyparis pygmaea</i>                    |

**Shrubs**

- |                             |  |
|-----------------------------|--|
| Santa Cruz Manzanita        | <i>Arctostaphylos andersonii</i>           |
| Gabilan Mountains Manzanita | <i>Arctostaphylos gabilanensis</i>         |
| Dr. Hurd Manzanita          | <i>Arctostaphylos manzanita</i> 'Dr. Hurd' |
| Monterey/ Toro Manzanita    | <i>Arctostaphylos montereyensis</i>        |
| Sandmat Manzanita           | <i>Arctostaphylos pumila</i>               |
| Monterey Ceanothus          | <i>Ceanothus rigidus</i>                   |
| Salal                       | <i>Gaultheria shallon</i>                  |
| Toyon                       | <i>Heteromeles arbutifolia</i>             |
| Coastal Bush Lupine         | <i>Lupinus arboreus</i>                    |
| Evergreen Huckleberry       | <i>Vaccinium ovatum</i>                    |

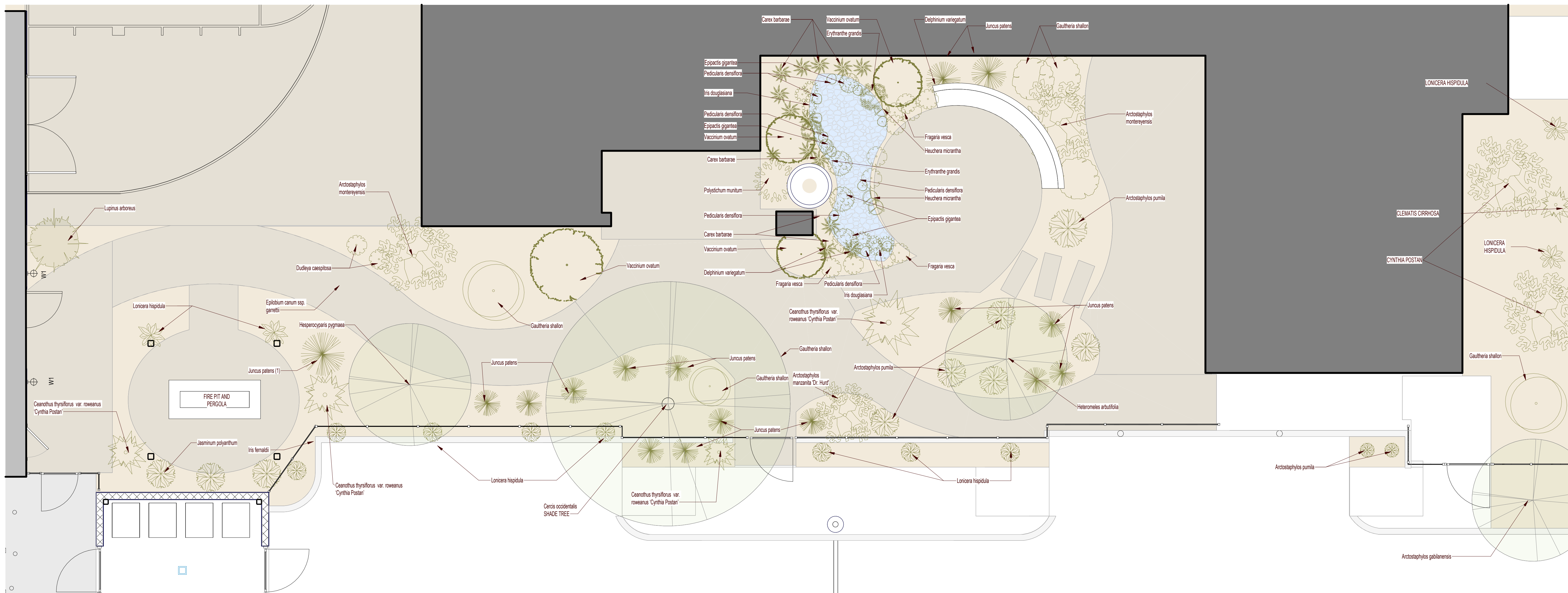
**Vining**

- |                       |   |
|-----------------------|---|
| Bougainvillea         | <i>Bougainvillea</i> 'Don Mario'                |
| Blueblossom           | <i>Ceanothus var. roveanus</i> 'Cynthia Postan' |
| Winter Flowering      | <i>Clematis</i> <i>Clematis cirrhosa</i>        |
| Climbing Hydrangea    | <i>Hydrangea petiolaris</i>                     |
| Pink Jasmine          | <i>Jasminum polyanthum</i>                      |
| Pink honeysuckle*     | <i>Lonicera hispidula</i>                       |
| California wild grape | <i>Vitis californica</i>                        |

