



A G E N D A
CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
440 HARCOURT AVE (COUNCIL CHAMBER)
Wednesday, April 22, 2026
6:00 PM

Virtual Participation Guide: <https://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>
<https://us02web.zoom.us/j/81555467580> | WEBINAR ID 815 5546 7580 | (669) 900-9128

1. CALL TO ORDER

2. ROLL CALL - PLANNING COMMISSION

William Silva	Chair
Keith Dodson	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
Gonzalo Quintero Alcaraz	Commissioner
Edgar Mendoza	Commissioner
Robert Ward	Commissioner

3. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. PUBLIC COMMENT

Members of the public wishing to address the Commission on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three (3) minutes. Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. APPROVAL OF MINUTES

A. APPROVE MINUTES FROM JANUARY 14, 2026, FEBRUARY 11, 2026 AND MARCH 25, 2026

6. BUSINESS ITEMS

A. ELECTION OF VICE CHAIR

RECOMMENDATION: Select a member of the Planning Commission to serve as Vice-Chair.

B. ARCHITECTURAL REVIEW APPLICATION AR-2024-002. 340 AMADOR LLC, PROPERTY OWNER, AND VILLAZZO GROUP, LLC, PROJECT APPLICANT, REQUEST APPROVAL OF ARCHITECTURAL REVIEW AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX CONSISTING OF TWO THREE-BEDROOM DWELLING UNITS AND ONE ONE-BEDROOM DWELLING UNIT LOCATED AT 340 AMADOR AVENUE

(APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.

RECOMMENDATION: Staff recommends the Commission approve Architectural Review AR-2024-002 subject to the conditions of approval.

C. APPROVAL OF 2026-2027 COMMISSION WORK PLAN

RECOMMENDATION: Staff recommends that the Commission approve the attached Work Plan.

7. REPORTS FROM COMMISSIONERS

8. REPORTS FROM STAFF

This is a time specifically set aside for the Staff Liaison to provide updates on non-agendized requests from the Commission, and to provide brief information on topics under the purview of the Commission.

9. ADJOURNMENT

Next Regularly Scheduled Meeting:
May 6, 2026
6:00 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. Agendas are posted at:

<http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



FINAL MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER
Wednesday, January 14, 2026
6:00 PM

1. **CALL TO ORDER**

Commissioner LaMica called the meeting to order at 6:00 p.m.

2. **ROLL CALL – PLANNING COMMISSION**

PRESENT: ALCARAZ, DODSON, EVANS, LA MICA,
ABSENT: OWENS, SILVA

3. **REVIEW OF AGENDA**

None

4. **PUBLIC COMMENT**

Robert Ward, Community member, expressed interest in volunteering for the Planning Commission. Having been a resident of Seaside since 2016, he is eager to get more involved in local initiatives.

5. **APPROVAL OF MINUTES**

Approve Minutes from December 10, 2025

On motion by Commissioner Evans, and second by Alcaraz, and carried by the following vote, the Planning Commission moved to approve the Minutes from December 10, 2025 meeting.

RESULTS: 4-0-2-0

AYES: Commissioners Alcaraz, Dodson, Evans, La Mica

NOYES: None

ABSENT: Chair Silva, Vice Chair Owens

ABSTAIN:

6. **BUSINESS ITEMS**

A. ZONING ORDINANCE AMENDMENT ZOA-2026-001: AN AMENDMENT TO THE SEASIDE MUNICIPAL CODE TO MODIFY THE DEFINITION OF PUBLIC SAFETY FACILITY TO INCLUDE CONTRACTED PUBLIC SAFETY FACILITIES. THE PROPOSED ACTION CONSISTS OF A

RECOMMENDATION ONLY AND IS THEREFORE NOT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO SECTION 15061(B)(3) OF THE CEQA GUIDELINES.

RECOMMENDATION: Adopt the Attached Resolution

Andrew Myrick, Housing and Planning Manager, gave a presentation recommending that the Planning Commission provide feedback and adopt a resolution proposing an amendment to the Seaside Zoning Ordinance, with approval of ZOA-2026-001. Currently, the Seaside Municipal Code defines 'Public Safety Facilities' as those operated solely by public agencies. However, as services like ambulance operations are now contracted to private entities, the City proposes expanding this definition to include facilities operated directly or through contract by public agencies. The amendment would redefine 'Public Safety Facility' to cover not only fire stations, fire prevention and firefighting facilities, and police or sheriff substations, but also interim incarceration facilities and similar operations. Additionally, ambulance dispatch facilities could be located on the same site. The Planning Commission recommends that the City Council adopt this proposed change.

PUBLIC COMMENT

Robert Ward, a private citizen, inquired about the benefits of designating a facility as a 'Public Safety Facility,' asking what implications this designation would have for both the facility and the city. Andrew Myrick, Housing and Planning Manager, clarified that the designation does not confer any special benefits. The proposed change simply updates the code to allow facilities to apply for and submit a Use Permit application.

On motion by Commissioner Dodson, and second by Evans, and carried by the following vote, the Planning Commission moved to approve ZOA-2026-001 which would amend the Seaside Municipal Code and redefine 'Public Safety Facility' to include those operated by a public agency or a contracted entity. This would encompass fire stations, fire prevention and firefighting facilities, police and sheriff substations, interim incarceration facilities, and similar operations. Ambulance dispatch facilities may also be included on the same site.

RESULTS: 4-0-2-0

AYES: Commissioners Alcaraz, Dodson, Evans, La Mica

NOYES: None

ABSENT: Chair Silva, Vice Chair Owens

ABSTAIN:

ACTION: APPROVED & ADOPTED RESOLUTION

B. SPECIFIC PLAN AMENDMENT SPA-2025-002: A RESOLUTION RECOMMENDING THAT THE SEASIDE CITY COUNCIL APPROVE AN AMENDMENT TO THE CAMPUS TOWN SPECIFIC PLAN MODIFYING THE

REVIEW PROCESSES AND SUBMITTAL REQUIREMENTS FOR DEVELOPMENT APPLICATIONS. THE PROPOSED ACTION CONSISTS OF A RECOMMENDATION ONLY AND IS THEREFORE NOT SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO SECTION 15061(B)(3) OF THE CEQA GUIDELINES.

RECOMMENDATION: Approve the proposed Resolution recommending that the City Council adopt SPA-2025-002.

Andrew Myrick, Housing and Planning Manager, gave a presentation recommending that the Planning Commission provide feedback and adopt a resolution amending the Campus Town Specific Plan. The proposed changes focus on updating the review processes and submittal requirements for development applications, specifically recommending approval of SPA-2025-002. Chapter 6 of the Specific Plan currently outlines procedures for processing land use applications, but many of these provisions are inconsistent and less efficient compared to current standards. The city aims to streamline development within the Campus Town area by reducing permit processing times. These changes would only affect the application review process, without altering the type, amount, or style of development within the Specific Plan area.

PUBLIC COMMENT

Robert Ward, a private citizen, asked whether the Planning Commission has ever been excluded from a review or lacked the opportunity to provide input.

Commissioner Evans noted that, in the past, certain reviews were handled through a Zoning Administrator Review, but these now go through the Planning Commission.

Andrew Myrick, Housing and Planning Manager, clarified that the review of projects within the Specific Plan is a ministerial function, meaning it doesn't require Planning Commission review, only public notification. The Planning Commission would, however, be notified of actions taken by the Zoning Administrator.

On motion by Commissioner Dodson, and second by Alcaraz, and carried by the following vote, the Planning Commission moved to approve SPA-2025-002 which approves an amendment to the Campus Town Specific plan modifying the review processes and submittal requirements for the development applications.

RESULTS: 4-0-2-0

AYES: Commissioners Alcaraz, Dodson, Evans, La Mica

NOYES: None

ABSENT: Chair Silva, Vice Chair Owens

ABSTAIN:

ACTION: APPROVED & ADOPTED RESOLUTION

7. REPORTS FROM COMMISSIONERS

Commissioner Evans, asked about the Meals on Wheels facility. Andrew Myrick, Housing and Planning Manager said that it is going through the Architectural Review process right now.

8. REPORTS FROM STAFF

Andrew Myrick, Planning and Housing Manager, reported on the resignation earlier in the year of Vice Chair John Owens. The election of Vice Chair will be added to the agenda for the next meeting.

9. ADJOURNMENT

With no further business the meeting adjourned at 6:38 p.m.

On motion by Commissioner Dodson, and second by Evans, and carried by the following vote, the Planning Commission moved to adjourn

Respectfully submitted,

**Andrew Myrick, Community Development
Housing and Planning Manager**

William Silva, Chair



FINAL MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER
Wednesday, February 11, 2026
6:00 PM

1. **CALL TO ORDER**

Chair Silva called the meeting to order at 6:00 p.m.

2. **ROLL CALL – PLANNING COMMISSION**

PRESENT: CHAIR SILVA, ALCARAZ, DODSON, EVANS, LA MICA,
ABSENT:

3. **REVIEW OF AGENDA**

No Changes

4. **PUBLIC COMMENT**

None

5. **APPROVAL OF MINUTES**

None

6. **BUSINESS ITEMS**

A. ARCHITECTURAL REVIEW APPLICATION AR-2024-018. KARUN PRASAD, PROPERTY OWNER, AND MICHAEL ROESNER, PROJECT APPLICANT, REQUEST ARCHITECTURAL REVIEW APPROVAL OF A SECOND-STORY ADDITION AND ACCOMPANYING DECKS TO THE EXISTING SINGLE-FAMILY DWELLING AT 1395 FLORES STREET (APN 012-286-027) IN THE RS-12 SINGLE-FAMILY RESIDENTIAL ZONING DISTRICT. ARCHITECTURAL REVIEW IS NOT AN ACTIVITY SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO 15061(B)(3) OF THE CEQA GUIDELINES.

RECOMMENDATION: Staff recommends the Commission approve Architectural Review AR-2024-018 subject to the conditions of approval and project plans.

Eric Azriel, Associate Planner, gave a presentation on Architectural Review AR-2024-018 which includes an 895 SF second-story addition, 71 SF second-story front deck, 64 SF first-story addition and removal of existing patio/driveway in rear setback.

PUBLIC COMMENT:

Michael Roesner, the project applicant, spoke about the proposal and explained that the optimal location for a second story, in terms of views, would have been on the right side of the home. However, after carefully considering the impact on the neighbors, he chose to place the second story on the left side, above the garage.

A neighbor also voiced concerns, noting that the proposed change would be significant for his mother, who purchased the home specifically for its views, which will now be impacted. He suggested that, rather than building upward, the owners could potentially convert the existing garage into an ADU (Accessory Dwelling Unit) if additional living space is needed.

On motion by Commissioner Evans, and second by Alcaraz, and carried by the following vote, the Planning Commission moved to approve AR-2024-018, of a two-story addition and accompanying decks to the existing single-family dwelling at 1395 Flores Street (APN 012-286-027) in the RS-12 Single-Family residential zoning district.

RESULTS: 5-0-0-0

AYES: Chair Silva, Commissioners Alcaraz, Dodson, Evans, La Mica

NOYES: None

ABSENT: None

ABSTAIN: None

ACTION: APPROVED & ADOPTED RESOLUTION

B. ARCHITECTURAL REVIEW APPLICATION AR-2025-001. CAPPO REAL ESTATE HOLDINGS, LLC., OWNER, AND ALENA KRIACHKO, APPLICANT, REQUEST ARCHITECTURAL REVIEW APPROVAL OF A PROPOSED TWO-STORY, 37 BAY AUTOMOBILE SERVICE CENTER ON THE SAME PROPERTY AS THE EXISTING TOYOTA DEALERSHIP LOCATED AT 5 HEITZINGER PLAZA IN THE COMMERCIAL AUTOMOTIVE (CA) ZONING DISTRICT (APN 011-542-004). ARCHITECTURAL REVIEW IS NOT AN ACTIVITY SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO 15061(B)(3) OF THE CEQA GUIDELINES.

RECOMMENDATION: Staff recommends the Commission approve Architectural Review AR-2025-001 and allow six (6) tandem parking stalls to be used to meet the required number of parking spaces, subject to the conditions of approval and project plans.

Beth Rocha, Senior Planner, gave a presentation on the Toyota Service Center, Architectural Review AR-2025-001, construction of a two-story 26,838 SF, 37 bay automobile service center including rooms and offices for parts sales, administration, and tech support. The proposed service building is a new stand-alone structure. Existing pavement, landscaping, surface improvements and utilities will be removed

or re-aligned to construct the new building. The demolition of the existing service building. The building will replace with a refreshed customer and employee parking lot and landscaping improvements.

PUBLIC COMMENT:

None

On motion by Commissioner Evans, and second by LaMica, and carried by the following vote, the Planning Commission moved to approve AR-2025-001, of a two-story, 37 bay automobile service center on the same property as the existing Toyota dealership located at 5 Heitzinger Plaza in the commercial automotive zoning district (APN 011-542-004).

RESULTS: 5-0-0-0

AYES: Chair Silva, Commissioners Alcaraz, Dodson, Evans, La Mica

NOYES: None

ABSENT: None

ABSTAIN: None

ACTION: APPROVED & ADOPTED RESOLUTION

7. REPORTS FROM COMMISSIONERS

None

8. REPORTS FROM STAFF

Andrew Myrick, Housing and Planning Manager, announced that the Council has appointed a new Planning Commissioner. The Commissioner will be sworn in and is expected to attend the next regularly scheduled meeting

9. ADJOURNMENT

With no further business the meeting adjourned at 6:37 p.m.

On motion by Commissioner LaMica, and second by Alcaraz, and carried by the following vote, the Planning Commission moved to adjourn

Respectfully submitted,

**Andrew Myrick, Community Development
Housing and Planning Manager**

William Silva, Chair



FINAL MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER
Wednesday, March 25, 2026
6:00 PM

1. **CALL TO ORDER**

Chair Silva called the meeting to order at 6:00 p.m.

