



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, February 3, 2016
5:30 PM

PLEASE TURN OFF YOUR CELL PHONES UPON ENTERING THE MEETING

1. **CALL TO ORDER**

BOARD OF ARCHITECTURAL REVIEW

Toby Keller	Chair
Mitsugu Mori	Board Member
Ken Rudisill	Board Member
Kathleen Ventimiglia	Board Member

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

3. **REVIEW OF AGENDA**

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. **ORAL COMMUNICATION**

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. **ELECTION OF OFFICERS**

6. **APPROVAL OF MINUTES**

A. **REGULAR MEETING MINUTES OF NOVEMBER 18, 2015**

B. **REGULAR MEETING MINUTES OF DECEMBER 16, 2015**

C. **REGULAR MEETING MINUTES OF JANUARY 6, 2016**

7. **BUSINESS ITEMS**

- A. Board of Architectural Review Application No. BAR-11-10: The City of Seaside, applicant, is requesting final approval of the architectural design for the proposed West Broadway Urban Village Infrastructure Improvements Plans. The project site is located within the public right-of-way on Broadway Avenue between Del Monte Boulevard and Fremont Boulevard and on Del Monte Boulevard between Canyon Del Rey Boulevard and Olympia Avenue within the West Broadway Urban Village Specific Plan Area. In compliance with Section 15164 of the California Environmental Quality Act (CEQA), an addendum to the West Broadway Urban Village Specific Plan Final Environmental Impact Report was approved by the City of Seaside City Council on February 16, 2012 (Resolution No. 12-17).**

PURPOSE: In accordance with Seaside Municipal Code (S.M.C.) Sections 17.52.030.B.6 and 17.52.030.C, the Board of Architectural Review (BAR) is required to review and approve publicly-financed projects. The purpose of the architectural review is to improve the aesthetic appearance of public infrastructure and open spaces, especially those visible from public rights-of-way. The purpose of this item is for the BAR to approve the final variety and number of trees for the first phase of this project.

RECOMMENDATION: Staff recommends that the BAR amend the Conditions of Approval for the architectural design elements for the West Broadway Urban Village Infrastructure Improvements Project Plans (the Plans) in order to:

1. Include the final variety and number of trees that will be included in the design documents for the proposed public improvements within the designated public right of way within the West Broadway Urban Village Specific Plan.
2. Incorporate Low Impact Development Standards.

The amended Conditions of Approval are provided as Attachment 1. The amended Streetscape Master Plan, attached hereto as Exhibit A to Attachment 1, identifies the variety and number of trees and the proposed low impact development landscaping.

- B. Sign Permit Application No. SP-15-19: Katherine Birtola, property owner, and Anjanette Adams, applicant, are requesting approval of a three foot by eight foot facia mounted sign at "Gloria's Fabrics" located at 775 Broadway Avenue, located in the MX (Mixed Use – West Broadway Urban Village Plan) Zoning District. The project is exempt from the California Environmental Quality Act pursuant to Class 11, Section 15311. Class 11 consists of construction, or placement of minor structures accessory to existing commercial, industrial, or institutional facilities, including signs. (Continued from the meeting of January 20, 2016).**

PURPOSE: Pursuant to Section 7, Development Standards and Design Guidelines for the West Broadway Urban Village Plan (WBUVP), all signs are subject to design review approval by the Board of Architectural Review (BAR).

RECOMMENDATION: Staff recommends approval of the new sign subject to the findings, evidence and Conditions of Approval provided as Attachment 1, Exhibit "A" – Project Plans.

C. SIGN PERMIT APPLICATION NO. SP-16-01: CITY OF SEASIDE, PROPERTY OWNER AND APPLICANT, IS REQUESTING APPROVAL OF A FIVE-FOOT NINE-INCH TALL FREESTANDING SIGN IN FRONT OF THE FIRE DEPARTMENT BUILDING LOCATED AT 1635 BROADWAY AVENUE IN THE PI (PUBLIC INSTITUTIONAL) ZONING DISTRICT. THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CLASS 11, SECTION 15311. CLASS 11 CONSISTS OF CONSTRUCTION, OR PLACEMENT OF MINOR STRUCTURES ACCESSORY TO EXISTING COMMERCIAL, INDUSTRIAL, OR INSTITUTIONAL FACILITIES, INCLUDING SIGNS.

PURPOSE: In accordance with Section 17.40.030.A of the Seaside Municipal Code, the proposed sign is subject to the review and approval by the Board of Architectural Review.

RECOMMENDATION: Staff recommends approval of the new sign subject to the findings, evidence and Conditions of Approval provided as Attachment 1, Exhibit "A" - Project Plans.

8. REPORTS FROM BOARD MEMBERS

9. REPORTS FROM STAFF

10. ADJOURNMENT

Next Regularly Scheduled Meeting:
Wednesday, February 17, 2016
Seaside City Hall
5:30 PM

The City of Seaside is an ADA accessible facility and is committed to include the disabled in all of its services, programs and activities. Any person who requires accommodation to be able to participate in this meeting is asked to contact the office of the City Clerk at 899-6707, no fewer than two business days prior to the meeting to allow for reasonable arrangements.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are also available.

Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Meetings are also available through live streaming at: <http://cvp.telvue.com/player?id=T01629&video=52314&noplaylistskin=1&width=400&height=300> Videos of past meetings are available on demand through the City's website: <http://www.ci.seaside.ca.us>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



MEETING MINUTES
DRAFT

CITY OF SEASIDE

Board of Architectural
Review

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, November 18,
2015
5:30 PM

1. **CALL TO ORDER AT 5:30PM**

2. **ROLL CALL – ESTABLISHMENT OF QUORUM**

MEMBERS Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
PRESENT: Toby Keller, Mitsugu Mori, Kathleen Ventimiglia
ABSENT: Ken Rudisill

3. **APPROVAL OF MINUTES**

A. REGULAR MEETING OF AUGUST 5, 2015

B. REGULAR MEETING OF SEPTEMBER 16, 2015

On motion by Member Ventimiglia and Seconded by Member Mori and carried by the following vote the BAR moved to continue the August 5 & September 16 regular meeting minutes to the December 2, 2015 meeting.

AYES	3	COMMITTEE MEMBERS	Toby Keller, Mitsugu Mori, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Ken Rudisill
RECUSED	0	COMMITTEE MEMBERS	

4. **ORAL COMMUNICATION**

None

5. **BUSINESS ITEMS**

A. ARCHITECTURAL REVIEW APPLICATION NO. BAR-15-15: CARLOS CASTRO, APPLICANT AND PROPERTY OWNER, IS REQUESTING DESIGN REVIEW APPROVAL FOR AS-BUILT CHANGES MADE TO THE EXTERIOR FAÇADE AND FREE-STANDING THAT WERE APPROVED (BAR-14-12) FOR A 10-BED RESIDENTIAL CARE FACILITY LOCATED AT 1201 LA SALLE AVENUE IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT. THE PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW UNDER CATEGORICAL EXEMPTION CLASS 1, SECTION 15301(a).

Bob Larsen, Associate Planner presented the project and staff report in which the applicant received a Use Permit to establish a 10-bed senior residential care facility at 1201 La Salle Avenue and at the time that the approvals were granted, the applicant discussed adding window treatments to the alley windows (west elevations) in the future, but it was determined that these changes would be subject to BAR approval. The applicant is before the Board after window treatments was added to the west elevations without prior approval and now is requested to be approved as built.

The applicant is requesting the following amendments:

1. Replace the metal awnings above the windows on the west elevation facing the alley with wood shingles to match existing shingle awnings that have been installed on other windows. The existing metal awning supports on the west elevation have been covered with shingles. Brown (Bistro Brown by Kelly-Moore) shutters and red (Fire Cracker by Behr) window boxes frame the windows and are the same colors as the window treatments in the interior courtyard. The window boxes hold planters matching the planters in the interior of the project. The west wall has been painted a tan (Marias Stone by Behr) to match the remaining exterior of the building.
2. The second amendment consists of modifying the sign located at the southwesterly corner of the site. The approved sign consists of a four foot by eight foot wood sign with white acrylic letters mounted on four by four wood posts at the southwest corner of the property. The as-built sign consists of a two foot by four foot metal sign mounted on a stone veneer wall elevated approximately 30 inches above the ground at the southwest corner of the site. The stone is the same material used throughout the project on the face of the building and low interior courtyard walls. The vertical wall that the sign is mounted to has been plumbed with a recirculating waterfall feature. The flat horizontal shelf in front of the sign will hold flowers.