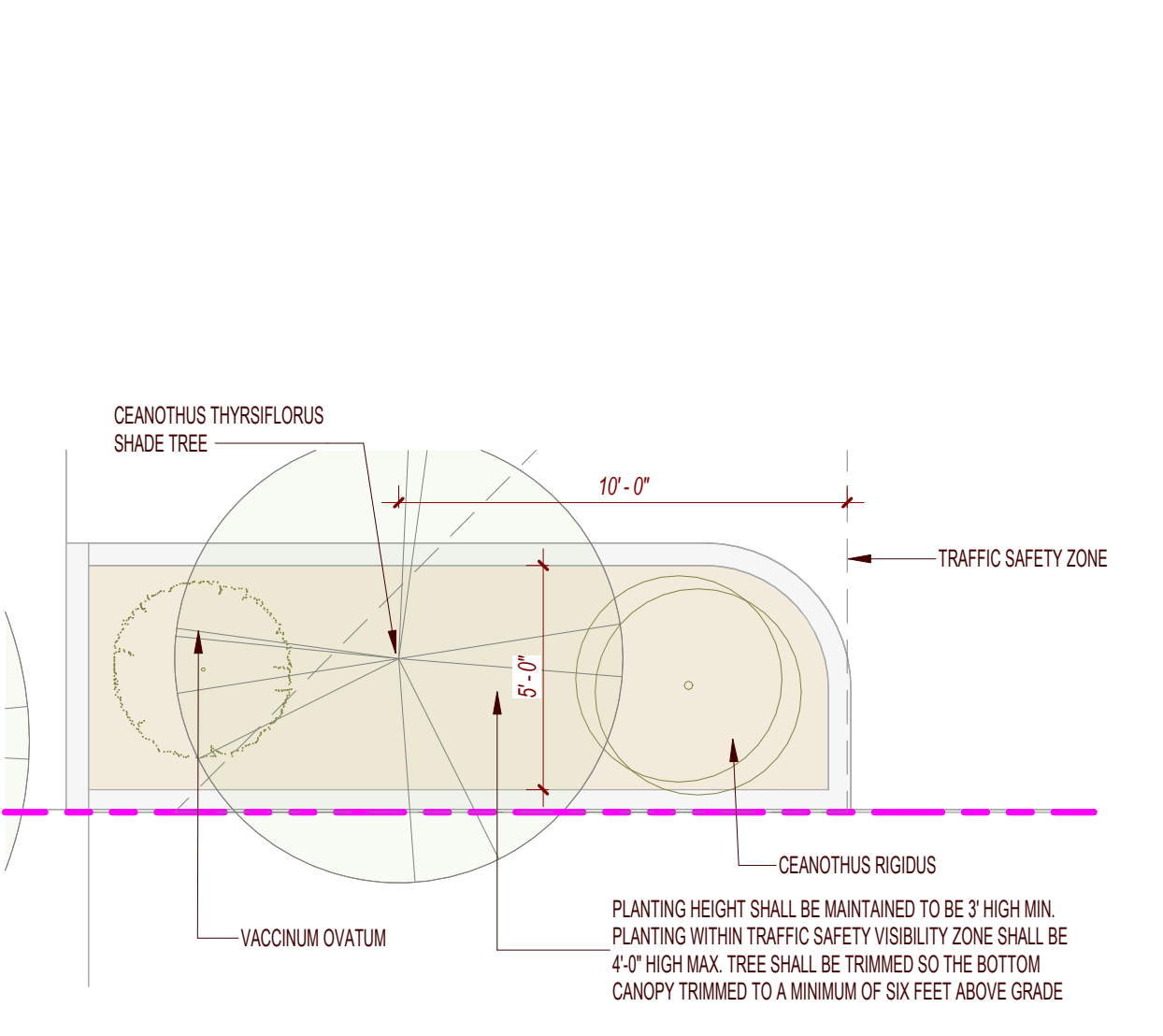
**Bioswale**

- |                               |                               |
|-------------------------------|-------------------------------|
| Western columbine             | <i>Aquilegia formosa</i>      |
| Basket/Valley Sedge           | <i>Carex barbarae</i>         |
| Royal larkspur                | <i>Delphinium variegatum</i>  |
| Stream Orchid                 | <i>Epipactis gigantea</i>     |
| Magnificent Seep Monkeyflower | <i>Erythranthe grandis</i>    |
| Woodland Strawberry           | <i>Fragaria vesca</i>         |
| Douglas Iris                  | <i>Iris douglasiana</i>       |
| Western Marsh Rosemary        | <i>Limonium californicum</i>  |
| Warrior's Plume               | <i>Pedicularis densiflora</i> |
| Western sword fern            | <i>Polystichum munitum</i>    |
| Evergreen Huckleberry         | <i>Vaccinium ovatum</i>       |