2. **ROLL CALL – PLANNING COMMISSION**

PRESENT: CHAIR SILVA, COMMISSIONERS ALCARAZ, DODSON, EVANS, LA MICA,
WARD

ABSENT: MENDOZA

3. **REVIEW OF AGENDA**

None

4. **PUBLIC COMMENT**

None

5. **APPROVAL OF MINUTES**

None

6. **BUSINESS ITEMS**

A. ARCHITECTURAL REVIEW APPLICATION AR-2024-002 AND USE PERMIT APPLICATION UP-2025-007. 340 AMADOR LLC, PROPERTY OWNER, AND VILAZZO GROUP, LLC, PROJECT APPLICANT, REQUEST APPROVAL OF ARCHITECTURAL REVIEW AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX; AND APPROVAL OF USE PERMIT UP-2025-007 TO ALLOW A REDUCTION IN THE REQUIRED DISTANCE FROM THE PARKING ENTRANCE TO THE SIDE PROPERTY LINE AND A REDUCTION IN THE REQUIRED DISTANCE FROM THE OPPOSITE SIDE OF THE ALLEY TO PARKING SPACES LOCATED AT 340 AMADOR AVENUE (APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.

Eric Azriel, Associate Planner, presented the details of the Architectural Review application (AR-2024-002) and Use Permit application (UP-2025-007) for 340 Amador Avenue.

Project Overview:

- **Existing Structure:** Single-family residence (to be demolished).
- **Proposed:** Three-story triplex.
- **Not Included:** Two ADUs.
- **Required:**

- **Architectural Review:** As per Seaside Municipal Code (SMC) 17.62.030.B.1, required for new multifamily construction.
- **Use Permit:** Required for changes to parking design and development standards (SMC 17.34.110), and for changes to driveways and site access (SMC 17.34.120).

Dwelling Units

- First floor: three bedrooms, 1.5 bath, 1,170 SF
- Second floor: three bedrooms, 1.5 bath, 1,292 SF
- Third floor: three bedrooms, 1.5 bath, 1,292 SF

Open Space

81 SF deck for each unit
 504 SF common roof deck

Parking

1.5 parking spaces per 2+ bedroom unit
 1.5 * 3 = 4.5
 5 parking spaces required and provided

Parking Design

Parking entrances or exits are prohibited less than 3'-0" to side property line
 Proposed 0'-0"

Modifications allowed via Use Permit

- Vehicle turn study
- City Engineer approves
- Zoning Administrator approves

Driveway Design

Parking requires 29'-0" of distance to opposite side of alley
 Proposed 24'-0"

Modifications allowed with Minor use Permit

Project Scope:

- **Lot Size:** 4,000 sq. ft.
- **Triplex Size:** 3,754 sq. ft. three-story building.
- **Parking:** Five parking spaces.

Findings:

- **Categorically Exempt:** The project is Categorically Exempt, Class 3, from the California Environmental Quality Act (CEQA), pursuant to Section 15303(B) of the CEQA Guidelines.
- **Compliance:** The proposed use is permitted within the applicable zoning district and complies with all relevant provisions of the Zoning Ordinance and Municipal Code.
- **General Plan Consistency:** The proposed use is consistent with the General Plan and any applicable specific plans.
- **Compatibility:** The design, size, location, and operating characteristics of the proposed project are compatible with existing and future land uses in the area.
- **Site Suitability:** The site is physically suitable for the proposed use, including adequate access, utilities, and no significant physical constraints.
- **Public Impact:** Granting the permit will not be detrimental to the public interest, health, safety, convenience, or welfare, nor will it cause material harm to people, property, or improvements in the surrounding area or zone.

Because no hazard is created, granting the permit, which functionally allows the project to comply with parking requirements, would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located

Conditions of Approval

- The van accessible parking space and the tandem parking space immediately adjacent to it shall be designated for the same unit pursuant to Seaside Municipal Code 17.34.110.I.2
- The recreational elements or their equivalent as shown on the roof deck on Sheet A.1 shall be provided by the applicant and maintained. Equivalent recreational elements may be provided upon approval of the Zoning Administrator.
- In accordance with West Broadway Urban Village Specific Plan Chapter 7.E.2.5.6, reflective glazing shall not be used.
- An Affordable Housing Agreement to create one low-income unit shall be approved and executed prior to building permit issuance in accordance with Seaside Municipal Code 17.32.020.

Conclusion:

Staff recommends the Commission approve Architectural Review AR-2024-002 and Use Permit UP-2025-007 subject to the conditions of approval and project plans.

Commissioners asked staff several questions regarding the project. Commissioner Ward noted that there were zero setbacks at the property line and staff clarified that no setbacks are required along the right side of the property, while rear setbacks apply to the back of the building. Commissioner Alcaraz inquired about the location of the trash enclosure. Commissioner Evans asked whether the construction of the two ADU buildings would exacerbate existing parking issues.

Chair Silva requested background information on the West Broadway Urban Village (WBUV) project. Staff explained that the WBUV was approved in 2010 and is centered around Del Monte and Broadway Avenues, with the goal of creating a walkable urban environment and increasing residential and mixed-use density.

PUBLIC COMMENT:

The applicant, Jon Lee of Villazzo Group, addressed the Commission and expressed appreciation to Albert Salvador, Patrick Grogan, Andy Myrick, Eric Azriel, and Beth Rocha. He stated that the proposed project is intended to address housing needs and contribute to the continued development of the WBUV area.

Alesandro Salazar, a community member, spoke and raised four concerns: inconsistencies in floor area ratio and square footage, excessive lot coverage, parking and rear setback encroachments at the property line, and the feasibility of the recreational space, noting that the parking study utilized a small compact vehicle.

Patrick LeMaster, project architect, provided clarification regarding the building’s floor heights.

Following public comment, Commissioners discussed the project. Commissioner Ward stated that the site plan was too small in scale, difficult to read, and contributed to confusion, and reiterated concerns about parking. Commissioner Dodson asked how the parking stall dimensions were tested. Commissioner Evans expressed concern that the use of a Ford Escape as a test vehicle was not representative, noted the narrow alleyway and existing parking challenges on Amador Avenue, and stated that with nine bedrooms, the project would likely generate more than five vehicles, making the current design unworkable. He recommended that the project be scaled back.

Chair Silva stated that he was conflicted, noting that the project's density aligns with the 2010 WBUV approval and that the Commission is obligated to approve projects that comply with the Specific Plan, zoning regulations, and state law. However, he expressed hesitation in granting any exceptions given the already constrained site conditions.

Commissioner Ward reiterated that the plans available online were difficult to read and recommended resubmission with a more detailed and legible site plan, as well as revisions to provide additional space.

Chair Silva asked staff to clarify which elements of the project are permitted uses and which require exceptions. Staff responded that multifamily residential use is permitted, and that the project requires Architectural Review and a Use Permit for parking access (entrances and exits) and driveway design.

On motion by Commissioner Silva, and second by LaMica, and carried by the following vote, the Planning Commission moved to continue the Architectural Review application AR-2024-002 and Use Permit application UP-2025-007, for 340 Amador Avenue (APN 011-315-003), directing the applicant to revisit and potentially redesign elements of the project to address concerns raised by the Commission. The item will return at the second regular meeting in April.

RESULTS: 6-0-1-0

AYES: Chair Silva, Commissioners Alcaraz, Dodson, Evans, La Mica, Ward

NOYES: None

ABSENT: Mendoza

ABSTAIN: None

ACTION: APPROVED & ADOPTED RESOLUTION

B. USE PERMIT APPLICATION UP-2026-001, PLANNED DEVELOPMENT PERMIT APPLICATION PDP-2025-001, AND ARCHITECTURAL REVIEW APPLICATION AR-2026-001. LA'I COMMUNITIES, PROPERTY OWNER, AND PATRICK LEMASTER, PROJECT APPLICANT, REQUEST APPROVAL OF: A USE PERMIT TO OPERATE AN APPROXIMATELY 15,339 SQUARE FOOT RESIDENTIAL CARE FACILITY; A PLANNED DEVELOPMENT PERMIT TO PROVIDE FLEXIBILITY TO THREE ZONING ORDINANCE STANDARDS; AND ARCHITECTURAL REVIEW FOR A NEW 5,396 SF DETACHED TWO-STORY STRUCTURE AND ASSOCIATED SITE IMPROVEMENTS AT 1732 FREMONT BOULEVARD (APNs 012-072-045/020) IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.

Beth Rocha, Senior Planner, provided an overview of the project scope for Use Permit (UP-2026-001), Planned Development Permit (PDP-2025-001) and Architectural Review (AR-2026-001) for 1732 Fremont Blvd, which includes the following components:

- **Use Permit (UP-2026-001)** – To operate a residential care facility.
- **Planned Development Permit (PDP-2025-001)** – To allow flexibility in three zoning ordinance standards.
- **Architectural Review (AR-2026-001)**– For the construction of a new 5,396 sq. ft. detached two-story structure and associated site improvements.

Environmental Review:

- The **Use Permit** and **Planned Development Permit** are categorically exempt under Class 32 of the California Environmental Quality Act (CEQA), pursuant to Section 15332 of the CEQA Guidelines.
- The **Architectural Review** is not subject to CEQA under Section 15061(b)(3) of the CEQA Guidelines.

Use Permit Details (UP-2026-001) for Residential Care Facility:

- The facility will be licensed and supervised by a federal, state, or local health/welfare agency, providing 24-hour non-medical care to individuals in need of personal services, supervision, or assistance.
- **Target Population:** Adolescents aged 12-17 years.
- **Stay Duration:** Short-term, with a 90-day maximum.
- **Vehicle Restrictions:** Adolescents will not be allowed to have vehicles.
- **Capacity:** 40 beds.
 - **Majority of beds (~28)** will be for Monterey County Medi-Cal residents, with priority given to Seaside youth.
 - Additional beds (~8) will be for residents from Santa Cruz, San Benito, and San Luis Obispo counties.
 - Remaining beds (~4) will be for private insurance or self-pay Monterey County residents.
- **Staffing:** 24-hour supervision with three shifts:
 - Morning: 12 staff
 - Afternoon: 8 staff
 - Evening/Night: 6 staff
- **Licenses:** The facility will maintain required licenses from the California Department of Health Care Services, including a dual Adolescent Residential Substance Use Disorder Residential Treatment license (ASAM 3.2) and a Short-Term Residential Therapeutic Program (STRTP) level of care through California Department of Social Services – Community Care Licensing Division (DSS/CCLD).

Use Permit Conditions of Approval

- Parking shall generally be limited to employees and those conducting business at the site, except that family members or other authorized representatives may park for the purposes of visiting or to meet at the site. Visitors shall be prescheduled by facility staff to ensure that the number of parking stalls is adequate and that the operations of the facility do not significantly impact parking in the surrounding neighborhood.

- The number of employees shall be limited to no more than 12 at any given time. Employees and visitors shall be instructed to park in the parking lot.
- Residents at the center shall be prohibited from keeping any vehicles on the site or in the vicinity of the site.
- Residents shall be monitored at all times to ensure that they do not leave the facility unless accompanied by facility staff. No fewer than six employees shall be on duty at any given time to ensure proper monitoring. Exterior gates and doors exiting the facility shall be locked or equipped with a notification system to alert facility staff when unauthorized use occurs. If a resident is discovered to be missing, the facility shall immediately notify the Seaside Police Department.

Planned Development Permit (PDP) Flexibility Requests

The Planned Development Permit (PDP) is intended to allow flexibility in the application of Zoning Ordinance standards to encourage innovation in site planning, project design, and responsiveness to site-specific conditions, adjacent uses, and environmental considerations. PDP projects are expected to demonstrate a level of design quality that is significantly superior to what would be achieved through conventional development and strict application of zoning standards. Economic gain or loss of potential profit is not a valid basis for granting a PDP.

The applicant requests three PDP flexibility allowances, as described below:

1. Covered Parking Requirement Waiver

The proposed use is a short-term (maximum 90-day) youth residential substance use disorder (SUD) treatment facility. As such, the standard parking classification for a traditional long-term residential care facility does not accurately reflect the operational characteristics of this use.

Unlike long-term residential care facilities, residents at this facility are prohibited from keeping vehicles on-site. As a result, parking demand is limited to staff and visitors. Documentation of the operator’s (Sun Street Centers) parking policy has been provided.

Given this operational distinction, the requirement for 10 covered parking spaces—typically intended to serve long-term residents—is not applicable in this case.

Therefore, the requested waiver from the covered parking requirement is appropriate.

2. Parking Stall Length Modification

The applicant requests a reduction in required parking stall length from 19 feet to 18 feet to accommodate installation of a compliant ADA curb ramp at the primary building entrance. The existing ramp does not meet current ADA standards.

An 18-foot stall length is consistent with ADA requirements and is a commonly accepted standard in many jurisdictions. Additionally, the Zoning Ordinance permits compact spaces with a minimum depth of 16 feet.

Strict compliance with the 19-foot requirement would eliminate one row of parking, resulting in a loss of up to five spaces (reducing the total to 11 spaces). This reduction would create parking deficiencies, as the facility anticipates up to 12 staff members during peak shifts, in addition to visitor parking demand. The requested modification is therefore necessary to maintain adequate on-site parking and avoid spillover impacts to the surrounding neighborhood.

3. Shade Tree Requirement Reduction

The applicant requests an exception to the shade tree requirement under SMC 17.34.110.E.3.a.(5), which requires one tree for every 25 linear feet of landscaped area.

The site contains approximately 216 linear feet of landscaped area, which would typically require nine trees. However, due to the small size and configuration of the existing parking lot, full compliance is not feasible without significantly reducing the number of parking spaces.

The proposal includes four shade trees along the Birch Avenue frontage, one tree along the Fremont Boulevard frontage, and one additional tree within the entry courtyard, which will provide shade to the parking area at maturity. These trees will be complemented by additional landscaping elements, such as boulders, to enhance the visual character of the site.