Staff recommended approval of the requested sign and façade changes subject to the Conditions of Approval provided as Attachment 1.

The Board discussed the amendments proposed by the applicants and determined that they wanted to wait for the applicants to arrive to the meeting in order to have their questions answered directly by the applicants. Chairperson Keller recessed the meeting until the applicants arrived.

Applicant, Carlos Castro arrived at 5:57pm.

The Board inquired about the design choice for the triangular block in front of the sign and options to improve the aesthetics of the look in the frontage. The applicant agreed to eliminate the wedge and apply stone on the wall below the sign.

On motion by Member Mori and carried by the following vote the BAR

approved BAR-15-15, including modification conditions set by the Board in regards to the removal of the triangular wedge below the front sign and continue the stone wall down to the ground and infill the ground area with plants surrounded by a planter wall no higher than 12 inches tall.

AYES	3	COMMITTEE MEMBERS	Toby Keller, Mitsugu Mori, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Ken Rudisill
RECUSED	0	COMMITTEE MEMBERS	

6. REPORTS FROM BOARD MEMBERS

Question from Member Ventimiglia as to whether there was a second meeting in December. Board was advised that meetings in December were still to be determined.

7. REPORTS FROM STAFF

None

8. ADJOURNMENT @ 6:18pm

On motion by Member Mori and Seconded by Member Ventimiglia and carried by the following vote the BAR adjourned the meeting at 6:23pm

AYES	3	COMMITTEE MEMBERS	Toby Keller, Mitsugu Mori, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Ken Rudisill
RECUSED	0	COMMITTEE MEMBERS	



MEETING MINUTES
DRAFT

CITY OF SEASIDE

Board of Architectural
Review

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, December 16,
2015
5:30 PM

1. **CALL TO ORDER AT 5:30PM**

2. **ROLL CALL – ESTABLISHMENT OF QUORUM**

The meeting was called to order by Vice-Chair Kathleen Ventimiglia due to the absence of Chairperson Toby Keller at 5:30pm.

MEMBERS Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia

PRESENT: Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia

ABSENT: Toby Keller

3. **APPROVAL OF MINUTES**

None

Board member Rudisill mentioned correction to the agenda that Toby Keller should be indicated instead of himself.

4. **ORAL COMMUNICATION**

Resident – Reported graffiti on the doors of a commercial building at 657 Broadway Avenue, submitted code enforcement complaint form.

5. **BUSINESS ITEMS**

A. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-15-12 AND SIGN PERMIT APPLICATION NO. SP-15-12. KIM HONG, APPLICANT, AND KU HUI HONG, PROPERTY OWNER, REQUESTED DESIGN REVIEW APPROVAL FOR CHANGES TO THE EXTERIOR BUILDING COLORS AND FOR THE INSTALLATION OF NEW WALL SIGNS ON AN EXISTING COMMERCIAL BUILDING LOCATED AT 1949 FREMONT BOULEVARD IN THE REGIONAL COMMERCIAL (CRG) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CLASS 1, SECTION 15301, EXISTING FACILITIES.

Bob Larsen, Associate Planner presented the staff report and project. The project applicant purchased Ord Terrace Liquors and Grocery in May of 2014. After obtaining the property, the applicant proceeded to paint the building and change the exterior signs without the benefit of obtaining the

required permits. The City’s Code Enforcement contacted the owner and this action prompted the process of the application to approve a new paint scheme for the exterior of the building and new wall signs. Currently the body of the building is stucco and has been repainted using a soft green color (Sherwin-Williams custom Desert Chaparral) for the body and a black accent for the secondary trim element. The primary exterior accent color is black. The black trim color occurs at the front (Fremont Boulevard) elevation along the face of an overhang that extends along the length of the building just above the window height. The applicant is proposing to maintain the green (Desert Chaparral) body color. All of the existing black and red accent striping, painted signs, and black column elements are proposed to be repainted a dark brown (Sherwin-Williams SW6069 French Roast) color. The side and rear windows will be trimmed in brown and red. The front door trim will be painted brown. The applicant also proposes to bring the exterior signs into compliance as well by reducing the sign area.

Staff recommends that the Board consider the proposed color changes as presented and determine if:

- 1. The proposed colors are appropriate for the building and approve as submitted, or
- 2. The Board request that the applicant provide alternate color changes for the Board’s consideration.

On motion by Member Rudisill and Seconded by Member Mori and carried by the following vote the BAR directed the applicant to provide alternate color change and signage with consideration of the Board’s comments and in compliance with the requests of the open Code Enforcement case, this item will also be continued to a future meeting date.

AYES	3	COMMITTEE MEMBERS	Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Toby Keller
RECUSED	0	COMMITTEE MEMBERS	

B. ARCHITECTURAL REVIEW APPLICATION NO. BAR-15-17 AND MASTER SIGN PROGRAM MSP-15-02. FRANK FLORES, PROPERTY OWNER, AND MARK PORTER, SUSANA RODRIGUEZ, AND EDWARD MARTINEZ, APPLICANTS REQUESTED DESIGN REVIEW APPROVAL FOR CHANGES TO THE EXTERIOR BUILDING COLORS AND EXTERIOR LIGHTING, AND A MASTER SIGN PROGRAM FOR THE INSTALLATION OF NEW WALL SIGNS ON THE FRONT FAÇADE OF A COMMERCIAL BUILDING LOCATED AT 855 BROADWAY AVENUE IN THE MIXED USE (MX) ZONING DISTRICT WITHIN THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN. THE

PROJECT IS CATEGORICALLY EXEMPT CLASS 1 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.

Rick Medina, Senior Planner, presented the project and staff report. The proposed project will consist of modifications being made to the front façade of an existing commercial building to accommodate new exterior building colors and new exterior lighting at the front entry doors at 855 Broadway Avenue. The proposed changes are being requested as part of change in the occupancy of the building from a single tenant to a multi-tenant building consisting of four separate businesses. The project site was recently occupied by Monterey Bay Pro Player Development, a baseball training and fitness training studio. The building now includes the following tenants:

1. First Impressions Party Supply
2. Andrews Printing
3. Four Seasons Sunrooms
4. RE Power Solar Universe

The new colors would consist of the following:

Body	-	Kelly Moore Remington Rust
Trim (Fascia Gutter and Windows)	-	Kelly Moore Sonora Apricot

No changes would be made to the existing vertical red brick columns/wainscot. The color of the rear façade facing the rear alley and service areas of the auto center will remain as off-white.

Staff recommended approval of façade modifications (e.g. colors, exterior lighting) and new wall signs per the Master Sign Program subject to the conditions of approval provided as Attachment 1 and Attachment 2. The exterior building colors are provided as Exhibit “A” to Attachment 1 and the lighting details are provided as Exhibit “B” to Attachment 1. The Master Sign Program is provided as Exhibit “A” to Attachment 2.

Mark Porter, Susana Rodriguez, and Edward Martinez, applicants were available to provide insight on the details for the signs and the work completed on the exterior façade. The Board discussed options on making certain signs more visible to passing traffic, such as a white outline behind the vinyl lettering.

Public comment was opened.

Kelly – tenant of the property indicated that the signage for the “RE Power Solar Universe” was that of franchise signage and could not be altered per the pre-existing agreement.

Public comment was closed.

Chairperson Rudisill stated for the record that he had previously employed Four Seasons Sunrooms on his own previous and personal projects and confirmed that they were currently not in contract with each other or any other financial connection between himself and the applicant.

The Board

On motion by Member Rudisill and Seconded by Member Moriand carried by the following vote the BAR approved BAR-15-17 and MSP-15-02 with the modifications to the sign in regards to changes that will allow for greater visibility and the applicant will provide a sample to be further approved by Board Vice-Chairperson Kathleen Ventimiglia.