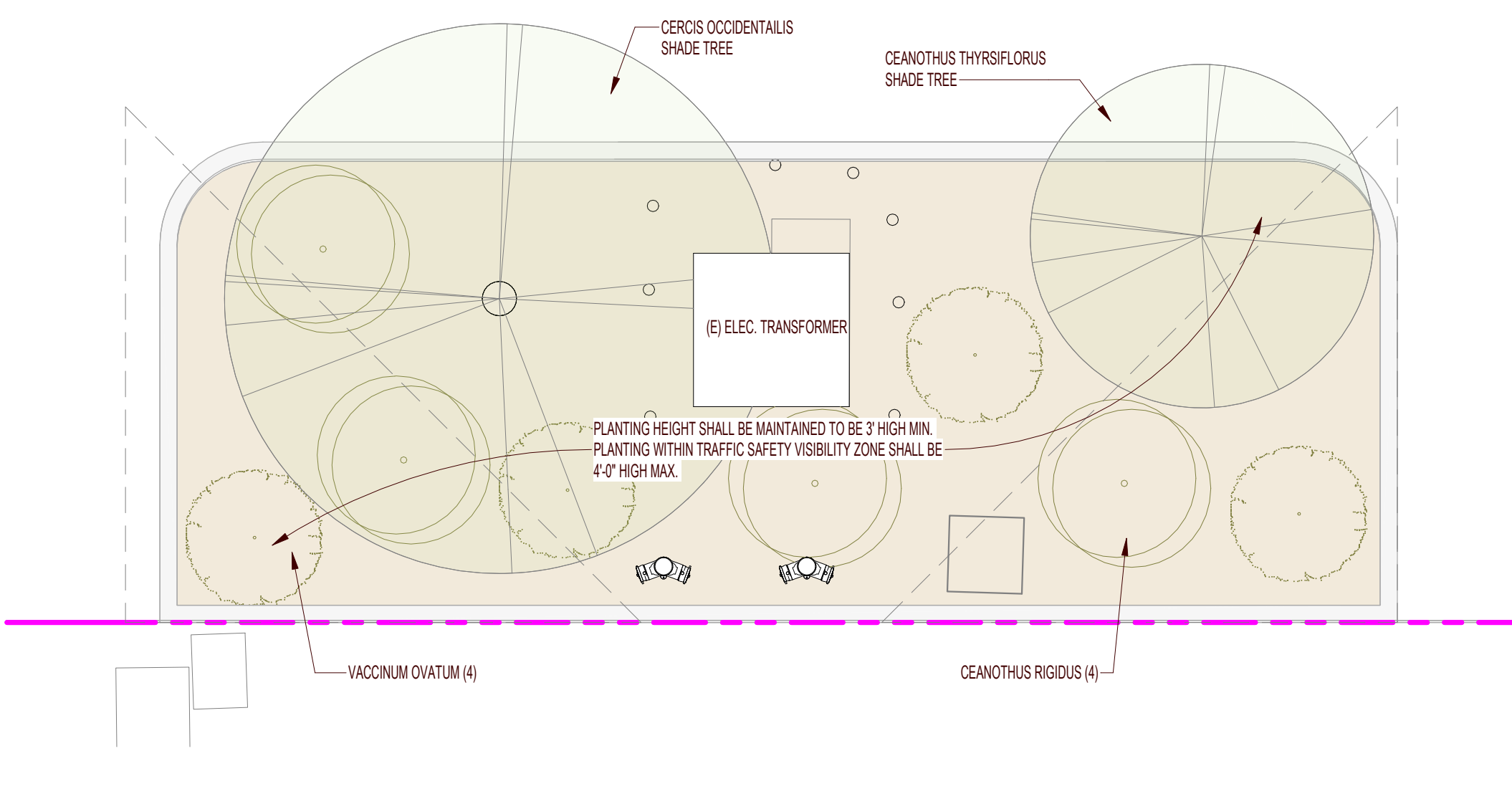
**NOTE:**  
ALL PROPOSED LANDSCAPE AREAS  
WILL BE FULLY IRRIGATED.



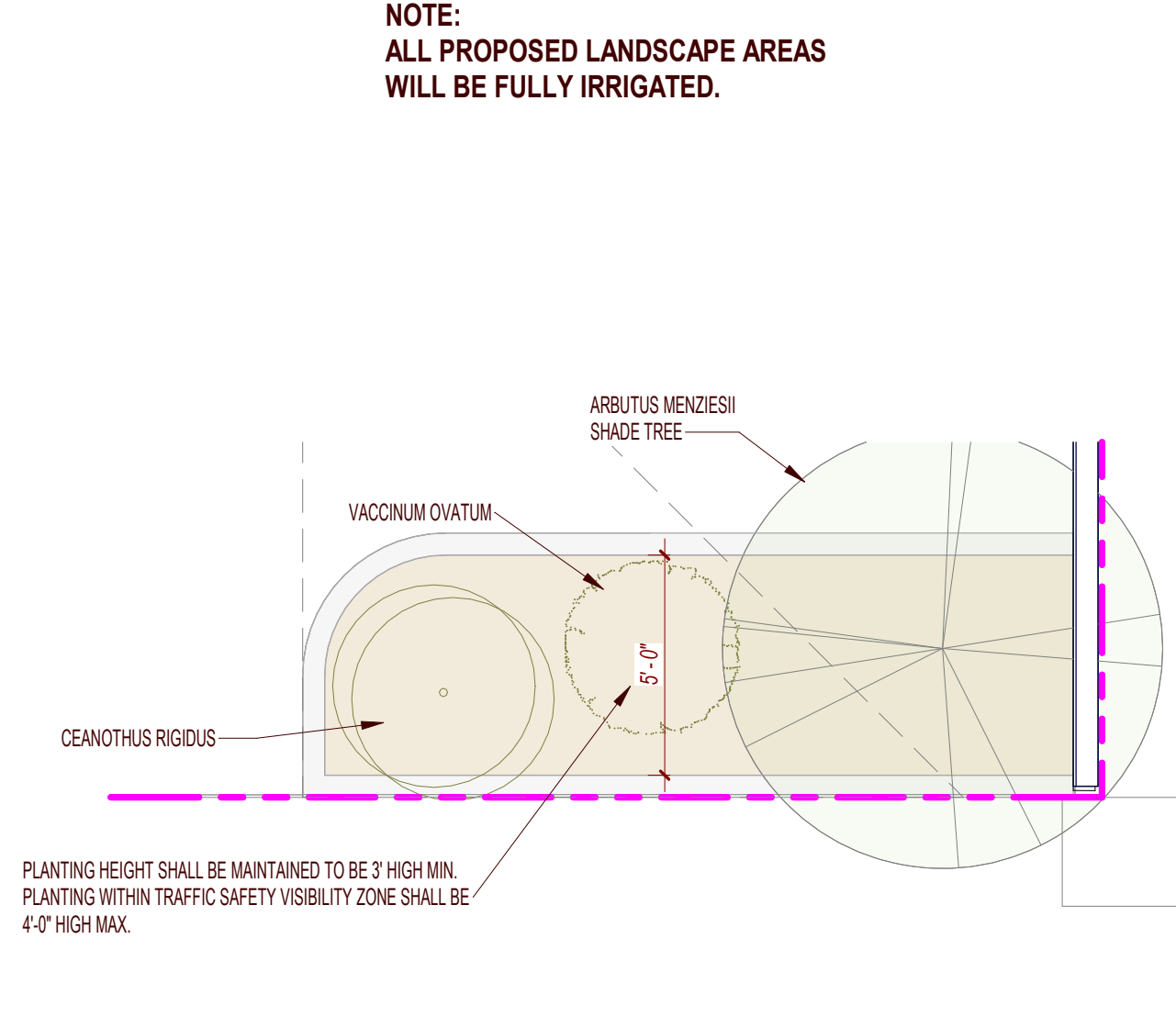
2 ENLARGED LANDSCAPE PLAN - COURTYARD  
1/4" = 1'-0"