Additionally, portions of the landscaped area are only three feet wide, which is insufficient to support healthy tree growth. Given these constraints, the proposed landscaping plan represents a practical and effective alternative.

PDP Findings

The project site is located along Fremont Boulevard, a major commercial corridor, where the proposed mixed-use and residential care use is appropriate in both function and scale. The project is consistent with the General Plan and does not maximize allowable development intensity, particularly in the context of the broader neighborhood, which has yet to fully realize the increased density permitted under the 2040 General Plan.

The project includes enhanced landscaping and streetscape improvements that provide a transition between the development and the public realm, contributing positively to neighborhood character.

The design incorporates thoughtful site planning, high-quality architectural features, and integrated landscaping to create a cohesive and well-designed project. The site layout also supports reduced energy and water consumption, and minimizes environmental impacts through efficient use of space and sustainable design elements.

Overall, the project results in fewer and less significant environmental impacts compared to a conventional development built strictly to base zoning standards. The flexibility afforded through the PDP enables a superior design outcome that is more resource-efficient, environmentally responsive, and of higher overall quality.

Architectural Review (SMC 17.62.030.B.1):

- The architectural review focuses on evaluating:
 - **Architectural Considerations:** The design's character, quality, scale, material choices, and overall integration with the site and surrounding structures.
 - **Landscape Considerations:** The choice of plant materials, irrigation, maintenance plans, and focus on native/drought-tolerant landscaping.
 - **Lighting Considerations:** Proposed outdoor lighting fixtures, placement, and illumination levels.

Staking and Flagging-Alternative

- Architectural renderings prepared by a design professional and approved by the Zoning Administrator

- 14 days prior to the hearing signs were erected (3.9.26)/verified by staff (3.9.26.26)
- 10 days prior to the hearing, public notices were mailed to every property owner and to each occupant of every physical address within 300' of the site (3.6.26)

Proposed Design:

- **Building Materials:** A standing seam metal roof and metal doors complementing the metal panels and doors of the primary structure. Concrete blocks (8" x 16") will match the finish and color of the concrete tilt-up panels.
- **Landscaping:** Green screen wall-mounted trellises will be added to two elevations, similar to the south elevation of the primary structure.
- **Lighting:** A mix of existing and proposed freestanding poles with new fixtures will be installed throughout the parking lot, mounted at a height of 12', where 20' is allowed (26' maximum). Walpack's poles will be at 12'.

Conclusion:

- Staff recommends the Commission approve UP-2026-001, PDP-2025-001, AR-2026-001, subject to the conditions of approval and project plans. Use Permit, as granting it would not be detrimental to public interest, health, safety, convenience, or welfare, nor would it cause material injury to persons, property, or nearby improvements. The facility's design, with continuous supervision and structured programming, ensures minimal impact on the surrounding area.

Following the presentation, Commissioners posed questions to staff regarding the project. Commissioner Evans stated that he was generally comfortable with the proposed conditions of approval; however, he recommended exploring an alternative to the powder-coated metal material, noting that exposure to salt air may lead to deterioration. He also suggested that the trees along Birch Avenue be planted within a wider landscape area.

Commissioner Ward inquired about security measures for surrounding residents, including the location of entry and exit points and how access would be controlled.

PUBLIC COMMENT:

Chris Wilson, representing Chris Wilson Plumbing, expressed concern regarding the block wall along his property, stating that it may be easily climbed. He also asked whether the facility would accept residents from Juvenile Hall. While he stated that he supports the project concept, he believes the proposed location is not appropriate.

Joanne Tuscan, a resident of Seaside Birch Estates, spoke about existing parking challenges in the area, stating that parking is already limited and may be further impacted by the proposed residential care facility. She clarified that she is not opposed to the project itself, but to its location. She also suggested that an alternative site, such as Fort Ord, may be more suitable due to available space and raised concerns regarding the age range of prospective residents.

Chris Thomas, a Seaside resident, expressed concerns related to parking and the project's location.

Cynthia Dunning, a Seaside resident, voiced opposition to the project at the proposed location, citing parking constraints and existing concerns related to homelessness in the immediate vicinity.

Christopher Loft, a Seaside resident, shared his personal experience with a Sun Street Center facility. He expressed concerns about the number of beds proposed and potential impacts on the surrounding neighborhood, including the possibility of residents leaving the facility and the need for police response.

Following public comment, the Commissioners discussed including conditions related to the parking lot boundary/fencing and associated landscaping.

On motion by Chair Silva, and second by Alcaraz, and carried by the following vote, the Planning Commission moved to approve the Use Permit application UP-2026-001, Planned Development Permit application PDP-2025-001, and Architectural Review application AR-2026-001 subject to the conditions of approval and project plans adding a condition that staff and architect to work together to look at alternatives to the parking lot boundary/fence that would make it more substantial preserving the aesthetic elements and allowing planting to thrive on it at 1732 Fremont boulevard (APNs 012-072-045/020) in the community commercial (cc) zoning district.

RESULTS: 6-0-1-0

AYES: Chair Silva, Commissioners Alcaraz, Dodson, Evans, La Mica, Ward

NOYES: None

ABSENT: Mendoza

ABSTAIN: None

ACTION: APPROVED & ADOPTED RESOLUTION

7. REPORTS FROM COMMISSIONERS

Chair Silva congratulated new Commissioner, Robert Ward.

8. REPORTS FROM STAFF

Andrew Myrick, Housing and Planning Manager, mentioned the next Planning Commission will be April 22, 2026

9. ADJOURNMENT

With no further business the meeting adjourned at 8:46 p.m.

On motion by Commissioner LaMica, and second by Alcaraz and carried by the following vote, the Planning Commission moved to adjourn

Respectfully submitted,

**Andrew Myrick, Community Development
Housing and Planning Manager**

William Silva, Chair



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.A.

TO: Planning Commission
BY: Andrew Myrick, Housing & Planning Manager
DATE: April 22, 2026
SUBJECT: ELECTION OF VICE CHAIR

RECOMMENDATION

Select a member of the Planning Commission to serve as Vice-Chair.

BACKGROUND

The resignation of Commissioner John Owens has caused the Vice-Chair position of the Planning Commission to become vacant. The primary responsibility of the Vice-Chair is to run Planning Commission meetings while the Chair is absent. Staff recommends that the Planning Commission appoint a new Vice-Chair.

FISCAL IMPACT

There is no fiscal impact associated with this item.

ATTACHMENTS

None



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.B.

TO: Planning Commission

BY: Eric Azriel, Associate Planner

DATE: April 22, 2026

SUBJECT: ARCHITECTURAL REVIEW APPLICATION AR-2024-002. 340 AMADOR LLC, PROPERTY OWNER, AND VILLAZZO GROUP, LLC, PROJECT APPLICANT, REQUEST APPROVAL OF ARCHITECTURAL REVIEW AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX CONSISTING OF TWO THREE-BEDROOM DWELLING UNITS AND ONE ONE-BEDROOM DWELLING UNIT LOCATED AT 340 AMADOR AVENUE (APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.

RECOMMENDATION

Staff recommends the Commission approve Architectural Review AR-2024-002 subject to the conditions of approval.

BACKGROUND

The subject site is a 4,000 square foot (SF) lot on the southern side of Amador Avenue; it is occupied by a single-family dwelling. Uses to the east of the subject lot are single-family residential on both sides of Amador Avenue. The first two lots west of the subject property on the southern side of Amador Avenue are also single-family residential uses. Farther west of those lots, a cannabis dispensary occupies a one-story commercial building. The north side of Amador Avenue hosts a commercial building five-lots long and one story tall.

The subject site is located in the West Broadway Urban Village Specific Plan (WBUV) in the RM/POS zone, and is designated as "parcels located on all other streets." The WBUV envisions an increase of density in this area relative to the existing uses and

allows multi-story multifamily buildings. Chapter 5 of the WBUV calls this area "High Density Residential / Mixed Use", indicating the relatively high density intended. Per WBUV Chapter 7, general residential development is allowed at 20 to 30 dwelling units per acre and a 2.5 Floor Area Ratio (WBUV Chapter 7.B.4.2.3). The minimum height for new development in this area is two stories and the maximum is three stories (WBUV Chapter 7.B.5.2.1). The setbacks also indicate a relative increase of density and intensity because the area has a minimum front setback of 0'-0" and a maximum front setback of 10'-0"; minimum setbacks on the side and rear are also 0'-0" (WBUV Chapter 7.B.6.1). These setbacks are all smaller than those in residential zones outside of the WBUV.

PROJECT

The project proposes the creation of a 3,754 square foot (SF) three-story three-unit multifamily building in place of the existing single-family residence.

The applicant also aims to create two detached 772 SF accessory dwelling units (ADUs). Because GOV Section 66317(a)(1) prohibits any discretionary process for ADUs, the ADUs are specifically excluded from this review. The effects of the ADUs are only included where they would physically preclude compliance with regulation (see lot coverage and landscaping section of this Staff Report).

PROJECT HISTORY

The project was presented at the Planning Commission meeting on March 25, 2026. Planning Commission objected to providing exceptions to the parking standards for this project. The project was continued to the April 22, 2026 regular meeting to provide the applicant with the opportunity to adjust the plans in response to Planning Commission's concerns.

NO USE PERMIT

The redesign of the project under review at this hearing eliminates the need for a Use Permit because it meets the parking standards of the Seaside Municipal Code. As such, the applicant withdrew the Use Permit application.

ZONING ANALYSIS

The narrative below discusses the more significant compliance checks and changes to the design. Attachment 1 contains the full list of compliance checks.

Lot Coverage

The proposed total lot coverage is 3,829 SF or 96% of the 4,000 SF lot because 126 SF of pervious pavers and 45 SF of landscaping are proposed. The WBUV 7.B.4.1.3 only allows 80% lot coverage. However, the lot coverage is allowed despite being noncompliant because approximately 51% of the lot is occupied by the proposed triplex and its associated hardscaping of walkways and utilities; the remaining 49% of the lot could be landscaping and permeable parking if not for the ADUs which largely cover the

remainder. Since the ADUs must be allowed despite exceeding the lot coverage, the status of the area underneath them becomes moot. Despite that, stormwater must still be controlled, and the on-site stormwater infiltration will be handled by nine underground infiltrators beneath the parking area.

Landscaping

The project is proposing 45 SF of landscaping in the front setback area consisting of 12 1-gallon English Lavender plants, *Lavandula angustifolia*. Per the Water Use Classification of Landscape Species, this species requires low water use in Seaside; therefore, irrigation is not required.

The development involves the removal of one tree. But because of the ADUs there is insufficient lot area to replace the tree. The ADUs must be allowed to be constructed; therefore, replacing the tree cannot be required.

Changes to the Design

The first floor dwelling unit was reduced from three bedrooms to one bedroom. This change reduces the parking requirement from five parking spaces to four parking spaces in accordance with the WBUV 7.B.8.2 requirement of 1 parking space for units with one bedroom and 1.5 parking spaces for units with two or more bedrooms.

The entrances to the parking spaces were moved to 3'-4 1/2" from the west side property line and 9'-7 1/2" from the east side property line. The parking spaces were also moved to a minimum distance of 29'-0" from the opposite side of the alley. These two changes eliminated the need for a Use Permit application.

The roof deck open space was reduced to 298 SF. Condition of approval #3 was added to require that the full 300 SF be provided. Condition of approval #2 was added to require active recreation elements be provided.

The bicycle parking spaces were moved to a new location. Condition of approval #5 was added to require 7'-0" overhead clearance in accordance with SMC 17.34.060.B.

The trash room was moved and reconfigured. Condition of approval #6 was added to require Greenwaste approval of the new configuration be submitted at the same time as the Building Permit application. A provision was added to allow the Zoning Administrator to approve changes to the layout that Greenwaste finds necessary. Condition of approval #7 was added to ensure that moisture from the trash room will drain to the sanitary sewer system.

The second floor walkway was clarified to show that it will extend to the east side property line and connect to the walkway adjacent to the ADUs.

ARCHITECTURAL ELEMENTS

The proposed three-story triplex is significantly taller and closer to property lines than

the existing development surrounding it. The project uses three strategies to minimize its apparent bulk and provide visual interest.

First, darker recesses, painted Benjamin Moore Otter Brown 2137-10, are used throughout the project to create definition and breaks in the facade. On the west elevation, the recesses are built directly into the wall; on the other elevations, windows are installed into the recesses. Each recess is painted with a dark vertical band of Otter Brown 2137-10.

Second, all the facades other than the west are articulated. On the east (left) facade, the first story is set back 5'-6" from the side property line, and the second and third stories set back 3'-6" from the side property line. The north (front) facade differentiates between the first and second stories, with the second story reaching the property line and the first story set back 2'-0" from it. The individual outdoor spaces or decks on the northwest corner also serve to differentiate floors and break up the massing because that section is set back 9'-0" from the front property line. The southern facade, facing the alley, would be mostly blocked from view by the two ADUs but still contains variation in its surfaces with the third story spaced relatively far away from the rear property line at 62'-0", the ADU much closer to the rear property line at 4'-0", and the covered parking opening beneath.

Third, the project uses three shades of brown to selectively highlight areas of the building. The first floor is painted the lightest, Benjamin Moore Frosted Toffee 988, which helps set it apart and offset the partial shade it will be in. The second and third stories are set apart by the medium dark brown Benjamin Moore Broken Arrow 1026 covering the body on the north (front) and east (left) facades. The medium dark brown is strongly contrasted by the vertical elements painted dark Otter Brown 2137-10 in this section. On the remaining two sides, the second and third stories are painted light brown Frosted Toffee. On the south (rear), this contrasts with the ADUs' medium brown Broken Arrow 1026. On the west (right) facade the light brown is part of an integrated series of recesses along the entire length of the proposed building.

Finally, the stairs, railings, windows, and light fixtures provide a subtle yet consistent note of contrast with their black finishes.