AYES	3	COMMITTEE MEMBERS	Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Toby Keller
RECUSED	0	COMMITTEE MEMBERS	

C. ARCHITECTURAL REVIEW APPLICATION NO. BAR-15-19. MARINA COAST WATER DISTRICT PROPERTY OWNER, AND MONTEREY COUNTY, APPLICANT, REQUESTED DESIGN REVIEW APPROVAL FOR THE INSTALLATION OF TWO NEW OMNI POLE MOUNT ANTENNAS AND A MICROWAVE DISH ONTO AN EXISTING TELECOMMUNICATION MONOPOLE LOCATED AT 4601 PARKER FLATS ROAD IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 3 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.

Rick Medina, Senior Planner presented the project and staff report. On November 18, 2015 the Planning Commission acted to approve the use permit and variance application to allow for modifications (detailed below) and was also directed the applicant to forward the project to the Board of Architectural Review to determine if there were other options which could be implemented to extend the faux branches upward to screen the upper pole mount antenna in similar manner as the lower antennas are currently screened. The proposed project is located on a 2.33-acre parcel owned by the Marina Coast Water District on a hilltop known as Welsh Ridge in the former Fort Ord Army Base. The site is being used by Marina Coast Water District for the storage and distribution of a municipal water source. The parcel is accessible by an unimproved dirt road off of Eucalyptus Road.

1. The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations and design criteria for signs.

Evidence: The construction of the proposed antennas will represent a minor modification to the existing telecommunication facility and will be compatible with the scale, style, and architectural character of the existing monopine structure and surrounding area open space area to the east, north and south and residential community to the west.

Evidence: In addition to designs included on project plans (included as Exhibit A to Attachment 1), the Applicant submitted a photo simulation that show how the proposed antennas will blend within the faux branches of the monopole that has been camouflaged to resemble a coniferous tree (photo simulation included as Attachment 7). Staff finds that the tree-pole treatment would minimize the visual impact of the new antennas and would blend with the surrounding natural tree canopy. The antennas on the lower portion of the pole will be painted hunter green to blend with the faux branches. The upper Rx spire antenna will be painted sky blue or sky gray to blend with the horizon. As a condition of approval for this project, all antennas, poles, and towers would conform to the colors and materials of a typical tree-pole facility as indicated in the photo simulation.

Staff recommends that the Board of Architectural Review consider the use of paint colors to blend the addition of the proposed antennas and microwave dish into the existing monopine design in accordance with the conditions of approval provided as Attachment 1.

The Board reviewed the pictures provided by staff in regards to the color of the pole and how it would look in the horizon.

Public comment was opened, none was received. Public comment was closed.

The Board approved the project as proposed and determined that the manufactured color would blend in with the horizon appropriately.

On motion by Member Rudisill and Seconded by Member Mori and carried by the following vote the BAR approved BAR-15-19

AYES	3	COMMITTEE MEMBERS	Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Toby Keller
RECUSED	0	COMMITTEE MEMBERS	

6. REPORTS FROM BOARD MEMBERS

None

7. REPORTS FROM STAFF

Lisa Brinton, Community & Economic Development Services has accepted a position with the City of Salinas.

8. ADJOURNMENT @ 6:30pm

On motion by Member Mori and Seconded by Member Mori and carried by the following vote the BAR adjourned the meeting at 6:30pm.

AYES	3	COMMITTEE MEMBERS	Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
NOES	0	COMMITTEE MEMBERS	
ABSENT	1	COMMITTEE MEMBERS	Toby Keller
RECUSED	0	COMMITTEE MEMBERS	

DRAFT



MEETING MINUTES
DRAFT

CITY OF SEASIDE

Board of Architectural
Review

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, January 6, 2016

5:30 PM

1. **CALL TO ORDER AT 5:33 PM**

2. **ROLL CALL – ESTABLISHMENT OF QUORUM**

MEMBERS Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia

PRESENT: Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia

ABSENT:

3. **APPROVAL OF MINUTES**

A. SEPTEMBER 16, 2015 REGULAR MEETING MINUTES

B. OCTOBER 7, 2015 REGULAR MEETING MINUTES

C. OCTOBER 21, 2015 REGULAR MEETING MINUTES

D. NOVEMBER 18, 2015 REGULAR MEETING MINUTES

On motion by Member Rudisill and Seconded by Member Mori and carried by the following vote the BAR approved the meeting minutes of September 16, October 7 and October 21, 2015 regular meetings and continued the November 18, 2015 regular meeting minutes to the next regular meeting on January 20, 2016.

AYES	4	COMMITTEE MEMBERS	Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
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NOES	0	COMMITTEE MEMBERS
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ABSENT	0	COMMITTEE MEMBERS
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RECUSED	0	COMMITTEE MEMBERS
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4. **ORAL COMMUNICATION**

None

5. **BUSINESS ITEMS**

A. Board of Architectural Review Application No. BAR-15-16. HGHB Architects, applicant, and Tom Maher, property owner, are requesting design review approval for the installation of a new exterior storefront, building colors, and landscaping associated with the expansion and remodel of the showroom and related offices at the BMW of Monterey new car dealership located at 1 Geary Plaza in the Automotive Regional

Commercial (CA) Zoning District. In accordance with the California Environmental Quality Act, the project is Categorically Exempt Class 1.

Bob Larsen, Associate Planner presented the project and staff report. BMW of Monterey is proposing to upgrade the dealership with the following improvements:

1. Expand the showroom by 1,529 square feet under the existing roof canopy on the front facade. The addition will expand the existing perimeter glass walls approximately six feet along the west, south, and east walls of the showroom with a new metal and glass storefront system (Kawneer 1620SSG Curtain Wall w/1 inch insulated glass typical). The showroom and sales office will increase from 6,696 square feet to 8,200 square feet.
2. Remodel the interior office layout and introduce new glass entrance doors.
3. The service drive will be enclosed with roll-up doors that can be secured at night. These doors will have glass panels and will roll out of sight during daytime use. The parts and service department will increase from 7,420 square feet to 9,200 square feet.
4. The total area of the building will increase from 24,712 square feet to 27,996 square feet.
5. Two service bay doors at the north end of the building will be replaced with new aluminum roll up doors to match the adjacent service bay doors.
6. Two existing service bays at the south end of the building will be turned into a new vehicle delivery area.
7. Portions of the exterior paving at the service entrance driveway will be replaced with new concrete.
8. The 23 customer parking spaces will be designated and two ADA spaces will be relocated and the path of travel from these spaces to the dealership entrance will be established in compliance with the applicable Building Codes. The entry steps on the east side of the showroom will be reconfigured as they lead to the existing showroom and office/service building. See Attachment 6 - Site Photographs.
9. A ramp will replace the entry steps at the south end of the building. A new stainless steel cable rail system will be introduced at this end of the building.
10. A Parex acrylic finish will be applied to the exterior of all of the buildings. The finish will be BMW White. See Attachment 8 - Parex sample.
11. The applicant has deferred the Master Sign Program submittal to a later date.
12. Exterior wall lighting will remain as shown in Attachment 7 – Lighting.

Staff recommended approval of the proposed exterior storefront, building colors and landscaping subject to the findings and Conditions of Approval and project plans.

The applicant representative, Phil Korche was present to answer questions

regarding the design details particularly in regards to the style and design of the service area doors, and design details for the landscaping.

On motion by Member Mori and Seconded by Member Ventimiglia and carried by the following vote the BAR approved BAR-15-16 with additional triangular part of the landscape (condition #6).

AYES	4	COMMITTEE MEMBERS	Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
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NOES	0	COMMITTEE MEMBERS
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ABSENT	0	COMMITTEE MEMBERS
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RECUSED	0	COMMITTEE MEMBERS
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6. REPORTS FROM BOARD MEMBERS

Board Vice Chairperson Ventimiglia reported that the Vortech is falling down and the permanent sign has yet to be put up.

7. REPORTS FROM STAFF

None

8. ADJOURNMENT AT 6:00PM

On motion by Member Rudisill and Seconded by Member Ventimiglia and carried by the following vote the BAR adjourned the meeting at 6:00pm.

AYES	4	COMMITTEE MEMBERS	Toby Keller, Mitsugu Mori, Ken Rudisill, Kathleen Ventimiglia
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NOES	0	COMMITTEE MEMBERS
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ABSENT	0	COMMITTEE MEMBERS
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RECUSED	0	COMMITTEE MEMBERS
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**CITY OF SEASIDE
STAFF REPORT**

Item No.: 7.A.