4 ENLARGED LANDSCAPE PLAN - PLANTER A  
1/4" = 1'-0"

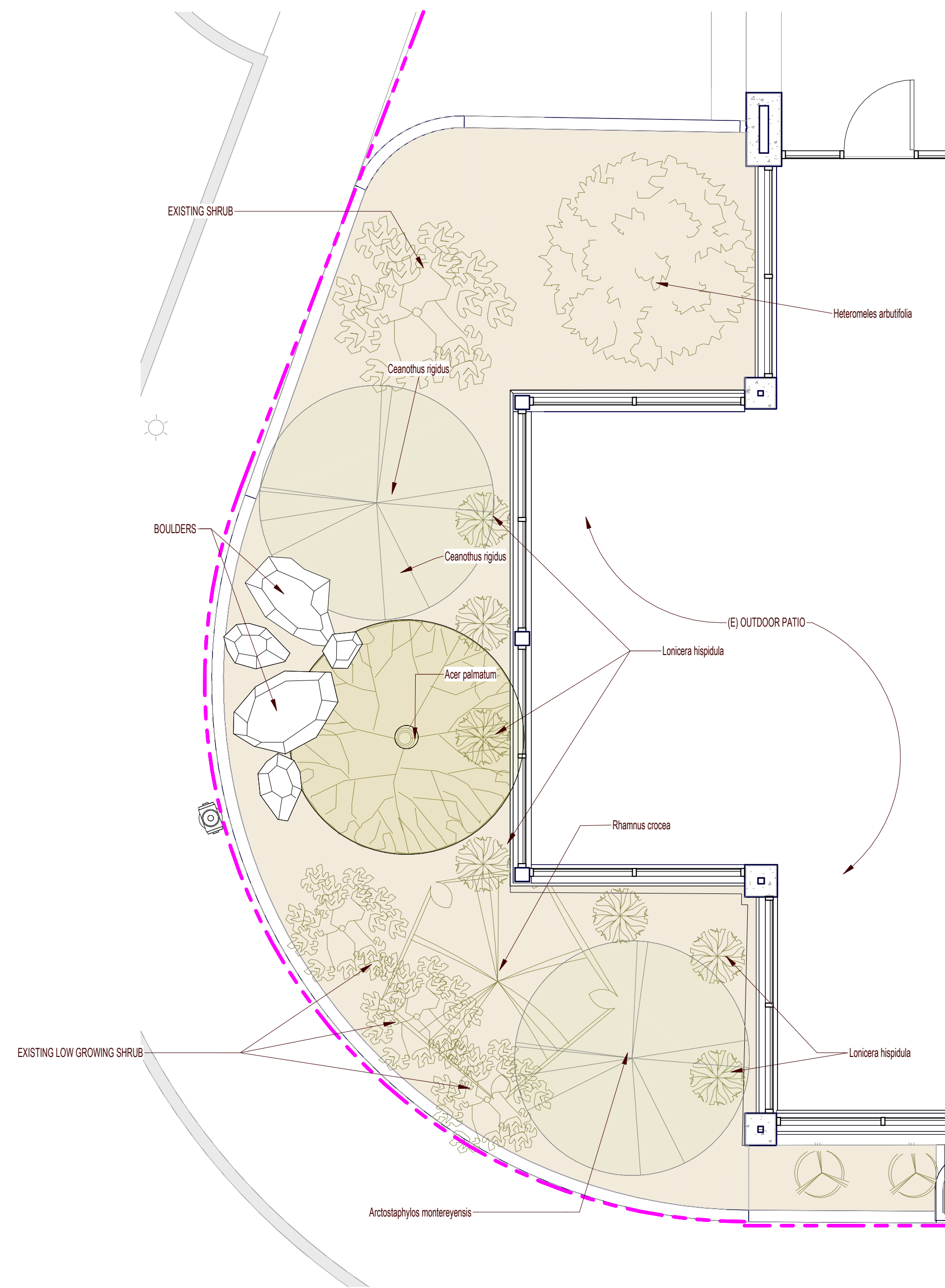


3 ENLARGED LANDSCAPE PLAN - PLANTER B  
1/4" = 1'-0"

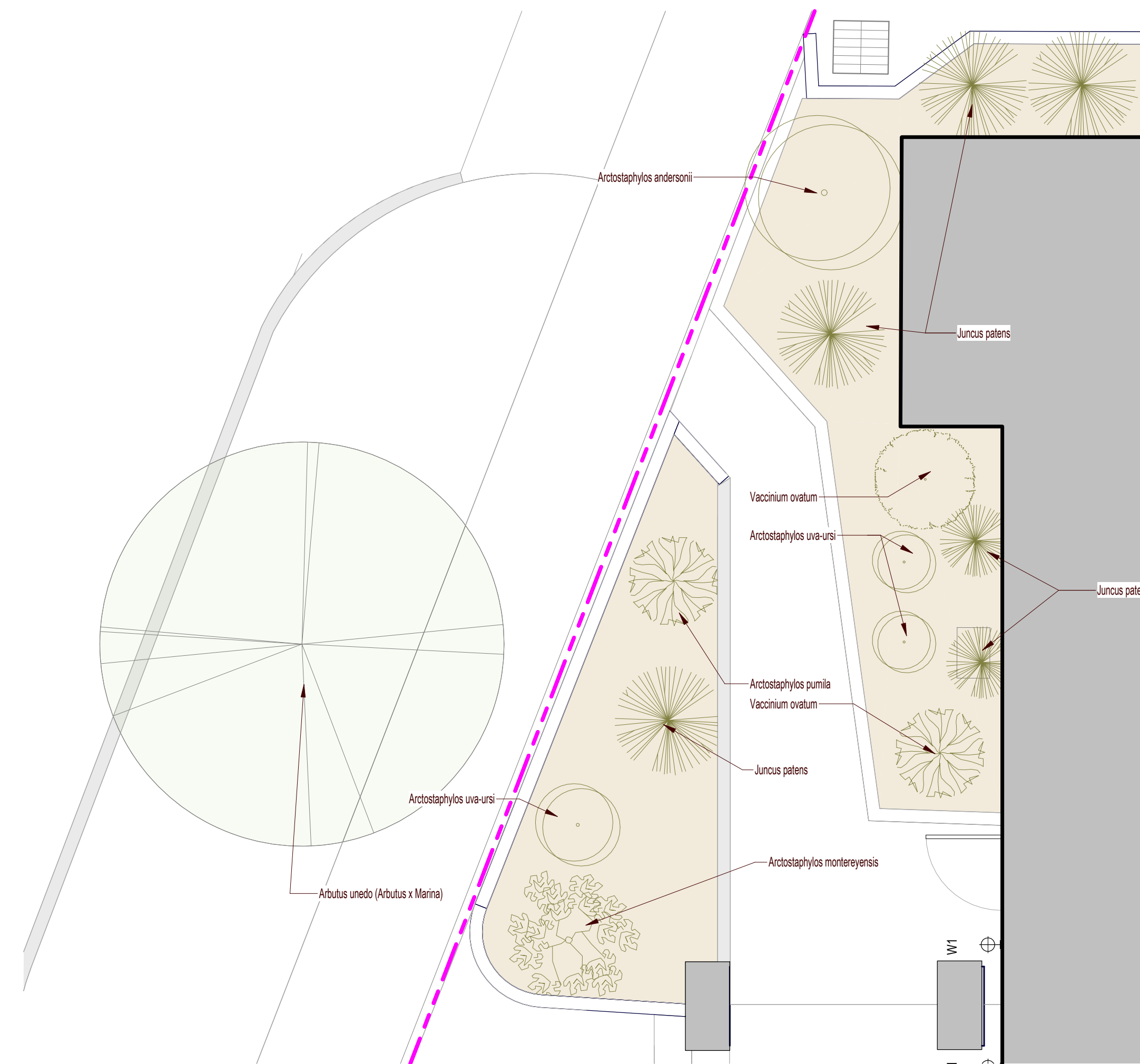