ENVIRONMENTAL

Architectural Review is not an activity subject to the California Environmental Quality Act (CEQA) pursuant to 15061(b)(3) of the CEQA guidelines. Discretionary design review of an otherwise permitted use does not give the City the authority to mitigate environmental impacts and thus the project is not subject to the California Environmental Quality Act (CEQA).

ATTACHMENTS

1. Attachment 1 to Staff Report: Zoning Analysis
 2. Attachment 2: Draft Resolution
 3. Exhibit A to Attachment 2: Project Plans
 4. Attachment 3: Location Map
-

West Broadway Urban Village Specific Plan Compliance Review

Category	Standard	Proposed	Compliant/Noncompliant
ADU 1	Maximum of 800 SF	Less than 800 SF	Not included in this review. Can be built despite any effect on FAR.
ADU 2	Maximum of 800 SF	Less than 800 SF	Not included in this review. Can be built despite any effect on FAR
FAR, not including ADUs	Maximum of 2.5	1170 SF first floor 1292 SF second floor 1292 SF third floor 164 SF mech/trash. 3918/4000 Or 0.98	Compliant
Lot coverage	80%	126 SF of permeable surface area and 45 SF of landscaping, or 96% coverage	Not compliant but still allowed. The ADUs cover 1,544 SF or approximately 39% of the lot that would not otherwise be covered. The ADUs can be built despite going above the lot coverage. If the ADUs were not proposed, the open space and the parking area could be made permeable, which would easily meet the 80% coverage limit. To meet stormwater requirements without meeting coverage requirements, nine infiltrators are proposed.

Category	Standard	Proposed	Compliant/Noncompliant
Residential density	20 to 30 du/acre	3 units	Compliant 0.0918 acres * 30 du/acre = 2.8 units Number of allowed units is rounded up to 3
Height	B.5.2.1 2 stories min 3 stories max	3 stories plus roof deck	Compliant
Front setback	B.6.1.1 0 ft. minimum 10 ft. maximum	0-2 ft	Compliant
	B.6.1.1 Building walls built to the street frontage for 70% of site minimum	86% is built to the street frontage on the first story, 91% on the second and third stories	Compliant
	B.6.1.1 A maximum of 30 percent of the street frontage used for entry forecourts, paseos, outdoor plazas, or parking access	14% used for entry	Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	B.6.1.1 The building wall at the street frontage built with a minimum of 60 percent of the ground floor consisting of windows or storefronts with views into the building.	N/A	This provision is not applicable to residential
Side setbacks	0 ft min 5 ft. max Except for driveway access and paseos	0 ft. both sides	Compliant
Rear setbacks	None	8 ft. for parking structure (4 ft. ADU)	Compliant
Residential private open space	B.7.2 80 SF per unit	81 SF per unit	Compliant
Residential common open space	B.7.2 100 SF per unit Multifamily development requires active recreation elements	297.5 SF Roof deck.	Condition of approval #2 added to require active recreation elements. Condition of approval #3 added to require a full 300 SF.

Category	Standard	Proposed	Compliant/Noncompliant
Residential parking	B.8.2 2+ bdrm = 1.5 spaces per dwelling 1 bdrm = 1.0 space per dwelling	4	Compliant 2 apartments at 2+ bedrooms each $2*1.5 = 3.0$ 1 apartment at 1 bedroom $1*1 = 1.0$ Total required = $3.0+1.0 = 4.0$
Guest parking	Not required unless ten units or more	0	Exempt
Parking Lot	B.8.4 Structured parking to be located at rear or side	At rear	Compliant
Bicycle parking	B.8.5.1. 10% of vehicle required parking	U-Rack with 2'x6'x7' overhead clearance underneath staircase	Compliant. Condition of approval #5 added to require 7'-0" height clearance
	E.2.1.1 The massing of larger residential buildings shall be broken down to convey a sense of "home," and give individuality to each unit that lies within it.		Compliant
	E.2.1.2 Building massing shall be subdivided into portions or segments compatible with the adjacent residential scale.		Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	E.2.1.3 Façades of long buildings shall be architecturally subdivided into shorter segments every 25 to 50 feet maximum, using the methods identified under the Guidelines, below.		Compliant
	E.2.1.4 Each vertical module of units shall incorporate architectural features that help individually distinguish them, such as wall breaks, projections, distinct color schemes and individual roof treatments.		Compliant
	7.E.2.3.1 The front setbacks shall be adequately landscaped and provide entry opportunities to the residential units directly from public streets.		Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	E.2.4.1 Façades shall be designed so as to include entries, porches and other architectural elements that relate to the human scale.	Each unit has a porch/balcony.	Compliant
	E.2.4.2 Residential entries shall be located on the front façade and directly access the sidewalk or street.		Compliant
	E.2.4.3 Rain gutters shall be designed so as to be of a scale and material that is compatible with the roof and eaves.	Roofs designed with parapets	Compliant
	E.2.5.1 All windows within a building and across a façade shall be related in design, operating type, proportions and trim.	JELD-Wen Black Exterior Sliding Windows (V-4500 Series or equivalent)	Compliant
	E.2.5.2 Windows shall be used as architectural elements that add relief to the façade and wall surface.	Windows recessed 2"	Compliant.

Category	Standard	Proposed	Compliant/Noncompliant
	E.2.5.3 Windows shall be vertically-oriented in order to relate to the human form.	Vertically oriented.	Compliant
	E.2.5.4 Multi-pane windows for all uses shall be either "True divided light" windows or sectional windows. "Simulated divided light grids," snap-in muntins (i.e. post or bars used to separate glass in a sash into multiple panes) and those located within double-paned glass shall not be used.	Multi-pane windows not used.	Compliant
	E.2.5.5 Windows shall employ design details, such as mullions, to break the scale of the façade into smaller components.		Larger windows use two panes. Window recesses break up façade as well. Compliant.
	E.2.5.6 Reflective glazing shall not be used.		Specified in condition of approval #4.

Category	Standard	Proposed	Compliant/Noncompliant
	E.2.7.1 A variety of materials shall be used within an architectural theme that emphasizes a differentiation between the various components of the building.	1- coat cement plaster painted three varying shades of brown constitutes the bulk of the materials. The black metal mesh safety railings and front gate provide differentiation.	The judicious placement of color emphasizes recessed areas with darker browns and highlights changes between floors with shifts between tones. Compliant
	E.2.7.2 The combination of materials on a building façade shall be appropriate to its style and design.		Compliant
	E.2.7.3 The gap between material and base of building shall not be visible.		There is no cladding proposed, so it is not applicable.

Category	Standard	Proposed	Compliant/Noncompliant
	E.3.4.1 All landscaped public or common areas and front yard landscaping within a development shall be required to have automatic irrigation systems to ensure plant survival.	English lavender is rated Low water use by WUCOLs. Does not require irrigation.	Condition of approval #9 requires plants to thrive through the establishment period of one year. After establishment, the choice of plant means that irrigation is not required. Compliant.
	E.3.4.2 Irrigation systems shall be designed to minimize water run-off onto sidewalks or streets.		Irrigation is not proposed. Not applicable.
	E.3.4.3 Automatic, self-adjusting irrigation controllers shall be required on all irrigation systems to adjust based on changes in weather.		Irrigation is not proposed. Not applicable.

Category	Standard	Proposed	Compliant/Noncompliant
	E.3.4.4 Irrigation system design shall include sprinkler and spray head distribution uniformity, head-to-head spacing and setbacks from walkways and pavement.		Irrigation is not proposed. Not applicable.
	E.3.4.5 Landscaping shall be designed to be irrigated at no more than 80 percent of the reference evapotranspiration.		Irrigation is not proposed. Not applicable.
	E.3.4.6 Turf areas should be no more than 25 percent of the total irrigated site area.		Compliant
	E.4.1.1 The design of the mailboxes and mailbox enclosures shall be consistent with the architectural style of the development and shall match the colors and materials of other on-site buildings.	Salsbury 6 Door High Surface Mounted 4C Horizontal Mailbox with 5 Doors and 1 Parcel Locker in Sandstone with USPS Access	Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	E.4.2.1 Trash bins shall be located within a trash enclosure at all times. 17.30.110 requires 24 SF of storage	Approximate 124 SF trash room	Certification from Greenwaste required. Condition of approval #6.
	E.4.2.2 Trash enclosures shall be of an architectural detailing consistent with the overall site and building design.	Integral part of the parking structure	Compliant
	E.4.2.3 Trash enclosures shall be designed to prevent precipitation from entering the enclosure and for moisture to drain to the sanitary sewer system.	Fully enclosed	Moisture must drain to the sanitary sewer system. Condition of approval 7.
	E.4.2.4 Trash enclosures, mechanical equipment and utilities shall be provided with architectural enclosures or fencing, sited in unobtrusive locations and screened by landscaping.		Compliant
	E.4.4.1 Chain links fences shall not be used.	Redwood	Compliant

Category	Standard	Proposed	Compliant/Noncompliant
	E.4.4.2 Barbed wire, razor wire or other such deterrent security fences shall not be used.	Redwood	Compliant
	E.5.2.1 All parking areas shall provide interior landscaping for shade and aesthetic enhancement.	Not applicable. Parking is within garage/carport.	Compliant
	E.5.2.2 Curbed planter areas shall be provided at the end of each parking aisle to protect parked vehicles from the turning movements of other vehicles.	Not applicable. Parking is within garage/carport.	Compliant
Affordable units	Seaside Municipal Code 17.32.020.A requires "at least 20 percent of the total units as inclusionary units restricted for occupancy by moderate-, low- or very low-income households."		Three proposed units requires one unit to be affordable. Affordable agreement will be completed after the entitlement phase is complete.

**PLANNING COMMISSION
RESOLUTION NO. 2X-XX**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING ARCHITECTURAL REVIEW APPLICATION NO. AR-2024-002 FOR CONSTRUCTION OF A NEW THREE-STORY TRIPLEX CONSISTING OF TWO THREE-BEDROOM DWELLING UNITS AND ONE ONE-BEDROOM DWELLING UNIT LOCATED AT 340 AMADOR AVENUE (APN 011-315-003) IN THE RM/POS ZONING DISTRICT OF THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.

WHEREAS, 340 Amador LLC, Property Owner, and Villazzo Group, LLC, Applicant, applied for Architectural Review No. AR-2024-002 and Use Permit No. UP-2025-007; and

WHEREAS, the proposed project requires the review authority to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Planning Commission considered oral comments and written information concerning the application No. AR-2024-002 and application No. UP-2025-007 at a duly noticed public hearing that the Planning Commission held on March 25, 2026; and

WHEREAS, the Planning Commission continued the public hearing to the regularly scheduled public hearing held on April 22, 2026; and

WHEREAS, in response to planning commission comments, the applicant revised the project and withdrew application No. UP-2025-007; and

WHEREAS, the Planning Commission considered oral comments and written information concerning the application No. AR-2024-002 at the public hearing held on April 22, 2026; and

WHEREAS, Architectural Review is not an activity subject to the California Environmental Quality Act (CEQA) pursuant to 15061(b)(3) of the CEQA guidelines.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission approves Architectural Review No. AR-2024-002 subject to the following Conditions of Approval:

Planning:

1. The van accessible parking space and the tandem parking space immediately adjacent to it shall be designated for the same unit pursuant to Seaside Municipal Code 17.34.110.I.2.

2. Active recreational elements in the common open space, as approved by the Zoning Administrator, shall be provided and maintained in good condition.
3. The common open space shall be increased in size to a minimum of 300 SF.
4. In accordance with West Broadway Urban Village Specific Plan Chapter 7.E.2.5.6, reflective glazing shall not be used.
5. The bicycle parking space shall have a minimum of 7'-0" overhead clearance.
6. The trash room/enclosure must be approved by Greenwaste for sufficient size and ability to access. The Greenwaste approval shall be provided at the time of Planning's review of the implementing Building Permit. Related revisions to the site layout may be approved by the Zoning Administrator.
7. The trash room must be designed for moisture to drain to the sanitary sewer system.
8. An Affordable Housing Agreement to create one low-income unit shall be approved and executed prior to building permit issuance in accordance with Seaside Municipal Code 17.32.020.
9. All plantings shall be adequately watered during the establishment period of one year. In the event of unsuccessful establishment, defined as plants dying, being damaged, or not thriving, any such plants shall be replaced at a 1:1 basis.
10. Landscaped areas, including trees and other plantings, as well as paving, walls, and fences, shall be regularly maintained.
11. The Zoning Administrator has the authority to approve minor changes to the landscaping, lighting, and architectural finishes of this project, given changes are kept in a similar design style, the colors and materials are within the same design family (metal, wood, composite siding), and the juxtaposition of the materials and colors achieves a similar design balance and aesthetic.
12. This approval does not include the conceptual Accessory Dwelling Unit shown on the attached plans.
13. If necessary, a Water Allocation shall be obtained.

Building:

14. Construction must comply with all requirements of the California Building Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal.
15. All emergency egress windows shall open directly into a public way or to a yard or court that opens to a public way per CBC Section 1031.
16. A minimum of two exits are required if the occupant load of the roof deck exceeds 20 per CBC Table 1006.2.1.

Fire Department:

17. Construction must comply with all requirements of the California Fire Code, as amended by the City of Seaside and in effect at the time of Building Permit submittal and all Seaside Ordinances in effect at the time of Building Permit submittal.

Public Works:

18. The project shall comply with Seaside Municipal Code 17.34.120 for all driveway approach and parking requirements.
19. A tree removal permit shall be obtained prior to commencing demolition.