TO: Board of Architectural Review

BY: Diana Ingersoll, Deputy City Manager Resource Management Services
Rick Medina, Senior Planner
Rick Riedl, Senior Engineer

DATE: February 3, 2016

SUBJECT: **BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-11-10: THE CITY OF SEASIDE, APPLICANT, IS REQUESTING FINAL APPROVAL OF THE ARCHITECTURAL DESIGN FOR THE PROPOSED WEST BROADWAY URBAN VILLAGE INFRASTRUCTURE IMPROVEMENTS PLANS. THE PROJECT SITE IS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY ON BROADWAY AVENUE BETWEEN DEL MONTE BOULEVARD AND FREMONT BOULEVARD AND ON DEL MONTE BOULEVARD BETWEEN CANYON DEL REY BOULEVARD AND OLYMPIA AVENUE WITHIN THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN AREA. IN COMPLIANCE WITH SECTION 15164 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), AN ADDENDUM TO THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN FINAL ENVIRONMENTAL IMPACT REPORT WAS APPROVED BY THE CITY OF SEASIDE CITY COUNCIL ON FEBRUARY 16, 2012 (RESOLUTION NO. 12-17).**

PURPOSE

In accordance with Seaside Municipal Code (S.M.C.) Sections 17.52.030.B.6 and 17.52.030.C, the Board of Architectural Review (BAR) is required to review and approve publicly-financed projects. The purpose of the architectural review is to improve the aesthetic appearance of public infrastructure and open spaces, especially those visible from public rights-of-way. The purpose of this item is for the BAR to approve the final variety and number of trees for the first phase of this project.

RECOMMENDATION

Staff recommends that the BAR amend the Conditions of Approval for the architectural design elements for the West Broadway Urban Village Infrastructure Improvements Project Plans (the Plans) in order to:

1. Include the final variety and number of trees that will be included in the design documents for the proposed public improvements within the designated public right of way within the West Broadway Urban Village Specific Plan.
2. Incorporate Low Impact Development Standards.

The amended Conditions of Approval are provided as Attachment 1. The amended Streetscape Master Plan, attached hereto as Exhibit A to Attachment 1, identifies the variety and number of trees and the proposed low impact development landscaping.

BACKGROUND

The West Broadway Urban Village Infrastructure Improvements Project represents a major step towards the implementation of the public improvements envisioned to support the build out of the West Broadway Urban Village (WBUV) Specific Plan (the Specific Plan) that was adopted in January of 2010. The proposed project includes the design of public improvements, such as streetscape and intersection improvements along Broadway Avenue between Fremont and Del Monte Boulevards; realignment and signalization of the intersections at Broadway Avenue and Del Monte Boulevard, development of pedestrian and bicycle amenities, and the upgrade of public utilities, as needed, within the public right of way. Implementation of the Plan will begin the transformation of West Broadway as the core of a new pedestrian and bicycle friendly, transit-oriented urban village. These improvements integrate well with the Transportation Agency of Monterey County's (TAMC) vision for the development of an intermodal Seaside Station as part of its proposed Regional Light Rail Transit (LRT) service project. It is anticipated that the investment in the public facilities will serve as a catalyst to draw private investment into the West Broadway Urban Village area, which will promote economic growth and the creation of an urban core/downtown in Seaside.

In December 2009, the City submitted a grant application to the Economic Development Administration (EDA), an agency within the United States Department of Commerce, to provide funding for the preparation of the necessary civil and construction documents associated with the infrastructure improvements. The EDA awarded a grant of \$950,000 to the City in June 2010.

In November 2010, the City selected a team led by ROMA Design Group (ROMA) to prepare the construction documents for the streetscape and public improvements within the Specific Plan area. ROMA is an urban design firm that specializes in the design of streets and other public spaces. The design team also includes Mark Thomas & Company, civil engineers, Fehr & Peers, transportation and traffic planners, and Circle Point, environmental consultants.

On April 7, 2011, ROMA presented the preliminary design at a joint public meeting of the combined City of Seaside City Council, Planning Commission, and Board of Architectural Review. The project traffic engineer addressed questions that were raised regarding traffic,

circulation and parking as well as emergency and fire truck access.

On November 2, 2011, ROMA presented the streetscape design to the City of Seaside Board of Architectural Review (BAR) for review and comment. Minutes for the November 2, 2011 BAR meeting are provided as Attachment 3. Several board members expressed concern on the appropriateness of the proposed Liquidambar trees and their ability to thrive within the Broadway Avenue corridor considering the adverse environmental conditions in the area, specifically strong westerly winds. Concerns were also expressed about birds roosting in the proposed gateway sign to be located at the entrance to West Broadway at the Del Monte Boulevard intersection. Following the meeting, city staff and ROMA agreed that the proposed Liquidambar tree be substituted with the Washingtonia robusta palm and the plans were modified to reflect it as one of two palms to be planted along West Broadway. In addition, ROMA proposed a high frequency bird deterrent system to be incorporated into the proposed gateway sign.

On December 14, 2011, the Plans and the environmental document for the proposed project were presented to the City of Seaside Planning Commission (the Commission) during a regularly scheduled meeting for review and comment. An addendum to the Environmental Impact Report for the West Broadway Urban Village Specific Plan (EIR) was presented for consideration to the Commission in compliance with the California Environmental Quality Act. The EIR addendum included, among other things, an amended traffic study. Planning Commissioners recommended relocating the proposed bus stop on Del Monte Boulevard near the intersection with Broadway Avenue at a location further north on Del Monte Boulevard. Commissioners also recommended that staff present the addendum to the EIR and the West Broadway Urban Village Infrastructure Plan to the City Council for approval.

Following the December 14, 2011 Planning Commission meeting, the traffic analysis was refined by the project traffic engineer and concurrence was reached on relocating the proposed bus stop on Del Monte Boulevard to the north side of the Contra Costa Street intersection. This revised location was reviewed and approved by Monterey-Salinas Transit (MST).

On February 16, 2012, the Plans and the environmental documents were presented to the City of Seaside City Council during a regularly scheduled meeting for review and approval. The City Council approved the plans and the addendum to the EIR under Resolution Nos. 12-17 and 12-18, respectively.

On March 6, 2013, the Plans were presented to the BAR for review and approval of site design and landscape elements, irrigation elements, and lighting elements (March 6, 2013 BAR Meeting Minutes are provided as Attachment 4). The BAR found that the Plans were consistent with City of Seaside General Plan, the West Broadway Specific Plan, and the City of Seaside Municipal Code regarding landscaping and outdoor lighting. However, the BAR requested that staff investigate using a New Zealand Christmas Tree as an alternative to the Mexican Fan Palm based on the ability of a New Zealand Christmas Tree to withstand the salt air and wind burn from the ocean air. The Plans were approved by the BAR subject to City staff coming back to the BAR to receive approval from the BAR on the final variety and number of trees prior to construction. Due to the project Landscape Architect recommending that the City purchase all

trees one year in advance of their installation in order to have the trees grown at a nursery whereby they would then be transplanted on-site, the City needs to have the BAR approval taken at this time.

SITE LOCATION AND DESCRIPTION

The Project Area encompasses public rights-of-way and publicly-owned properties in downtown Seaside, which have General Plan and zoning designations as “Mixed Use” (MX), as established by the West Broadway Urban Village Specific Plan. The Project Area includes the length of Broadway Avenue from Fremont Boulevard to Del Monte Boulevard (referred to here as West Broadway Avenue), as well as Del Monte Boulevard from Canyon Del Rey Boulevard to Contra Costa Street and portions of those streets intersecting Broadway Avenue and a small portion of Contra Costa Street. Most of the proposed work in Del Monte Boulevard from Canyon Del Rey Boulevard to Contra Costa Street will consist of striping and markings for the proposed bicycle lanes. A location map is provided as an Attachment 2.

Due to limited funding, the proposed project will be phased to match available funding. The first phase of the project is shown on the attached Exhibit A of Attachment 1. The first phase would include work within the Project Area along Broadway Avenue from Fremont Boulevard to just west of Hillsdale Street. The second phase would include the remainder of work within the Project Area along Broadway Avenue from Hillsdale Street to Del Monte Boulevard.

PROJECT DESCRIPTION

The proposed improvements are summarized below. The Exhibit A of Attachment 1 shows the streetscape master plan for the first phase of these improvements.