5 ENLARGED LANDSCAPE PLAN - PLANTER C  
1/4" = 1'-0"

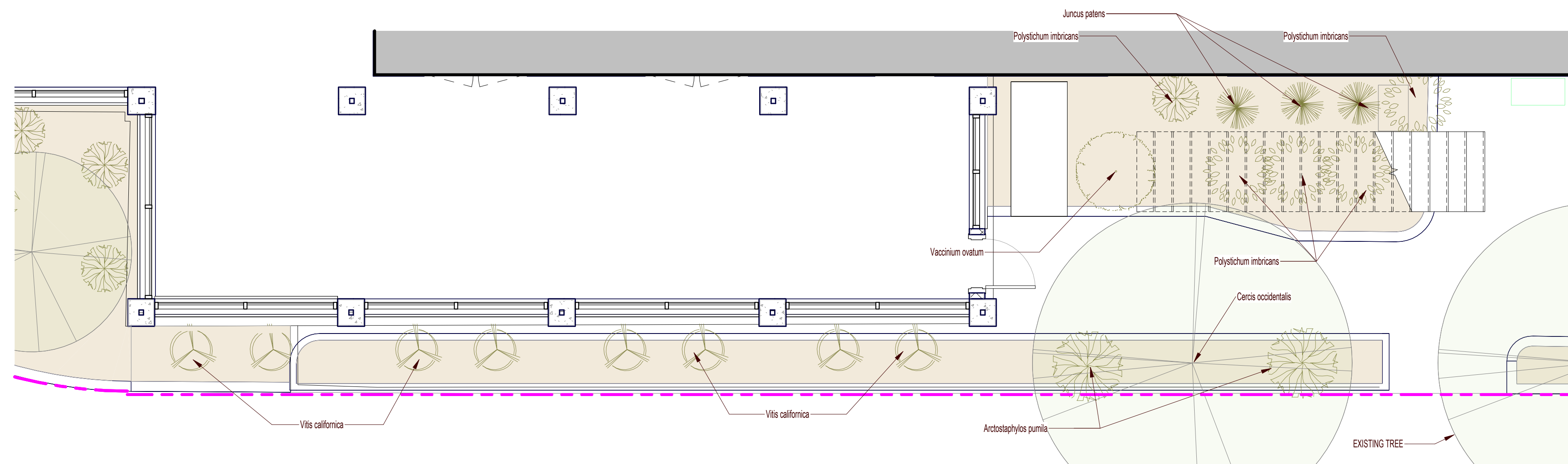
NOTE:  
ALL PROPOSED LANDSCAPE AREAS  
WILL BE FULLY IRRIGATED.