Standard:

20. Except as modified by the conditions of approval, plans submitted for Building Permits must be in compliance with Exhibit A: Project Plans.
21. The applicant agrees as a condition and in consideration of the approval of this permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

22. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
23. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner prior to issuance of any Building Permit or establishment of any use authorized by the permit.
24. This approval shall become null and void unless a Building Permit application is submitted or authorized use is established within twelve (12) months of April 29, 2026 in accordance with Seaside Municipal Code Section 17.64.080.A. Time extensions may be granted in accordance with Seaside Municipal Code Section 17.64.080.B. This approval shall also become null and void if the implementing Building Permit application expires.
25. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Seaside, State of California, on the 22nd day of April 2026, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Will Silva, Chairperson

ATTEST:

Planning Commission Secretary

Exhibits:

Exhibit A: Project Plans

**ARCHITECTURAL REVIEW APPLICATION No. AR-2024-002
RESOLUTION No. XX-XX**

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature

Date

Site Plan/ Design Review Application for 340 Amador Avenue

3 Unit Apartment Complex

APN: 011-315-003

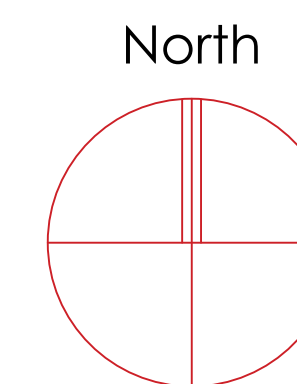
Sheet Index

- CS Cover Sheet
- SP.1 Site Photos with Building Located
- A.1.1 Site Plan and Building Plan
- A.1.2 Site Plan and Building Plan
- A.1.3 Site Plan and Building Plan
- A.1.4 Project Details
- A.2 Exterior Elevations
- A.2.1 Colored Elevations
- A.3 Sections

Location Map



Project Location



April 08, 2026

Team

Owner:
Villazzo Group, LLC.
340 Amador Avenue
Seaside, CA 93955
jonlee35@gmail.com

Architect:
Lee-Jagoe Architecture, Inc.
2291 West March Lane, Suite B200
Stockton, CA 95207
(209) 957-9254

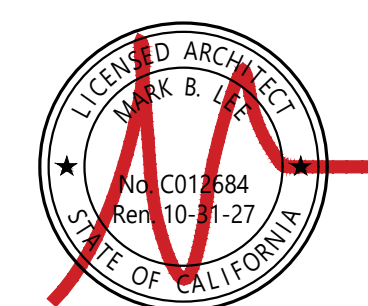
Civil Engineer (Parking Template):
Wong Engineering
4578 Feather River Drive, Suite A
Stockton, CA 95219
(209) 476-0011

Scope of Work

Construction of 3 Unit Apartment Project

April 16th, 2026

CS



LEE • JAGOE ARCHITECTURE
INCORPORATED

340 Amador Avenue Apartments

Villazzo Group



②



③



④



① Amador Avenue-South View

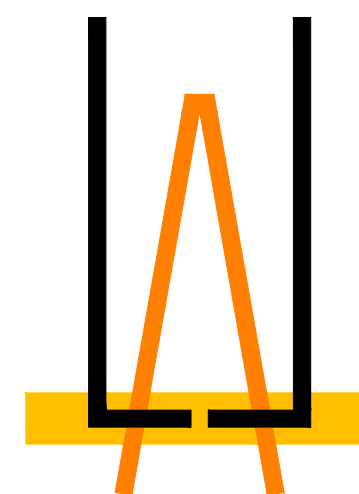


Sheet SP.1
Site Photos



340 Amador Avenue Apartments

Villazzo Group



LEE JAGOE ARCHITECTURE
INCORPORATED

April 16, 2026

340 AMADOR AVENUE

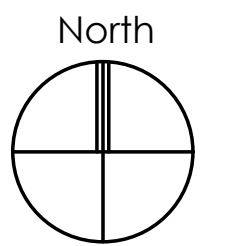
ALLOWABLE HEIGHT AND AREA:
 BUILDING TYPE V-A, OCCUPANCY R-2
 SPRINKLERED, S13R
 CBC TABLE 506.2
 ALLOWABLE AREA: 12,000 SQ. FT.
 CBC TABLE 504.3
 ALLOWABLE HEIGHT: 50 FT.

Sheet A.1.1

Floor Plans
 Site Plan

1st Floor One Bedroom 1170 Sq. Ft.
 2/3 Floor Three Bedroom 1292 Sq. Ft.

Preliminary Concept Project Data



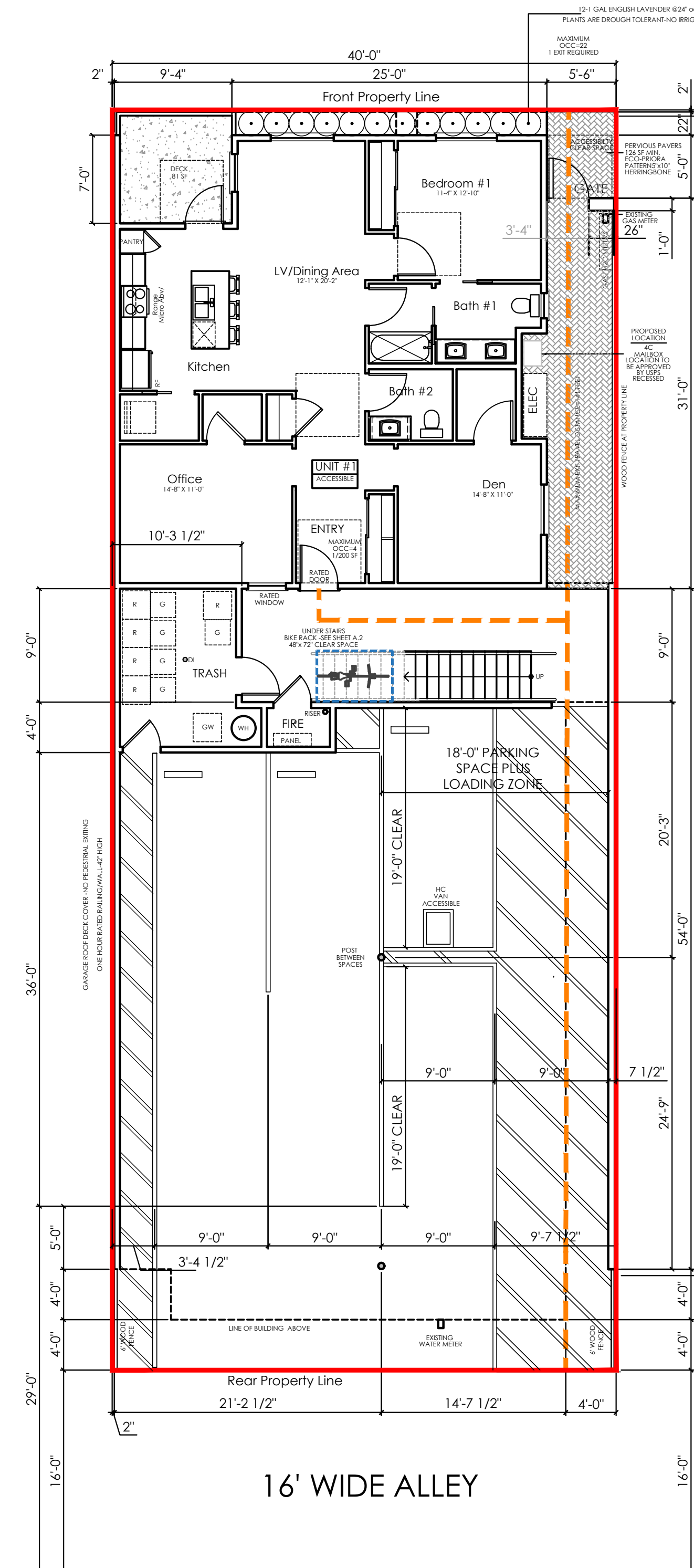
April 16, 2026
 Scale: 1/8" = 1'-0"

Gross Land Area: .0918 Acres
 4000 sf
 Density without ADU: 32.68 Du/Ac Gross

Coverage Base on Net Land Area:		
Building Coverage:	1292 sq. ft.	32.30%
Mech Area Coverage:	164 sq. ft.	4.10%
Total Area Coverage:	1456 sq. ft.	36.40%
ADU Coverage:	1544 sq. ft.	Not Applicable
Parking Coverage:	1852 sq. ft.	46.30% Under Building.
Landscaping Coverage:	46 sq. ft.	1.15%

Floor Area Ratio/Gross:	0.98 to 1.00		
1 Br/2 Ba-Accessible	1 Unit	1170 sf	1 Story
3 Br/2 Ba	2 Unit	1292 sf	1 Story
# Parking Spaces:	4.0 Spaces Req'd		
Total Parking Spaces:	4 Spaces		
Private Open Space	Minimum 80 Square Feet per Unit		
Common Open Space	300 sf Required 300 sf Provided		