West Broadway Avenue

At present, West Broadway Avenue, between Del Monte Boulevard and Fremont Boulevard, is a four-lane roadway with 8-foot wide sidewalks. In the future, the Project would provide a distinctive new streetscape with widened sidewalks that are generally 15 feet wide, extending to approximately 20 feet with bulb-outs at mid-block and at the intersections. Broadway Avenue would be reduced from four-lanes to two-lanes with bicycle lanes provided on both sides of the street.

Bike Lanes

Designated bike lanes will be on both sides of the street along the length of West Broadway Avenue and on both sides of the street along Del Monte Boulevard from Canyon Del Rey to Broadway Avenue. Bicycle access will be provided by clearly marked street bike lanes and bike boxes at critical intersections. The Broadway Avenue bike lanes will be delineated with green pavement and contrasting markings to enhance visibility and rider safety. The Del Monte Boulevard bike lanes will be delineated only with pavement striping and markings.

Pedestrian Circulation

Pedestrian access is provided to create a complete, connected network of sidewalks with crosswalks and pedestrian signals at key crossing locations. Sidewalks vary in width with bulb-outs at the street intersections to enhance pedestrian safety at the crosswalks. Although the sidewalks fronting Broadway Avenue next to the CityCenter shopping center will not be modified, the existing tree wells that protrude into the street will be removed to accommodate the proposed bike lane. Crosswalks will be delineated with high-visibility white-painted crossing marks and stop bars.

Urban Village Infrastructure Environment

The proposed narrowing of West Broadway Avenue will allow for additional streetscape amenities and enhanced pedestrian spaces. The planting of trees along the street will be utilized to accent the intersections and mid-block bulb-out areas, as well as creating a continuous streetscape along the street. In addition, distinctive pedestrian-scale lighting, architectural stamped concrete, benches, bike racks, trash receptacles and other furnishings will be used to enhance the street environment.

Medjool Date Palms (*Phoenix dactylifera* ‘Medjool’) with 25-foot brown trunk will be placed at intersection and mid-block bulb-outs. New Zealand Christmas Trees (*Metrosideros excels*), which are now being proposed to replace Mexican Fan Palms (*Washingtonia robusta*), will be placed curbside along West Broadway Avenue to provide a continuous canopy and pedestrian scale.

Post-Construction Source Control Measures to Enhance Storm Water Quality along Broadway Avenue

The Central Coast Regional Water Quality Control Board has implemented design guidelines for redevelopment projects that disturb land areas such as proposed by this project. The guidelines incorporate Low Impact Development Standards (LID) to improve storm water quality and were developed to support the National Pollutant Discharge Elimination System (NPDES) General Permit for Waste Discharge Requirements (WDRs) for Storm Water Discharges from Small Municipal Separate Storm Sewer Systems (MS4s) Order No. 2013-00001-DWQ NPDES No. CAS000004. For projects that disturb more than 22,500 square feet of impervious area, the project must address storm water quality and attenuating storm water runoff peak flows. The proposed LID landscaping elements would improve storm water quality and help attenuate storm water peak flows.

ENVIRONMENTAL DETERMINATION

In compliance with Section 15164, “Addendum to an EIR or Negative Declaration” of the California Environmental Quality Act (CEQA), an addendum to the West Broadway Urban Village Specific Plan Final Environmental Impact Report was approved by the City of Seaside City Council on February 16, 2012 (Resolution No. 12-17).

STAFF ANALYSIS

On March 6, 2013, the Plans were presented to the BAR for review and approval of site design and landscape elements, irrigation elements, and lighting elements. The BAR found that the Plans were consistent with City of Seaside General Plan, the West Broadway Specific Plan, and the City of Seaside Municipal Code regarding landscaping and outdoor lighting. In accordance with the BAR direction, staff is proposing that the New Zealand Christmas Tree (*Metrosideros excels*) replace the Mexican Fan Palm (*Washingtonia robusta*). The attached Exhibit A to Attachment 1 shows the proposed location and number of trees for the first phase of this project. The New Zealand Christmas Trees (*Metrosideros excels*) will be placed curbside along West Broadway Avenue to provide a continuous evergreen canopy in contrast with the Medijool Palm Trees being placed at intersection and mid-block bulb-outs. Additionally, under the Active Transportation Program (ATP) grant, the shade canopy of the New Zealand Christmas Trees would qualify the City to obtain a reimbursable cost for these trees as the shade canopy is classified as a functional benefit to the community. The Mexican Fan Palm is classified as a decorative tree which would not qualify for grant reimbursement.

It is recommended that the BAR approve an amendment to the Conditions of Approval substituting the New Zealand Christmas Tree (*Metrosideros excels*) for the Mexican Fan Palm (*Washingtonia robusta*) and to incorporate post-construction Source Control Measures (SCMs) to mitigate storm water pollution and run-off intensity consistent with Low Impact Development (LID) design guidelines found in the NPDES WDR MS4 permit for the City of Seaside.

FISCAL IMPACT

There is no fiscal impact associated with this item.

ATTACHMENTS

1. Attachment 1 - Conditions of Approval
 2. Attachment 1 - Exhibit A
 3. Attachment 2 - Location Map
 4. Attachment 3 - Nov 2 2011 BAR Meeting Minutes
 5. Attachment 4 - Mar 6 2013 BAR Meeting Minutes
-

Conditions of Approval
File No. BAR-11-10
March 6, 2013
Amended February 4, 2016

WHEREAS, on January 21, 2010, the City Council and Agency Board approved the West Broadway Urban Village Specific Plan (the Specific Plan) by way of Ordinance No. 984, and

WHEREAS, the Specific Plan illustrates a vision for Seaside's downtown, as articulated by the General Plan, City Council, and community, and provides a framework for creating an Urban Village in the area of West Broadway Avenue; and

WHEREAS, the West Broadway Urban Village Infrastructure Improvements Project Plans ("the Plan") is a partial implementation of the first development phase for the Specific Plan; and

WHEREAS, the City of Seaside is the applicant to the BAR for implementing the Plan; and

WHEREAS, the project site is located within the public right-of-way on Broadway Avenue between Del Monte Boulevard and Fremont Boulevard and on Del Monte Boulevard between Canyon Del Rey Boulevard and Olympia Avenue within the West Broadway Urban Village Specific Plan Area; and

WHEREAS, the Plan proposes streetscape and infrastructure improvements that the Specific Plan presented in more conceptual form; and

WHEREAS, the Plan creates an appealing civic identity that will contribute to the amenity, livability and attractiveness of the downtown area; and

WHEREAS, the Plan shows on Sheets 75 through 128 site design and landscape elements, on Sheets 129 through 139, irrigation elements, on Sheets 140 through 146, lighting elements; and

WHEREAS, representatives from the city's consultant, ROMA Design Group (ROMA), and city staff met stakeholders and the community at large in a series of meetings to obtain input on the Plan; and

WHEREAS, on November 2, 2011, ROMA gave a presentation of the Plan to the City of Seaside Board of Architectural Review (the BAR) for consultation; and

WHEREAS, on November 2, 2011, the BAR reviewed the preliminary design and made recommendations that have been incorporated into the Plan; and

WHEREAS, on December 14, 2011, the Planning Commission recommended that the City Council approve the West Broadway Urban Village Infrastructure Improvements Plan by way of Resolution No. 11-21; and

WHEREAS, on February 16, 2012, the City Council approved the West Broadway Urban Village Infrastructure Improvements Plan by way of Resolution No. 12-18, and

WHEREAS, on March 6, 2013, the BAR reviewed the design and made recommendations that are addressed by conditions outlined below; and

WHEREAS, on February 4, 2016, the Plan will be brought before the BAR for reviewed the design and made recommendations prior to commencing construction of on the proposed landscaping improvements that are addressed by revisions to the conditions outlined below; and

WHEREAS, the Plan meets the following goals and policies;

- 1) The proposed project complies with General Plan Urban Design Element Policy UD-2.4 “Create a Central Business District within the West Broadway Corridor.”**

Evidence: The proposed improvements would help implement General Plan Policy UD-2.4.1, “Broadway Avenue Improvement Plan.” Implementation of the West Broadway Urban Village Improvements Project would create infrastructure improvements that will enhance this major Seaside arterial roadway.