2 ENLARGED LANDSCAPE PLAN - FREMONT STREET  
1/4" = 1'-0"



3 ENLARGED LANDSCAPE PLAN - FREMONT ENTRANCE  
1/4" = 1'-0"



4 ENLARGED LANDSCAPE PLAN - BIRCH AVE PLANTER  
1/4" = 1'-0"

NOTE:  
ALL PROPOSED LANDSCAPE AREAS  
WILL BE FULLY IRRIGATED.

GENERAL NOTES



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SHEET ISSUE

TYPE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	MONTEREY BAY PLAINS AND TERRACES NATIVE	THREATENED	MAX HEIGHT	MAX WIDTH	EVERGREEN/DECIDUOUS	PEAK FLOWERING	FLOWER COLOR	FALL COLOR	SUN/SHADE	WATER REQUIREMENTS	SOIL REQUIREMENTS	GROWTH RATE
Tree		Pacific Madrone	<i>Arbutus menziesii</i>	Yes		20-100 ft	Almost as wide as tall	Evergreen	April to June	White	N/A	Full sun to part shade; appreciates afternoon shade in hotter climates.	Low water needs; dry soil once established; intolerant of overwatering.	Very well-drained, rocky, low-fertility, acidic soil.	Slow in southern range, faster in northern, moisture areas.
		Strawberry Tree	<i>Arbutus unedo</i> ( <i>Arbutus x Marina</i> )	Mediterranean		13-23 ft	8 to 35 ft	Evergreen	Spring/summer	White	Fruiting	Full sun to Shade tolerant.	Drought resistant once established	Well-drained slightly alkaline soil	Moderate.
		Blueblossom	<i>Ceanothus thyrsiflorus</i>	Yes		4-20 ft (variable by cultivar)	6-20 ft (variable by cultivar)	Evergreen	May to June	Blue	N/A	Full sun to dappled shade; tolerates part shade in hotter areas.	Drought tolerant once established; needs good drainage	Well-drained, adaptable to various soil conditions, including clay.	Fast growing
		Western Redbud	<i>Cercis occidentalis</i>	Yes		10-20 ft	10-20 ft	Deciduous	March to April	Magenta	Orange	Full sun for best flowers, tolerates part shade.	Drought tolerant once established; can handle occasional summer water.	Well-drained soil, tolerates alkaline and clay soils.	Moderate.
		Pygmy Cypress	<i>Hesperocyparis pygmaea</i>	Yes		20 ft	10 ft	Evergreen	N/A	N/A	N/A	Abundant, bright, and direct light.	Prefers soil to dry out between waterings; drought tolerant.	Well-draining soil, amend with organic matter.	Fast.
Shrub		Santa Cruz Manzanita	<i>Arctostaphylos andersonii</i>	Yes	Yes	6-15 ft	6-15 ft	Evergreen	February to May	Light pink	N/A	Full sun to partial shade; protect from afternoon sun in hot areas.	Drought tolerant once established, requires well-draining soil; sensitive to overly wet conditions.	Requires well-draining soil, can be sandy or rocky; prefers acidic soils.	Slow growing.
		Gabilan Mountains Manzanita	<i>Arctostaphylos gabriellensis</i>	Yes	Yes	3-15 ft	Variable	Evergreen	Winter to spring	White, pink	N/A	Full sun.	Drought tolerant once established; little-to-no summer water.	Fast-draining soil, adaptable to poor, rocky, or sandy soil.	Slow.
		Dr. Hurd Manzanita	<i>Arctostaphylos manzanita 'Dr. Hurd'</i>			10-15 ft	8-10 ft	Evergreen	Spring	White	N/A	Full Sun, Partial Shade	Low, very low	Fast, Medium, Slow	Slow
		Monterey Tor Manzanita	<i>Arctostaphylos montereyensis</i>	Yes	Yes	5-8 ft	4-8 ft	Evergreen	Spring, winter	Pink, white	N/A	Full sun to dappled or very light shade.	Drought tolerant; occasional to no summer irrigation once established; can be adaptable to some irrigation as it ages.	Prefers fast-draining soil, like sandy soil.	Slow growing.
		Sandmat Manzanita	<i>Arctostaphylos pumila</i>	Yes	Yes	Up to 3 ft	Up to 5 ft	Evergreen	Spring	Pink, white	N/A	Full sun to partial shade.	Drought tolerant; occasional to low water once established; prefers dry summer conditions.	Requires well-draining soil; tolerates acidic, average, clay, gritty, lean, and rocky soils.	Slow growing, forms a mounding ground cover.
		Monterey Ceanothus	<i>Ceanothus rigidus</i>	Yes	Yes	5 ft	Variable	Evergreen	Early spring	Blue	N/A	Full sun to mostly sun; afternoon shade can be beneficial in hotter inland areas.	Drought tolerant; occasional to no summer watering once established; sensitive to overwatering.	Requires good drainage; tolerates heavier soils, as well as acidic, average, clay, gritty, and lean soils.	Fast growing.
		Salal	<i>Gaultheria shallon</i>	Yes		4-10 ft	4-10 ft	Evergreen	Spring	Pink, white	N/A	Partial shade is best, but is adaptable to both full sun and full shade.	Moderate water needs; prefers consistent moisture but can tolerate short dry periods; not tolerant of excessively dry conditions.	Prefers well-draining, acidic soils (pH 5-6); can tolerate a range of soil types.	Moderate.
		Toyon	<i>Heteromeles arbutifolia</i>	Yes		8-15 ft	10-15 ft	Evergreen	Summer	White	Red	Full sun to partial shade; prefers full sun for best flowering and fruiting.	Drought tolerant once established, requires little water.	Adapts to a wide variety of soil types as long as it drains well; tolerates sandy, clay, and serpentine soils.	Moderately slow.
		Coastal Bush lupine	<i>Lupinus arboreus</i>	Yes		6 ft	4-6 ft	Deciduous (summer)	Spring/summer	Yellow	N/A	Full sun for best flower production; tolerates partial shade.	Drought tolerant; requires little to no water once established, avoid overwatering.	Thrives in well-draining sandy soil; tolerates other soil types including clay and rocky soil.	Fast growing.
		Evergreen Huckleberry	<i>Vaccinium ovatum</i>	Yes		2-10 ft	3-6 ft	Evergreen	May to June	Pink, white	N/A	Full sun to full shade, but prefers partial shade.	Drought tolerant, but prefers evenly moist, well-drained soil; also tolerates slightly dry soils.	Prefers well-drained, acidic soil (pH 4.5-6) rich in humus.	Slow growing.
Vining Plants		Bougainvillea	<i>Bougainvillea 'Don Marco'</i>	Central and south america		5ft	1ft	Evergreen	Spring-Fall	Pink	N/A	Full sun; needs at least 6 hours of direct sunlight for best blooming.	Low to moderate; water deeply but infrequently, allowing soil to dry out.	Well-drained soil, prefers slightly acidic pH (5.5-6.0).	Fast.