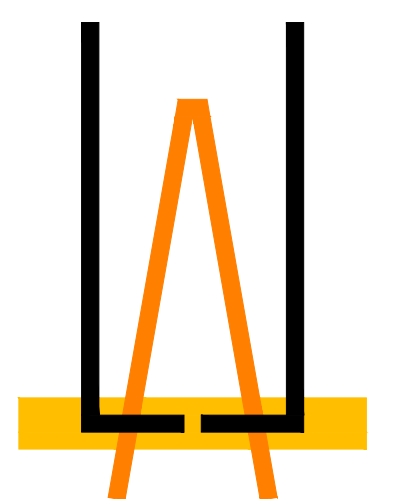
Concrete
 Patio/Stoop



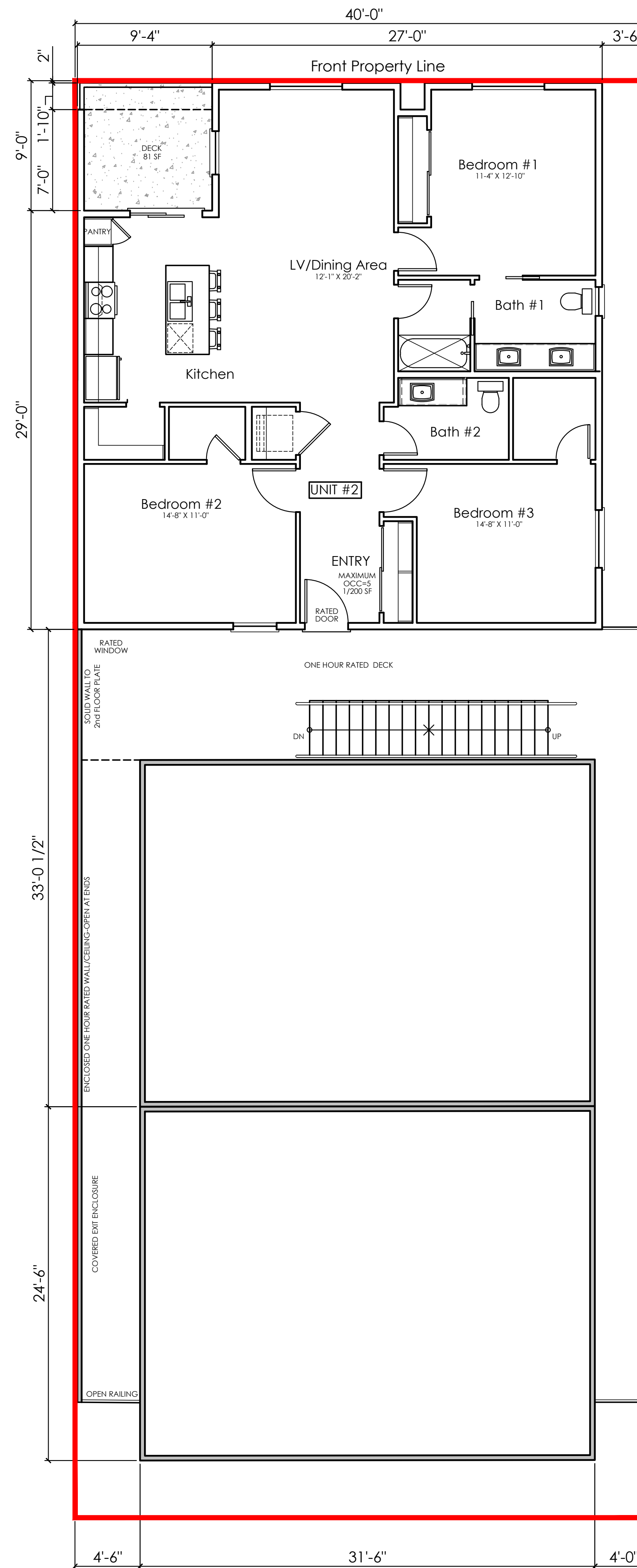
Ground Floor Plan

340 Amador Avenue Apartments

Villazzo Group

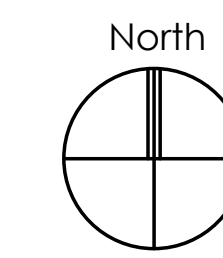


LEE JAGOE ARCHITECTURE
 INCORPORATED



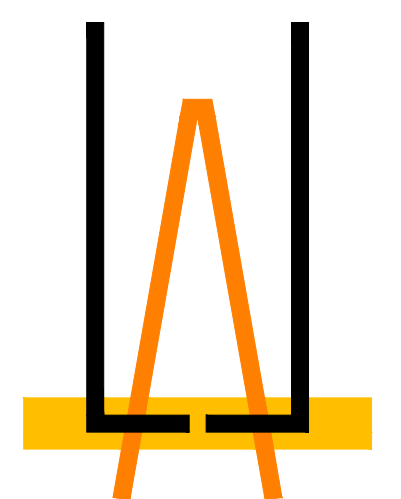
Sheet A.1.2

Second Floor Plan
April 16, 2026

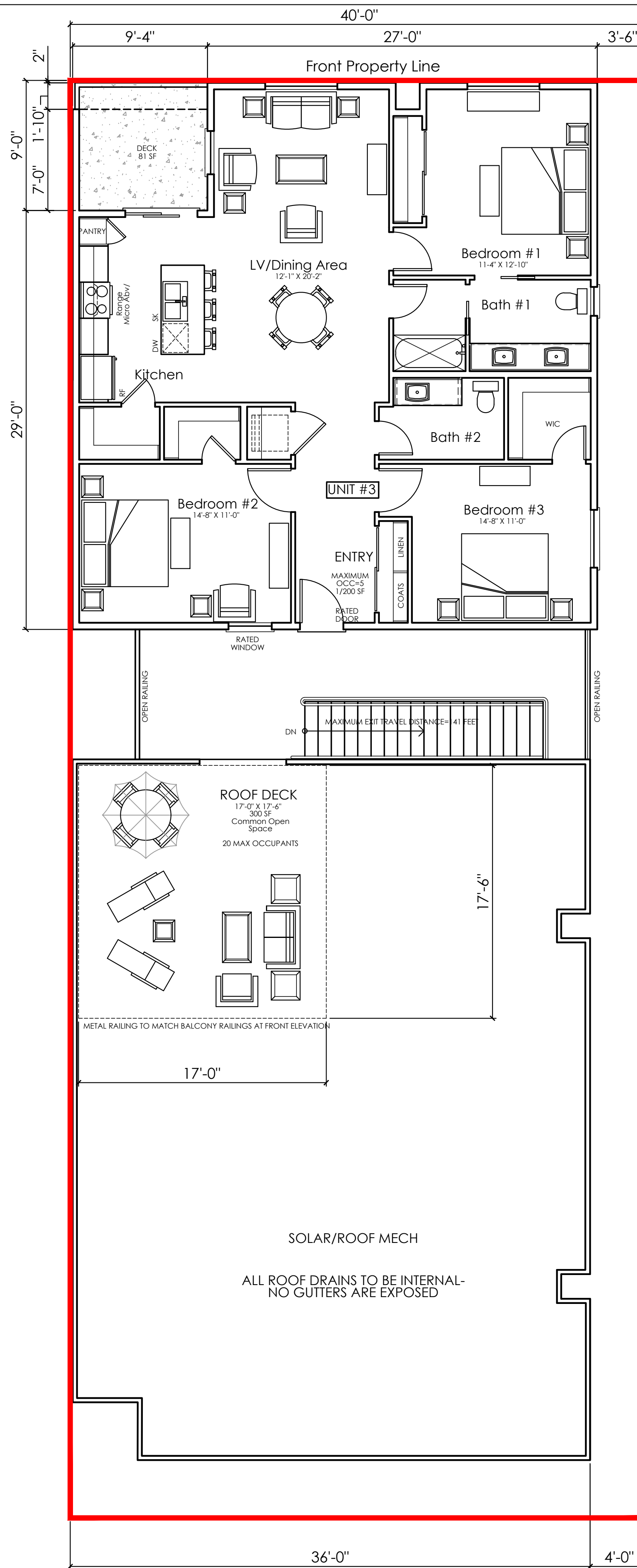


Scale: 3/16" = 1'-0"

340 Amador Avenue Apartments

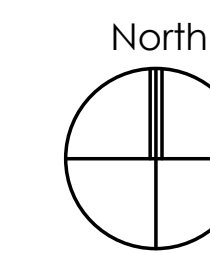


LEE JAGOE ARCHITECTURE
INCORPORATED



Sheet A.1.3

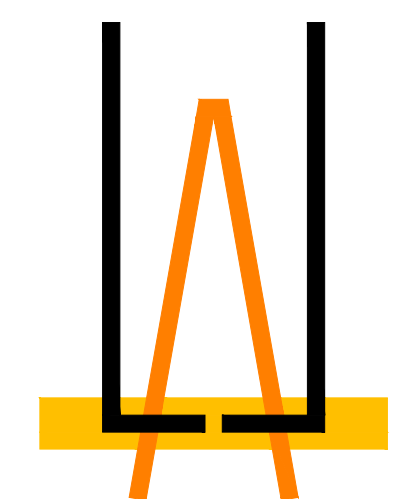
Third Floor Plan
April 16, 2026



Scale: 3/16" = 1'-0"

340 Amador Avenue Apartments

Villazzo Group



LEE JAGOE ARCHITECTURE
INCORPORATED



EXTERIOR PAVER:
STONEWOOD PRODUCTS
PERVIOUS PAVERS

10



KICHLER INDEPENDENCE 1
LIGHT 1.5 IN DECK LIGHT
BLACK FINISH
INSIDE PARAPET DECK AREA



KICHLER WALDEN OUTDOOR
WALL LIGHT 49550BKTED
DARK SKY RATED
BLACK FINISH
OUTSIDE 3RD
FLOOR UNIT ENTRY

7



6' HIGH WOOD FENCE
1x6 HORIZONTAL SIDING
REDWOOD FENCING
NATURAL COLOR

4



ROOF DECK:
REMOVABLE SQUARE TREX/EQ DECKING ON SPACERS

1

FIRE DEPARTMENT REQUIREMENTS:

1. Fire Sprinklers Required - The residence shall be protected with an automatic fire sprinkler system in compliance with the National Fire Protection Association Standard 13D. Plans for the fire sprinkler system must be submitted and approved by the Seaside Fire Department prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection from the building department.
2. A fire alarm water flow switch is required on all residential fire sprinkler systems and shall be located so that it is audible to the occupants of the residence. The flow switch shall be wired to the kitchen refrigerator circuit.
3. It is the responsibility of the applicant to check with the local water service company (Cal Am) to insure the proper water meter size is provided for both the domestic and fire sprinkler flows. Generally, a 1 inch meter is required.
4. An indicating type valve shall be installed in a location where it shuts off both the fire sprinkler and the domestic system. The indicating valve shall be installed above grade and shall be a ball-type valve only. A separate valve just for the fire sprinkler system is not required.
5. All underground piping is to be flushed prior to the connection of any fire sprinkler piping.
6. Separate fire sprinkler plans need to be delivered to Seaside Fire Department, located at 1635 Broadway Avenue. A minimum of (3) set of plans are required. If the applicant requires (2) sets of approved plans, then (4) sets need to be delivered to the fire department. Applicant needs to submit to the fire department for prior approval.

11



Salisbury 6 Door High Surface Mounted
4C Horizontal Mailbox with 5 Doors and
1 Parcel Locker in Sandstone with USPS Access

8



PROPOSED VINYL WINDOWS
JELD-Wen Black Exterior Sliding Windows
(V-4500 Series or equivalent)

5



BALCONY AND ROOF DECK RAILING:
BLACK COLOR METAL FRAME AND WIRE MESH
CROSS BRACING NOT SHOWN

2

ENGINEERING DEPARTMENT REQUIREMENTS:

1. Proposed project must implement storm water best management practices (BMPs) during construction. (SMC 8.46)
 - a. Complete and submit the Storm Water Compliance Tracking Form, with signature with building permit application.
 - b. A project specific Erosion and Sediment Control Plan (ESCP) is required of the applicant as part of building permit application.
2. Post-development peak storm water runoff rates shall not exceed predevelopment rate. A pro rata share of the cost of offsite erosion sediment, and flood control improvements and/or for maintenance to the principal drainage way may be required by the city engineer to handle the increase peak runoff and/or sediment generated by the project. (SMC 15.32.170)
 - a. As part of building permit application, develop civil grading and drainage plans to clearly show direction of storm water drainage from new or redeveloped impervious surfaces.
 - b. Drainage shall not be directed to adjacent properties. See item #4 for further requirements.
3. As required by Attachment 1 to Resolution No. R3-2013-0032 of the Central Coast Regional Water Quality Control Board, the applicant shall develop a Storm Water Control Plan demonstrating compliance with performance requirements #1, as applicable. (SMC 8.46.130)
4. Performance Requirement No. 1: Site Design and Runoff Reduction. The Permittee shall require all Regulated Projects that create and/or replace > 2,500 square feet of impervious surface (collectively over the entire project site), including detached single-family home projects, to implement at least the following design strategies throughout the Regulated Project site: Limit disturbance of creeks and natural drainage features.
 - a. Minimize compaction of highly permeable soils
 - b. Limit clearing and grading of native vegetation at the site to the minimum area needed to build the project, allow access, and provide fire protection
 - c. Minimize impervious surfaces by concentrating improvements on the least-sensitive portions of the site, while leaving the remaining land in a natural undisturbed state
 - d. Minimize storm water runoff by implementing one or more of the following site design measures:
 - (1) Direct roof runoff into cisterns or rain barrels for reuse
 - (2) Direct roof runoff onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - (3) Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - (4) Direct runoff from driveways and/or uncovered parking lots onto vegetated areas safely away from building foundations and footings, consistent with California building code
 - (5) Construct bike lanes, driveways, uncovered parking lots, sidewalks, walkways, and patios with permeable surfaces
 - e. Applicant shall adhere to (SMC 17.34.120) for all driveway approach and parking requirements.
 - f. Applicant is required to contact Seaside County Sanitation District (SCSD) to assess any additional sewer fees that may apply to the project. This step is necessary to ensure compliance with local regulations and to avoid any delays in the processing of your permit application. SCSD contact e-mail (PGrogan@ci.seaside.ca.us)
 - g. Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Work Department.

12



PROPOSED STAIRS:
METAL STRINGERS PAINTED
BLACK WITH PRECAST
CONCRETE TREADS. NOT
SHOWN WILL BE BLACK METAL
RISER ENCLOSURES

9

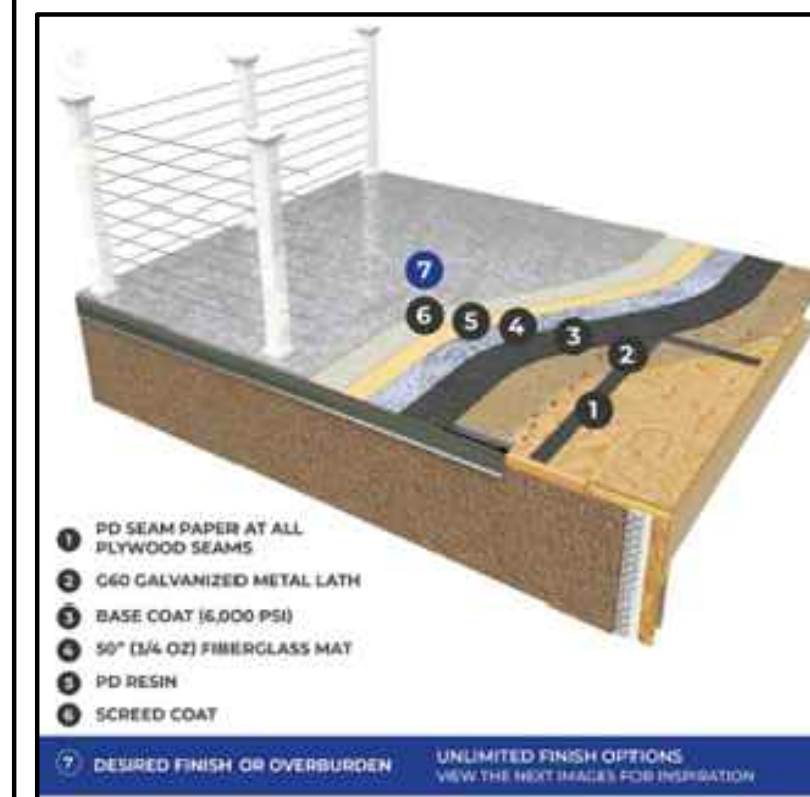
DOWN LIGHT LOCATIONS:
ALL DOWN LIGHTS TO BE LOCATED
UNDER THE 2ND FLOOR OVERHANG
AND UNDER CEILING OF EXTERIOR
OF EXTERIOR WALKWAY AND CEILING
OF COVERED PARKING



ALL LIGHTING TO BE RECESSED CAN
DOWNWARD LIGHTING WITH
WITH BLACK TRIM TO MATCH
WINDOW FRAMES

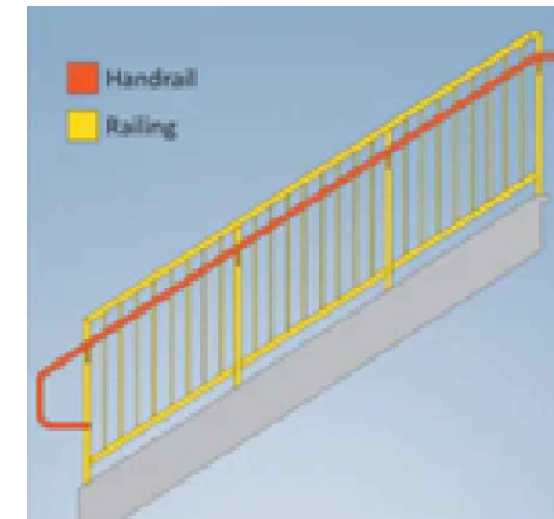
Kichler Lighting - DLTRC06RBKT - Direct to
Ceiling - Round Recessed Downlight Trim - with
Utilitarian inspirations - 1.25 inches tall by 7.5
inches wide

6

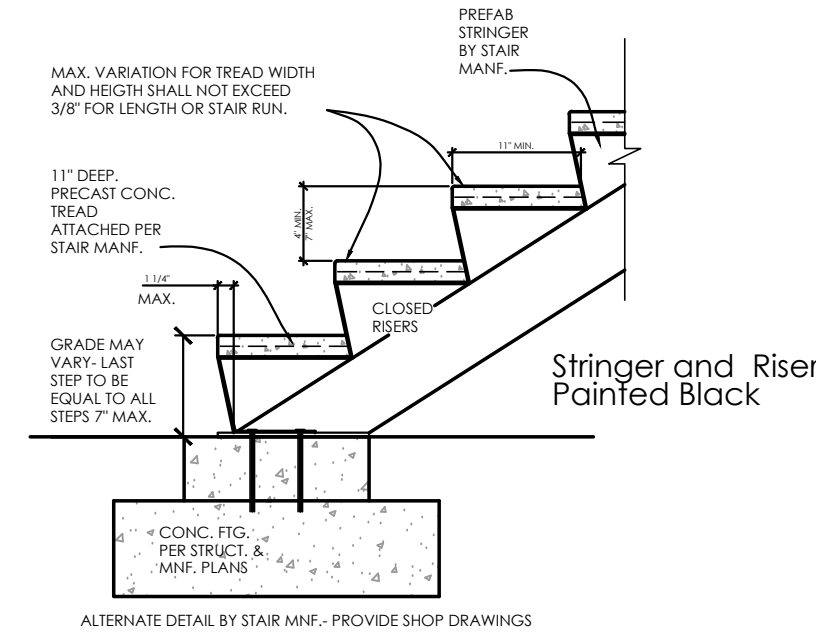


PLI-DEK WATERPROOFING
STANDARD. COLOR TO BE
BROKEN ARROW OR
EQUIVALENT.