- 2) The proposed project complies with West Broadway Urban Village Specific Plan Policy UD-2 “Provide adequate pedestrian amenities such as street trees, benches, pedestrian-level street lighting, newspaper racks, and waste and recycling receptacles ...”**

Evidence: The proposed project includes adequate pedestrian amenities such as street trees, benches, pedestrian-level street lighting, and waste and recycling receptacles.

- 3) The proposed project complies with West Broadway Urban Village Specific Plan Policy UD-4 “Create opportunities for interaction between adjacent development and in public spaces ...”**

Evidence: The proposed project includes mid-block bulb-outs to create opportunities for interaction between adjacent development and in public spaces.

Landscaping

- 4) The proposed project complies with General Plan Urban Design Element Policy UD-3 “Provide and maintain a streetscape system that protects views and enhances visual quality and continuity within the community.”**

Evidence: The proposed landscape improvements would enhance visual quality and create a sense of place.

- 5) The proposed project complies with West Broadway Urban Village Specific Plan Policy PR-9 “Plant Trees ... to improve the aesthetics of the Urban Village by softening the streetscape ...”**

Evidence: The proposed landscaping includes palm trees that would enhance aesthetics and provide a vertical break-up in the streetscape.

6) The proposed project complies with the regulations set forth in Seaside Municipal Code (S.M.C.) Section 17.30.040, “Landscaping Standards:”

Evidence: S.M.C. Section 17.30.040.B.1 requires the installation of nonvegetative native and/or drought-tolerant landscape materials is strongly encouraged to conserve water. The lot on the southeast corner of Broadway Avenue and Del Monte Boulevard would be paved with degraded granite and screened with landscaping of a three-foot hedge of Lavender Star Flower (*Grewia occidentalis*). Additional landscaping along Broadway Avenue would consist of flower carpet groundcover roses (Mix of *Rosa Noamel* and *Rosa Nostrum*) and New Zealand Christmas Tree (*Metrosideros excelsa*) as well as Low Impact Development (LID) planting areas ~~Mexican Fan Palm (*Washingtonia robusta*)~~. Additional landscaping along Del Monte Boulevard would consist of Sand Strawberry (*Fragaria chiloensis*) and New Zealand Christmas Tree (*Metrosideros excelsa*) ~~Mexican Fan Palm (*Washingtonia robusta*)~~.

Evidence: S.M.C. Section 17.30.040.C.3 requires all surface parking areas shall be screened from streets and adjoining properties, and the open areas between the property line and the public street right-of-way shall be landscaped. The parking lot on the corner of Broadway Avenue and Del Monte Boulevard would be screened with landscaping by a combination of a three-foot hedge of Lavender Star Flower (*Grewia occidentalis*) and additional landscaping that would consists of either flower carpet groundcover roses (Mix of *Rosa Noamel* and *Rosa Nostrum*) and ~~Mexican Fan Palm (*Washingtonia robusta*)~~ New Zealand Christmas Tree (*Metrosideros excelsa*) or Pride of Mediera (*Echium fastuosum*).

Evidence: S.M.C. Section 17.30.040.F requires that no landscape material shall be allowed to obstruct clear vision or to create a potential traffic hazard. The proposed landscaping near intersections would consist of ~~either~~ flower carpet groundcover roses (Mix of *Rosa Noamel* and *Rosa Nostrum*) and trees (*New Zealand Christmas Tree (*Metrosideros excelsa*)* ~~Mexican Fan Palm (*Washingtonia robusta*)~~ ~~or would consist of Sand Strawberry (*Fragaria chiloensis*), Fortnight Lily (*Diets bicolor*) and Medjool Date Palm (*Phoenix dactylifera* ‘Medjool’)~~.

Evidence: S.M.C. Section 17.30.040.I requires landscaped areas include an automatic irrigation system. The proposed landscaping would be maintained by automatic irrigation system.

Outdoor Lighting

7) The proposed project complies with the regulations set forth in S.M.C. Section 17.30.070, “Outdoor Lighting:”

Evidence: S.M.C. Section 17.30.00.B requires outdoor lighting utilize energy-efficient fixtures and lamps. All proposed outdoor light fixtures would feature lamps and fixture designs, such as internalized reflectors that would contribute to energy-efficiency. The

fixtures would use LED lamps for the tree-mounted lights and metal halide lamps for the freestanding pole lights.

Evidence: The proposed lighting complies with S.M.C. Section 17.30.070.E. which prohibits lights from blinking, flashing or of high intensity or brightness. The lighting would provide constant illumination and intensity would not be excessive.

8) The proposed project complies with the National Pollutant Discharge Elimination System (NPDES) General Permit for Waste Discharge Requirements (WDRs) for Storm Water Discharges from Small Municipal Separate Storm Sewer Systems (MS4s) Order No. 2013-00001-DWQ NPDES No. CAS000004 consistent with Low Impact Development Standards (LID) to improve storm water quality.

Evidence: The proposed landscaping includes post-construction Source Control Measures (SCMs) to mitigate storm water pollution and run-off intensity consistent with Low Impact Development (LID) design guidelines found in the NPDES WDR MS4 permit for the City of Seaside. LID Landscaping along Broadway Avenue would consist of Cape Rush (Chondropetalum techtorum), Hummingbird Sage (Salvia spathacea), Douglas Iris (Iris douglasiana), and Rain Lily (Zephyranthes candida).

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-11-10
(West Broadway Urban Village Infrastructure Improvements Project)

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant.

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant
Tim O'Halloran, PE
City Engineer / Public Works Services Manager, City of Seaside

Date

Toby Keller, Chair
Board of Architectural Review, City of Seaside

Date

PHASE I - STREETSCAPE MASTER PLAN

LEGEND:



A. Bench "World's Fair"
by Kenneth Lynch



C. Bike Rack
by Creative Pipe



E. Decorative Street Light
by Visco



F. Water Flows Through
Curb-Cuts



H. *Chondropetulum techorum*
Small Cape Rush



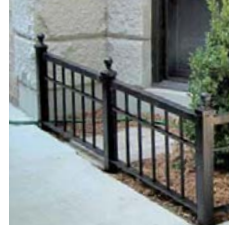
J. *Metrosideros excelsa*
New Zealand Christmas Tree