		Blueblossom	<i>Ceanothus var. retusus 'Cynthia Poston'</i>	Yes		5' x 7'	5' x 7'	Evergreen	March-June	Blue	N/A	Full sun to dappled shade; tolerates part shade, especially in hotter areas.	Drought tolerant once established; needs good drainage; appreciates occasional summer water in hot areas.	Adaptable to a wide variety of well-drained soils, including clay.	Fast.
		Winter Flowering Clematis	<i>Clematis cirrhosa</i>	Mediterranean		10-13 ft	5-10 ft	Evergreen (vine)	Winter to early spring	Yellow	N/A	Full sun to part shade; prefers a protected site. Best in partial shade or dappled light. Thrives with morning sun and afternoon shade.	Moderate; needs consistent moisture, especially during the first growing season. Requires consistently moist soil—not soggy. Needs at least 1 inch of water per week, especially in hot or dry weather. Newly planted vines must be watered regularly until established.	Fertile, well-drained soil; prefers a neutral to slightly alkaline pH. Likes moist, well-drained soil enriched with organic matter. Tolerates a range of pH levels—slightly acidic is ideal—but does best in fertile, well-amended soil.	Moderate; takes 2-5 years to reach maturity. Slow to establish; may take 3-5 years to start flowering.
		Climbing Hydrangea	<i>Hydrangea petiolaris</i>	China		30-50 ft	20-30 ft	Deciduous (vine)	Summer	White	Yellow	Full sun in cooler coastal regions; partial shade in hotter inland areas.	Moderate; keep soil moist but not soggy, especially when flowering.	Enriched, lightly moist, well-drained soil.	Fast growing.
		Pink Jasmine	<i>Jasminum polyanthum</i>	China		15-25 ft	3-8 ft	Evergreen (vine)	Late winter to spring	White, pink	N/A	Full sun to partial shade.	Low to medium, drought tolerant once established, but does best with regular moisture.	Adaptable to average garden soils, including clay.	Fast.
		Pink honeysuckle*	<i>Lonicera hispidula</i>	Yes		6-10 ft	3-8 ft	Deciduous (vine)	April-July	Pink to yellow	N/A	Full sun to partial or part shade.	Low to medium, drought tolerant once established.	Well-drained, adaptable to a range of soils, including clay.	Fast.
Water Plants		California wild grape	<i>Vitis californica</i>	Yes		30-40 ft	10-20 ft	Deciduous (vine)	April-June	White	Yellow	Full sun to part shade.	Low to medium, drought tolerant once established.	Well-drained, adaptable to a range of soils, including clay.	Fast.
		Western columbine	<i>Aquilegia formosa</i>	Yes		2-3 ft	1-2 ft		Late spring-summer	Red & yellow	N/A	Shade to part shade	Moderate (moist soils)	Rich, well-drained, humus	Moderate
		Basket/Valley Sedge	<i>Carex barbarae</i>	Yes		1 - 3 ft	Spreads	Evergreen (perennial)	Summer	Green	N/A	Sun to part shade	Moderate to high	Moist, clay or loam	Moderate
		Royal larkspur	<i>Delphinium variegatum</i>	Yes		1-2.5 ft	1-1.5 ft		Spring (Mar-May)	Blue-purple	N/A	Part shade	Moderate (moist in spring, dry in summer)	Clay-loam or rocky	Moderate
		Stream Orchid	<i>Epipactis gigantea</i>	Yes	Yes	1-3 ft	1-2 ft	Deciduous (perennial)	Late spring to summer	White	N/A	Part shade; can tolerate sun if moisture remains	High moisture, regular watering or wet soil preferred	Moist, humus-rich, leafy, well-drained soil; tolerates sand/clay; likes good aeration	Moderate to fast
		Magnificent Seep Monkeyflower	<i>Erythranthe grandis</i>	Yes		1-3 ft	1-2 ft	Deciduous (perennial)	Spring to fall	Yellow	N/A	partial sun or dappled shade	consistently damp soil, thrives in high-moisture environments	Prefers moist to wet soils—not drought-prone soils	Fast Growing
		Woodland Strawberry	<i>Fragaria vesca</i>	Yes		0.5 ft	3 ft	Evergreen (perennial)	Late spring to summer	White	Green to red tones	Sun to part shade	Moderate, regular	Well-drained, loamy	Fast
		Douglas Iris	<i>Iris douglasiana</i>	Yes		1-2 ft	1-2 ft	Evergreen (perennial)	Spring	Purple	N/A	Performs best in full sun (especially on the coast) to partial shade inland.	Prefers occasional to moderate watering; water every 2-4 weeks in summer if not naturally moist or near water sources	Thrives in well-draining, rocky or loamy, rich soil. Prefers organic matter and may be sensitive to heavy gravel or poor soil	Moderate -fast growth in coastal conditions
		Western Marsh Rosemary	<i>Limonium californicum</i>	Yes		1-2 ft	1-2 ft	Evergreen (perennial)	Summer to fall	Purple	N/A	Full sun.	Moderate; prefers consistently moist soil.	Well-drained soil, salt-tolerant.	Moderate.
		Warrior's Plume	<i>Pedicularis densiflora</i>	Yes		12-18 in	6-12 in	Evergreen (perennial)	Late winter to spring	Red	N/A	Partial shade.	Moderate to high; requires consistently moist soil.	Well-drained, humus-rich soil.	Moderate.
		Western sword fern	<i>Polystichum munitum</i>	Yes		2-3 ft	2-4 ft clumps		N/A (non-flower)	N/A	N/A	Deep shade to part shade	Moderate (moist woodland soils)	Rich, humus, well-drained but moist	Moderate
	Grass		Sea Thrift	<i>Armeria maritima</i>	Yes		6-12 in	6-12 in	Evergreen (perennial)	Spring to early summer	Pink	N/A	Full sun ideal; tolerates partial sun/shade	Low water needs; regular deep water during establishment, then drought-tolerant	Dry, infertile, sandy or well-drained soils; tolerates range of pH
		Spreading Rush	<i>Juncus patens</i>	Yes		1-3 ft	1-3 ft	Evergreen (perennial)	Summer	Green	N/A	Full sun to full shade	Low to moderate; deeply every ~2 weeks after establishment; drought-tolerant when established	Adaptable—sandy, clay, loam; good drainage	Fast
		Western Blue-eyed Grass	<i>Sisyrinchium bellum</i>	Yes		1-2 ft	1 ft	Evergreen (perennial)	Spring	Blue	N/A	Full sun to part shade	Low once established; occasional watering in summer if dormant	Adaptable; well-drained soils, tolerates a range (sandy to heavy), moist in spring	Fast