3



INTERIOR STAIR
AND STAIR
RAILING DESIGN
ALL ITEMS
PAINTED BLACK

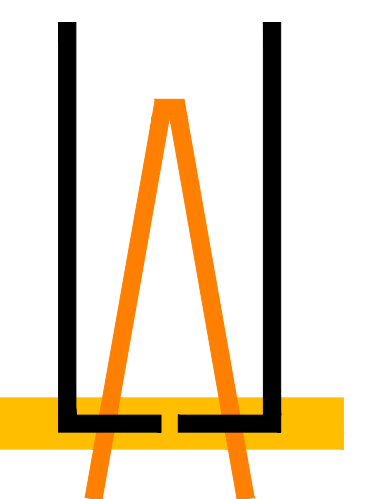


Stringer and Risers
Painted Black



Bike Rack: U-Rack Rack, 1 Bikes, Powder Coated, Steel,
27 in Slot Wd, 34 in Overall Ht, Surface

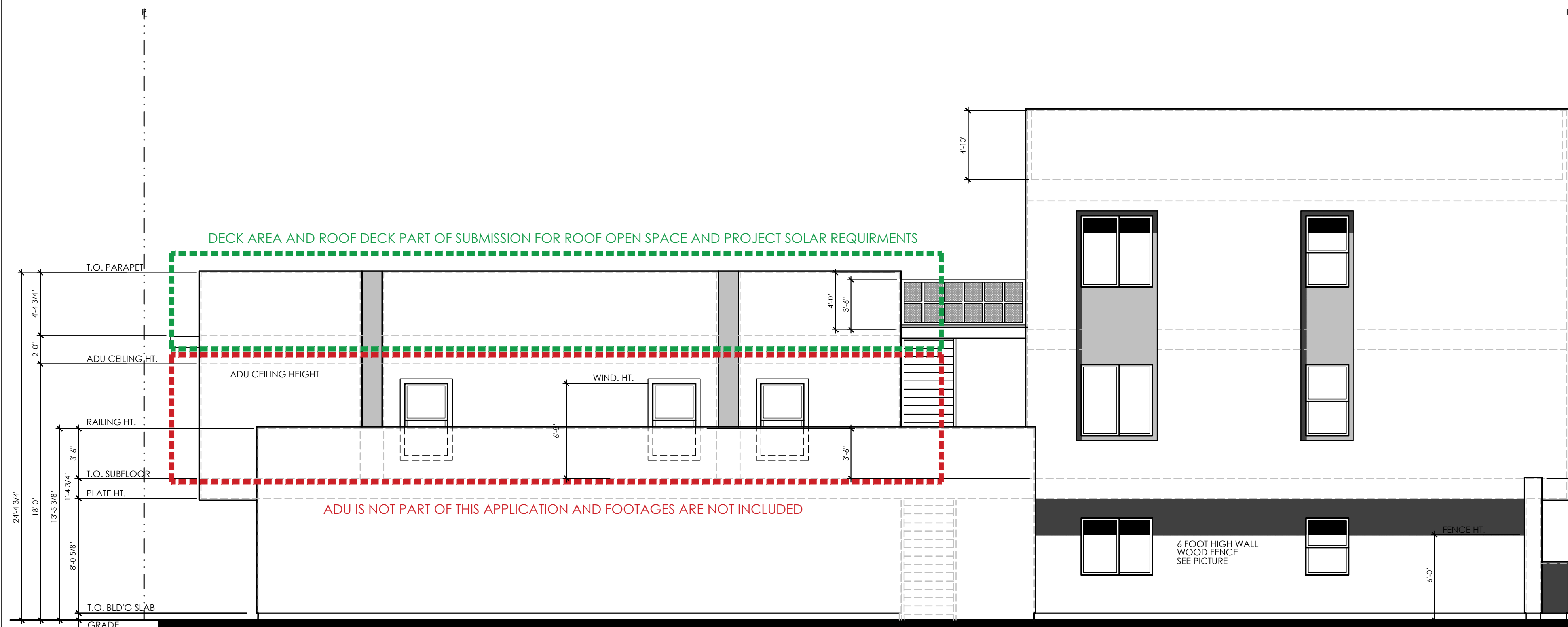
Sheet A.1.4
Project Details



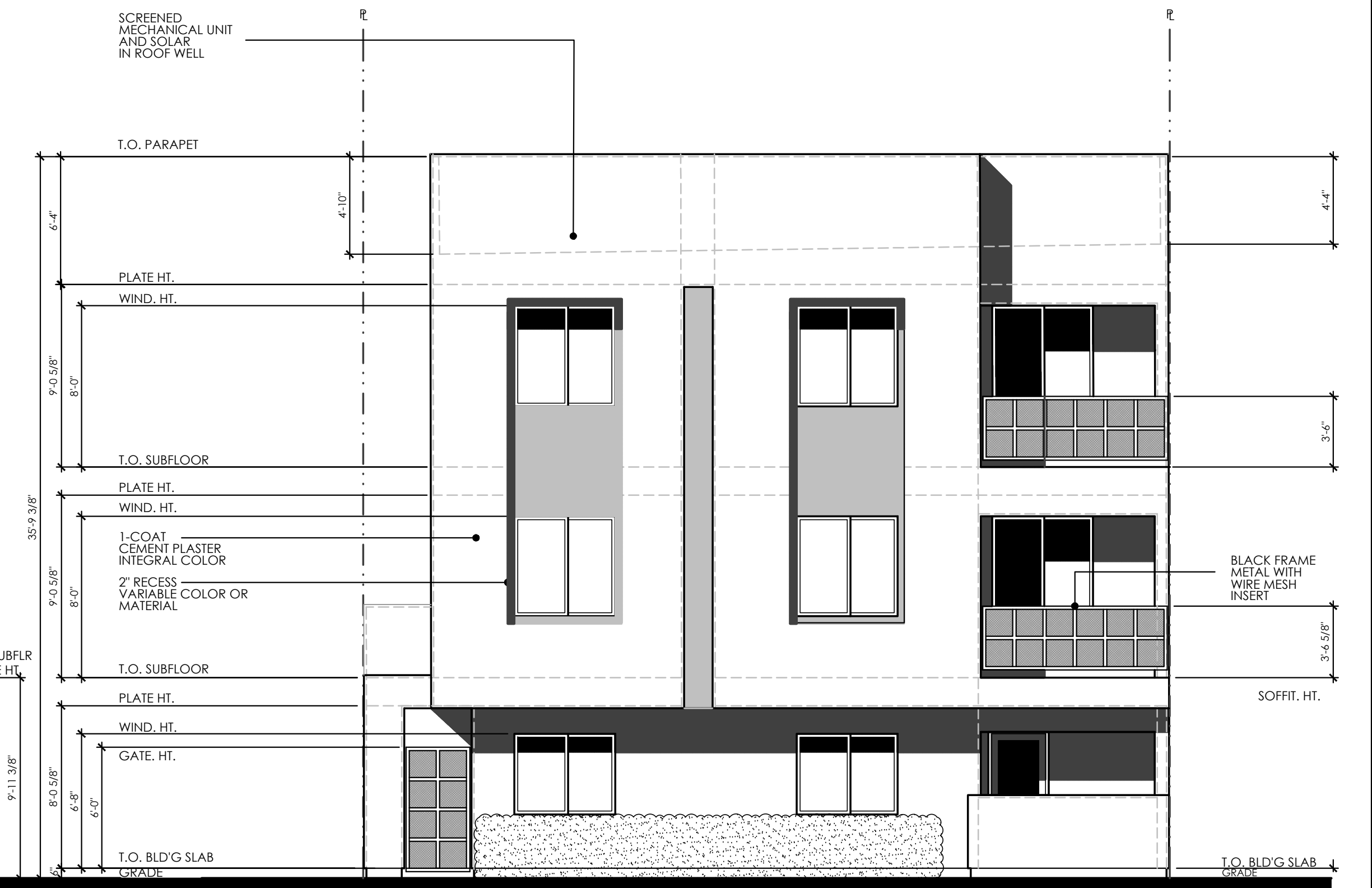
LEE JAGOE ARCHITECTURE
INCORPORATED

April 16, 2026

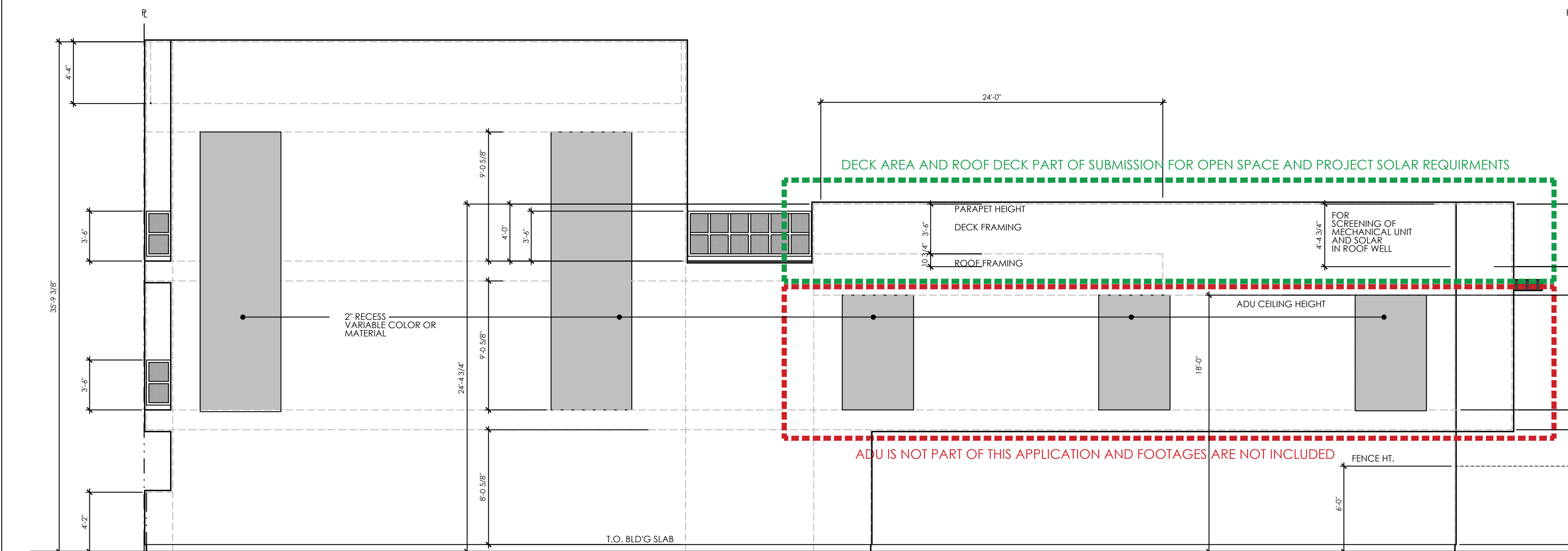
340 Amador Avenue Apartments



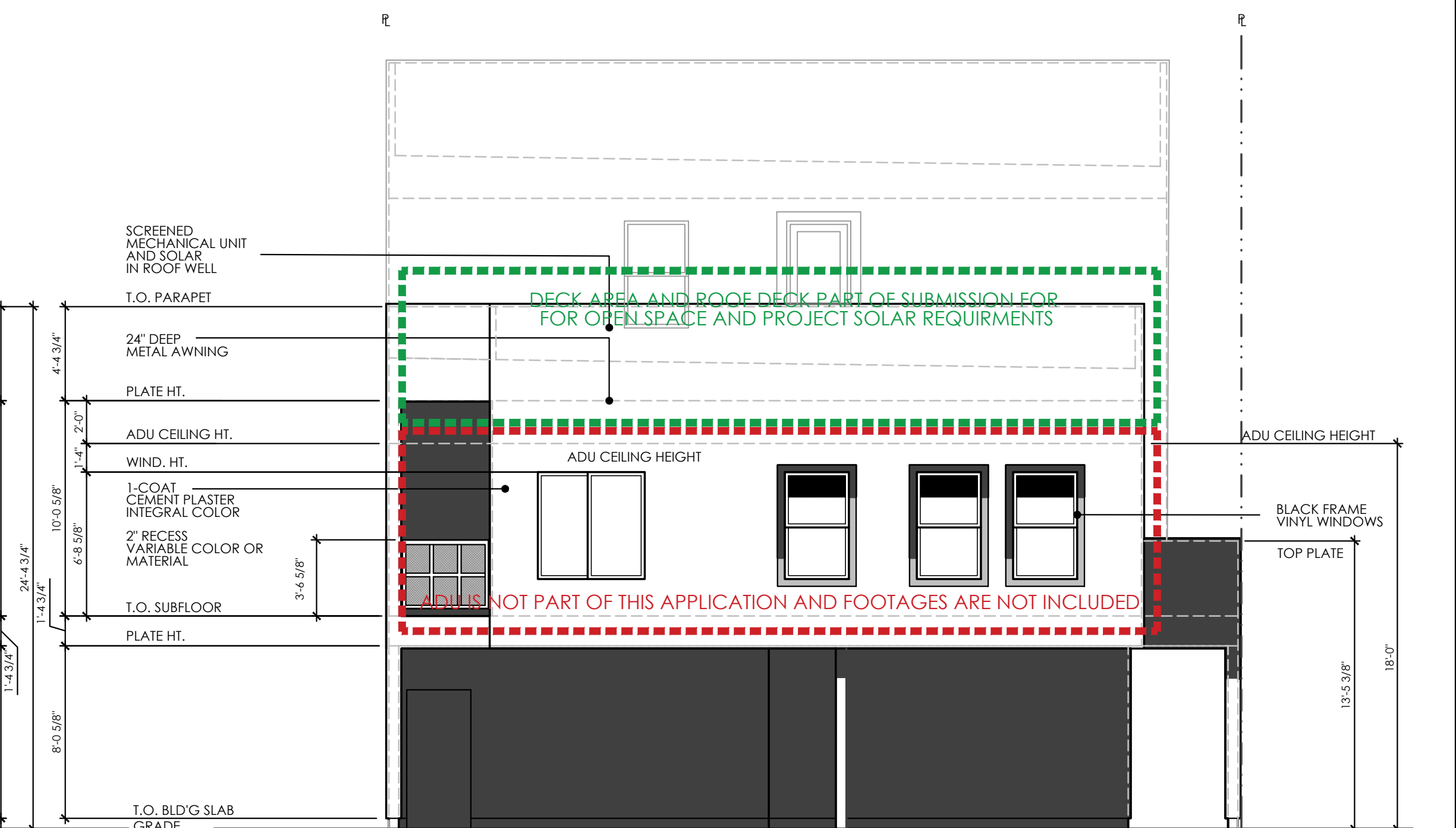
East (Left) Elevation



North (Front) Elevation



West (Right) Elevation



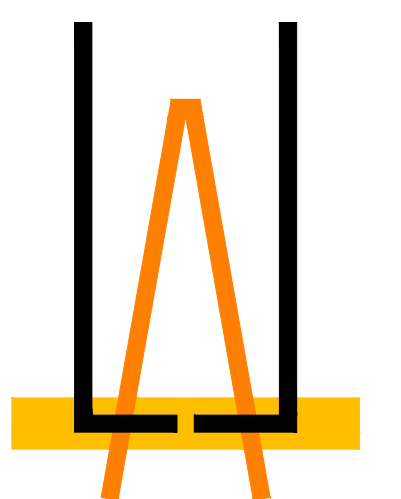
South (Rear) Elevation

Exterior Finishes:

- Trash door is hollow metal.
- All mechanical doors are painted to match base building color- Benjamin Moore-Frosted Toffee
- Entry doors are painted Benjamin Moore-Otter Brown
- All interior garage walls to be Benjamin Moore- Frosted Coffee
- Frist floor private open space door to be Exterior Fiberglass door or equivalent.
- Hardscape walkways to be concrete with broom finish.
- Garage slab to be smooth finish concrete.
- 2nd and 3rd floor walkways to be Pl-Deck-Hickory
- Trex Deck to be Enhance-Rocky Harbor or Equivalent

Sheet A.2

Exterior Elevations



Scale: 3/16"=1'-0"
April 16, 2026

LEE JAGOE ARCHITECTURE
INCORPORATED

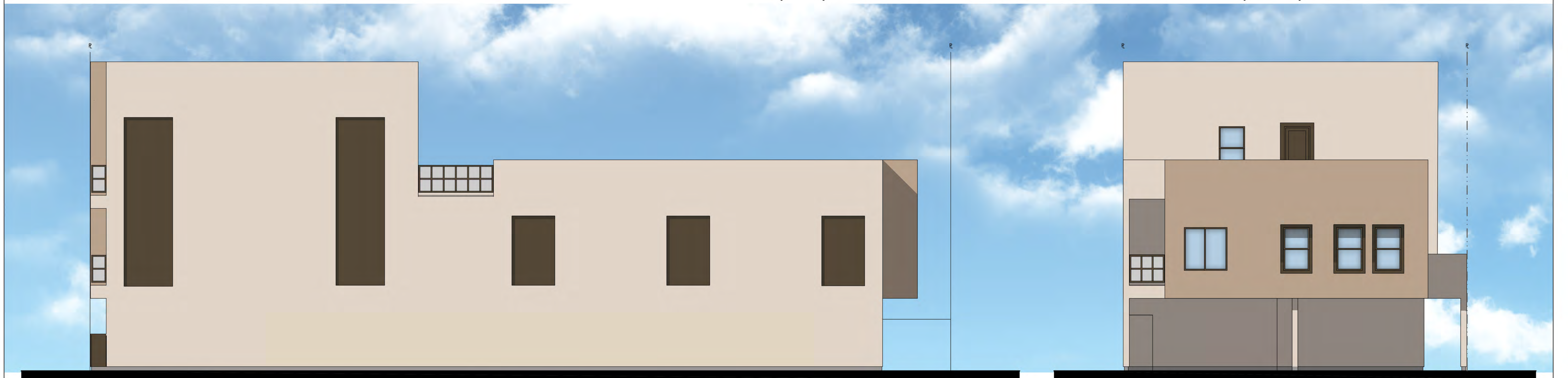
340 Amador Avenue Apartments

Villazzo Group



East (Left) Elevation

North (Front) Elevation



West (Right) Elevation

South (Rear) Elevation

Broken Arrow
1026

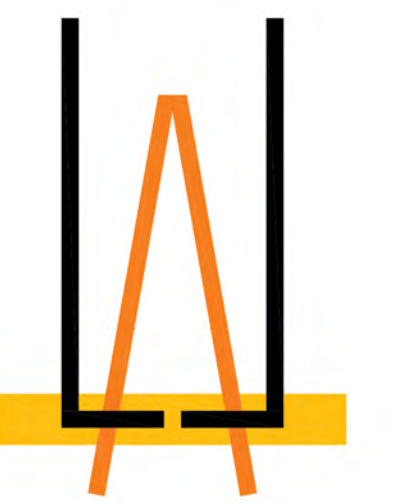
Frosted Toffee
988

Otter Brown
2137-10

Sheet A2.1

Exterior
Elevations

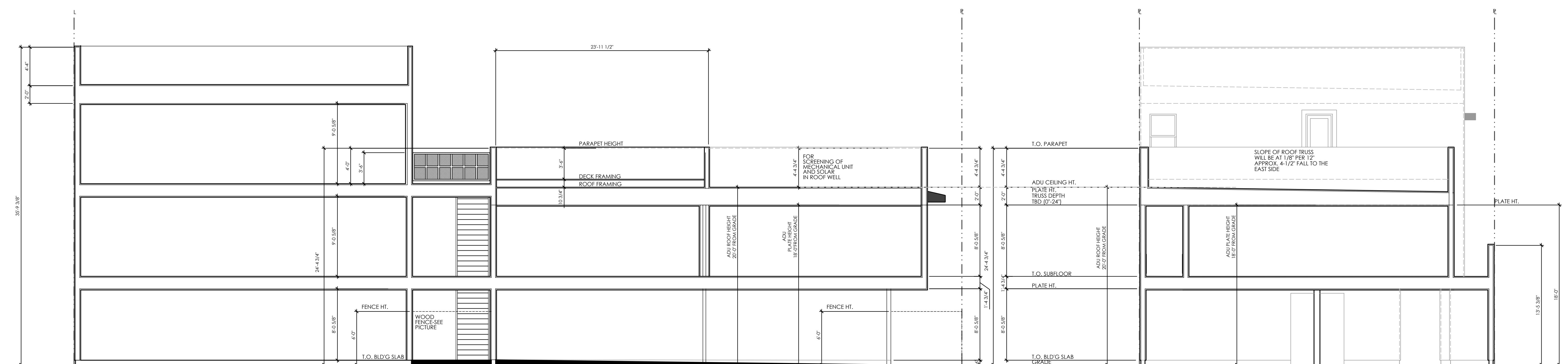
Created: 01/17/2026
February 9th, 2026



LEE JAGOE ARCHITECTURE
INCORPORATED

340 Amador Avenue Apartments

Villazzo Group



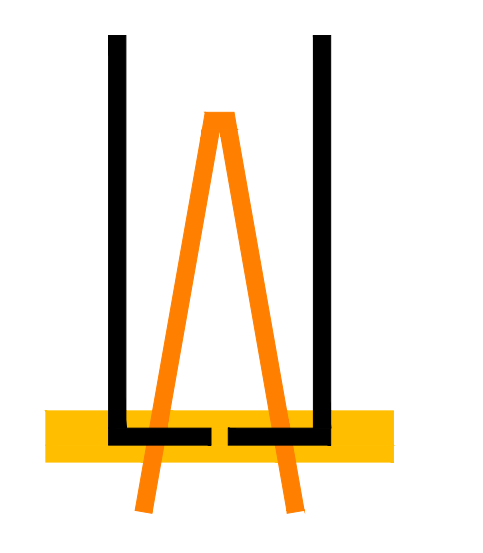
8 feet/8 feet Differential
at Ground Floor

West (Right) Elevation

South (Rear) Elevation

340 Amador Avenue Apartments

Sheet A.3
Building
Section



Scale: 3/16"=1'-0"
April 08, 2026

LEE JAGOE ARCHITECTURE
INCORPORATED

Location Map. 340 Amador Avenue





**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.C.

TO: Planning Commission

BY: Andrew Myrick, Housing & Planning Manager

DATE: April 22, 2026

SUBJECT: APPROVAL OF 2026-2027 COMMISSION WORK PLAN

RECOMMENDATION

Staff recommends that the Commission approve the attached Work Plan.

BACKGROUND

The City of Seaside requires that each of its Commissions prepare and submit a Work Plan for each upcoming fiscal year. This Work Plan includes information regarding the activities of the Commission during the past year as well as planned activities for the upcoming year.

The Work Plan presented is consistent with recent Work Plans, with activities consisting of the review and approval/denial or recommendation to items presented to the Commission, as described in the City's Zoning Ordinance. A list of projects reviewed by the Commission within the current fiscal year is also included.

City Administration has requested that the Commission take action on this item no later than May 1, 2026.

FISCAL IMPACT

There is no fiscal impact associated with this Item.

ATTACHMENTS

1. PC 2026 Workplan

PLANNING COMMISSION FY26/27 WORKPLAN

William Silva, Chairperson

Gonzalo Quintero Alcaraz

Keith Dodson

Dave Evans

Arlington La Mica

Edgar Mendoza

Robert Ward

Page 2 – Mission Statement

The Planning Commission is the primary decision-making authority for certain development applications, and it advises the City Council on various land-use policy matters. Additionally, the Commission is the decision-making body of the architectural review process and is responsible for the review of various residential and commercial design proposals, including second-story residential additions, commercial facade changes, and other design related projects.