L. *Salvia spathacea*
Hummingbird Sage



B. Trash/Recycling Receptacles
by Victor Stanley



D. 12" High Decorative
Barrier Fence



G. LID Area



I. *Fragaria chiloensis*
Beach Strawberry

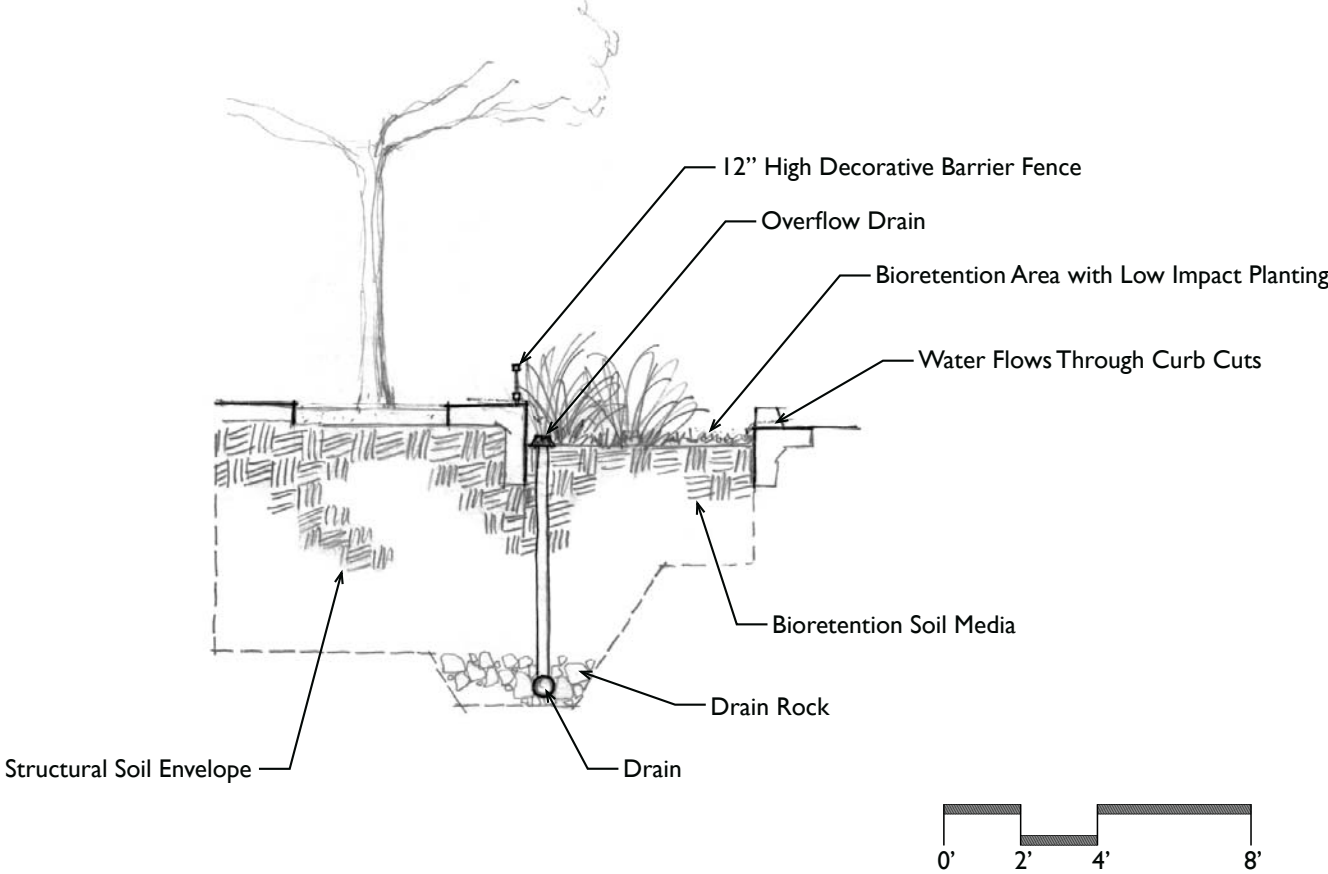


K. *Phoenix doctylifera*
Medjool Date Palm

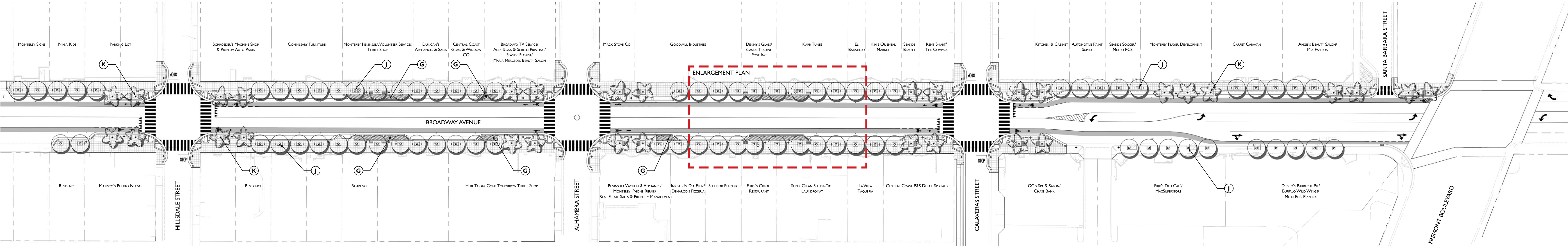
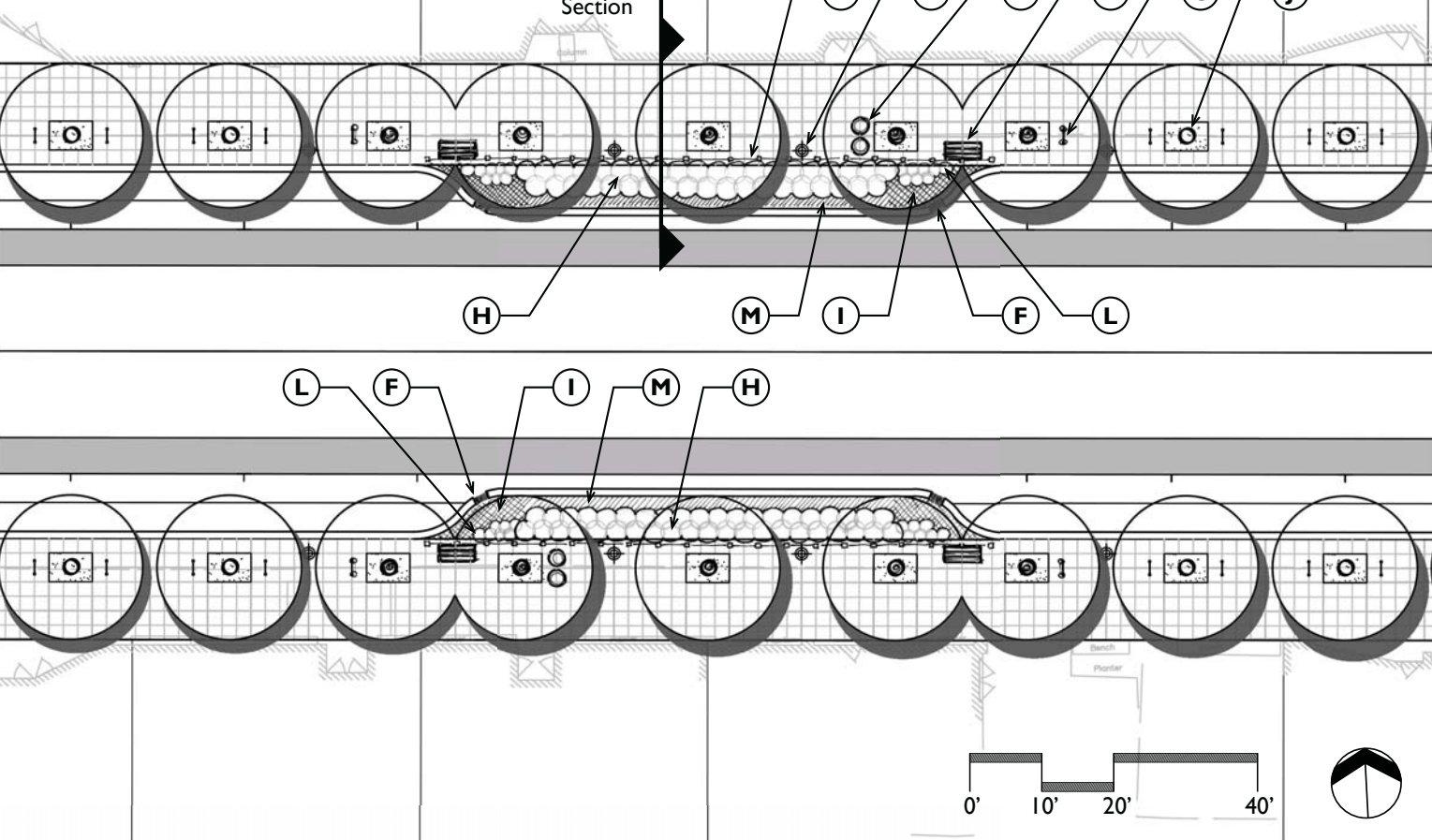


M. *Zephyranthes candida*
Rain Lily

LID AREA SECTION:



ENLARGEMENT PLAN:



BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH – ADJUST SCALE ACCORDINGLY

IRRIGATION NOTES

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITION AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.

2. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.

3. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER(S) TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.

4. IT IS THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR TO PROVIDE 120 VOLT A.C. (2.5 AMP DEMAND PER CONTROLLER) ELECTRICAL SERVICE TO THE CONTROLLER LOCATION(S). IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO COORDINATE THE ELECTRICAL SERVICE STUB-OUT TO THE CONTROLLER(S). PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODES.

5. PROVIDE EACH CONTROLLER WITH ITS OWN GROUND ROD. SEPARATE THE GROUND RODS BY A MINIMUM OF EIGHT FEET. THE GROUND ROD SHALL BE AN EIGHT FOOT LONG BY 5/8" DIAMETER U.L. APPROVED COPPER CLAD ROD. INSTALL NO MORE THAN 6" OF THE GROUND ROD ABOVE FINISH GRADE. CONNECT #6 GAUGE WIRE WITH A U.L. APPROVED GROUND ROD CLAMP TO ROD AND BACK TO GROUND SCREW AT BASE OF CONTROLLER WITH APPROPRIATE CONNECTOR. MAKE THIS WIRE AS SHORT AS POSSIBLE, AVOIDING KINKS OR BENDING.