SHEET KEYNOTES

LEGEND

REVISION #

OWNER:  
Lai Communities  
1732 Fremont Blvd, Seaside, CA 93955

Sun Street Center's Youth Treatment Center  
1732 Fremont Blvd, Seaside, CA 93955

PLANNING SUBMITTAL

Scale: 1/2" = 1'-0"  
Job: 2411

Sheet  
PROPOSED  
PLANT  
SCHEDULE

L2.10  
10/18/2025 2:34:10 PM



TREES



Pacific Madrone *Arbutus-menziesii*



Pygmy Cypress *Hesperocyparis pygmaea*



Strawberry Tree *Arbutus unedo*  
(*Arbutus x Marina*)



Western Redbud *Cercis-occidentalis*



Blueblossom *Ceanothus thyrsiflorus*

SHRUBS



Santa Cruz Manzanita *Arctostaphylos andersonii*



Sandmat Manzanita *Arctostaphylos pumila*



Salal *Gaultheria shallon*



Evergreen Huckleberry *Vaccinium ovatum*



Costal Bush lupine *Lupinus arboreus*



Dr. Hurd Manzanita *Arctostaphylos manzanita 'Dr. Hurd'*



Monterey Ceanothus *Ceanothus rigidus*



Monterey! Toro Manzanita *Arctostaphylos montereyensis*



Toyon *Heteromeles arbutifolia*

BIOSWALE



Magnificent Seep Monkeyflower  
*Erythranthe grandis*



Douglas Iris  
*Iris douglasiana*



Stream Orchid  
*Epipactis gigantea*



Warrior's Plume  
*Pedicularis densiflora*



Basket/Valley Sedge  
*Carex barbarae*



Woodland Strawberry  
*Fragaria vesca*



Royal larkspur  
*Delphinium variegatum*



Western sword fern  
*Polystichum munitum*



Western Columbine  
*Aquilegia formosa*



Western Marsh Rosemary  
*Limonium californicum*

VINES



Blueblossom  
*Ceanothus thyrsiflorus*



Pink honeysuckle  
*Lonicera hispidula*



California wild grape  
*Vitis californica*

NON-NATIVES



Bougainvillea  
*Bougainvillea 'Don Mario'*



Climbing Hydrangea  
*Hydrangea petiolaris*



Winter Flowering Clematis  
*Clematis cirrhosa*



Pink Jasmine  
*Jasminum polyanthum*

SHEET KEYNOTES

LEGEND