Historical Background

State law and local ordinance prescribe the roles and responsibilities of the Planning Commission. In general, state law defines a planning commission as a committee appointed by the elected legislative body (City Council) to review matters related to planning and development and a general advisory body on land use planning.

Pursuant to Section 2.26.030 of the Municipal Code, the Planning Commission shall have all the powers and perform duties as provided in Government Code Section 65103 (See Link to Government Code below). It shall be the function and duty of the planning commission to prepare, periodically review and revise, as necessary, the general plan of the city and to implement the general plan through actions including, but not limited to, the administration of specific plans and zoning and subdivision ordinances. The planning commission will also act as the board of architectural review, as it pertains to all references in SMC [17.70.070](#).

http://leginfo.legislature.ca.gov/faces/codes_displaySection.xhtml?lawCode=GOV§ionNum=65103

Page 3 – Fiscal Year Work Plan

I. Provide Recommendation to the City Council on Legislative Items

Section 17.60.020 (Table 5-1) of the City's Zoning Ordinance specifies the role of the Planning Commission when reviewing applications submitted pursuant to the Zoning Ordinance. The Planning Commission's role with regards to legislative items (including General Plan Amendments, Precise/Specific Plans [including Amendments], and Zoning Ordinance or Map Amendments) is to provide a recommendation to the City Council regarding the adoption of the item. Staff will work with the Commission to draft sound policies that incorporate elements that will benefit the community and guide development in a manner to accomplish Seaside's goals.

II. Make Decisions on Discretionary Planning Permits

The Planning Commission shall make decisions to approve or deny permit applications, such as Use Permits, Variances, and Planned Development Permits, when such authority is assigned to the Commission within the City's Zoning Ordinance (Table 5-1).

III. Serve as an Appellate Body for Zoning Administrator Decisions

When a decision of the Zoning Administrator is made pursuant to the Zoning Ordinance, a party may appeal that decision. The Planning Commission serves as the appellate body for decisions of the Zoning Administrator.

Page 4 – Prior Year Accomplishments

The Planning Commission has reviewed the following projects so far during the current fiscal year:

Date	Project	Description
July 9, 2025	UP-2025-004	Meals on Wheels Food Distribution Center at 1020 Auto Center Parkway
September 24, 2025	UP-2025-008	Parking Reduction at 1372 Military Avenue
December 10, 2025	UP-2025-002	Meeting Facility at 795 Broadway Avenue
December 10, 2025	AR-2025-022	New Trash Enclosure at 795 Broadway Avenue
December 10, 2025	AR-2025-023	Second Story Addition at 1841 Yosemite Street
January 14, 2026	ZOA-2026-001	Recommend Modification of Definition for Public Safety Facility
January 14, 2026	SPA-2025-002	Recommend revised permit processing procedures for Campus Town Specific Plan
February 11, 2026	AR-2024-018	Second-Story Addition to 1395 Flores Street
February 11, 2026	AR-2025-001	Construction of 37-bay Automotive Service Center at 5 Heitzinger Plaza
March 25, 2026 April 22, 2026	AR-2024-002 UP-2025-007	Three-Story Triplex at 340 Amador Avenue with reduction in distance for parking stalls from opposite side of alley
March 25, 2026	UP-2026-001 PDP-2025-001 AR-2026-001	Construction of new Residential Care Facility at 1732 Fremont Boulevard

Page 5 – Ongoing Projects

The Planning Commission reviews projects as they become available.