6. PROVIDE EACH IRRIGATION CONTROLLER WITH ITS OWN INDEPENDENT LOW VOLTAGE COMMON GROUND WIRE.

7. INSTALL NEW BATTERIES IN THE IRRIGATION CONTROLLER(S) TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.

8. SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE OWNER AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.

9. IRRIGATION CONTROL WIRES: SOLID COPPER WITH U.L. APPROVAL FOR DIRECT BURIAL IN GROUND. COMMON GROUND WIRE: SIZE #12-1 WIRE WITH A WHITE INSULATING JACKET. CONTROL WIRE SERVICING REMOTE CONTROL VALVES: SIZE #14-1 WIRE WITH INSULATING JACKET OF COLOR OTHER THAN WHITE. SPLICES SHALL BE MADE WITH 3M-DBY SEAL PACKS OR APPROVED EQUAL.

10. INSTALL TWO SPARE CONTROL WIRES OF A DIFFERENT COLOR ALONG THE ENTIRE MAIN LINE. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.

11. SPLICING OF LOW VOLTAGE WIRES IS PERMITTED IN VALVE BOXES ONLY. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE AND A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. DO NOT TAPE WIRES TOGETHER WHERE CONTAINED WITHIN SLEEVING OR CONDUIT.

12. INSTALL GREEN PLASTIC VALVE BOXES WITH BOLT DOWN, NON HINGED COVER MARKED "IRRIGATION". BOX BODY SHALL HAVE KNOCK OUTS. ACCEPTABLE VALVE BOX MANUFACTURER'S INCLUDE NDS, CARSON OR APPROVED EQUAL.

13. INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, INSTALL EACH BOX 12" FROM THE WALK, CURB, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE AND INSTALL EACH BOX 12" APART.

14. THE REMOTE CONTROL VALVES SPECIFIED ON THE DRAWINGS IS A PRESSURE REDUCING TYPE. SET THE DISCHARGE PRESSURE AS FOLLOWS:

A. DRIP EMITTERS=35 PSI

B. BUBBLERS= 30 PSI

15. INSTALL A GATE VALVE TO ISOLATE EACH REMOTE CONTROL VALVE OR GROUP OF RCV'S LOCATED TOGETHER. GATE VALVE SIZE SHALL BE SAME AS THE LARGEST REMOTE CONTROL VALVE IN MANIFOLD.

16. FLUSH AND ADJUST IRRIGATION OUTLETS AND NOZZLES FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS. SELECT THE BEST DEGREE OF THE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH CONTROL ZONE.

17. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE.

18. LOCATE EMITTER OUTLETS ON UPHILL SIDE OF PLANT OR TREE.

19. LOCATE BUBBLERS ON UPHILL SIDE OF PLANT OR TREE.

20. INSTALL A HUNTER HCV SERIES, KBI CV SERIES, OR APPROVED EQUAL SPRING LOADED CHECK VALVE IN SPRINKLER RISER ASSEMBLIES WHERE LOW OUTLET DRAINAGE WILL CAUSE EROSION AND/OR EXCESS WATER.

21. NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

22. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.

23. IRRIGATION DEMAND: REFER TO PLANS.

24. PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.

25. PIPE THREAD SEALANT COMPOUND SHALL BE RECTOR SEAL #5.

26. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR

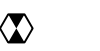
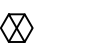
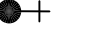
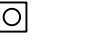
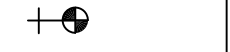
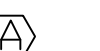
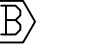
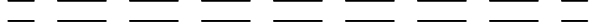
MINOR CHANGES IN THE IRRIGATION LAYOUT DUE TO OBSTRUCTIONS NOT SHOWN ON THE IRRIGATION DRAWINGS SUCH AS LIGHTS, FIRE HYDRANTS, SIGNS, ELECTRICAL ENCLOSURES, ETC.

27. IRRIGATION EQUIPMENT MAY BE SHOWN WITHIN HARDSCAPE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION EQUIPMENT WITHIN PLANTED AREAS. IRRIGATION PIPE AND WIRE CROSSING BENEATH HARDSCAPE SURFACES SHALL BE CONTAINED WITHIN SLEEVING OR SCHEDULE 40 PVC CONDUIT. SLEEVING SIZE SHALL BE A MINIMUM OF TWO TIMES THE AGGREGATE DIAMETER OF ALL PIPES CONTAINED WITHIN SLEEVE. PROVIDE VERTICAL SWEEP FOR ALL ELECTRICAL CONDUIT ON EACH SIDE OF HARDSCAPE AND TERMINATE ENDS AT 12" MINIMUM DEPTH AND 12" FROM HARDSCAPE SURFACE.
28. UNSIZED LATERAL LINE PIPING LOCATED DOWN STREAM OF 1" PIPING SHALL BE 3/4" IN SIZE (TYPICAL).
29. SIZING OF LATERAL PIPE SHALL BE AS FOLLOWS:

.75"0-6 GPM

1"7-12 GPM

IRRIGATION LEGEND

SYMBOL	NUMBER	DESCRIPTION	NOZZLE GPM	OPERATING PSI	OPERATING RADIUS (FEET)
	FB-25-PC	TORO BUBBLER, 1 PER SHRUB	0.25	30	TRICKLE
	TLCV4-12.	NETAFIM TECHLINE CV SERIES DRIPLINE AT PALM TREES. SEE DETAILS 4, SHEET IR-2.4 FOR INSTALLATION INSTRUCTIONS.	N/A	30	DRIP
	TLFV-1	NETAFIM FLUSH VALVE			
	TLAVRV	NETAFIM AIR RELIEF VALVE			
	10-F-01	NETAFIM DRIP INDICATOR			
	—	FLOW SENSOR/MASTER VALVE, SEE CONTROLLER INFORMATION BELOW.			
	P-220-27-4	TORO REMOTE CONTROL VALVE			
	DZK-TPV/DC-1-MF	TORO REMOTE CONTROL VALVE DRIP ZONE KIT			
	33 DNP	RAIN BIRD QUICK COUPLING VALVE			
	T113-K	NIBCO GATE VALVE (ILINE SIZE)			
	975XLSEU-1"	WILKINS REDUCED PRESSURE BACKFLOW ASSEMBLY			
	SA6-RM4-18/RHG/PMR-CAC/FSAV-100B/EV-CAB-SEN-100	JDL GREENTECH DIVISION CONTROLLER ASSEMBLY WITH A RAIN MASTER EVOLUTION DX2 CONTROLLER MOUNTED IN A STAINLESS STEAL PEDESTAL ENCLOSURE WITH FLOW SENSOR, MASTER VALVE AND RADIO COMMUNICATION.			
	SA6-RM4-18/RHG/PMR-CAC/FSAV-100B/EV-CAB-SEN-100	JDL GREENTECH DIVISION CONTROLLER ASSEMBLY WITH A RAIN MASTER EVOLUTION DX2 CONTROLLER MOUNTED IN A STAINLESS STEAL PEDESTAL ENCLOSURE WITH FLOW SENSOR, MASTER VALVE AND RADIO COMMUNICATION.			
		CONTROLLER/WIRE PATH AND STATION NUMBER			
		FLOW (GPM)			
		REMOTE CONTROL VALVE SIZE (IN INCHES)			
		MAIN LINE:	1.5" THROUGHOUT: SCHEDULE PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER, 24" UNDER PAVING.		
		LATERAL LINE:	3/4" AND LARGER: SCHEDULE 40 PVC PLASTIC PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER, 24" UNDER PAVING.		
		SLEEVING:	SCHEDULE 40 PVC PLASTIC PIPE. COVER TO BE AS INDICATED IN SPECIFICATIONS OR AS INDICATED ABOVE FOR PIPE DEPTH OF COVER.		
		DRIP ZONE:	NETAFIM TECHLINE CV SERIES DRIPLINE, PART # TLCV4-12. TUBING TO BE INSTALLED 3" BELOW GRADE IN A 12" O.C. GRID ACCORDING TO DETAILS AND PLANS. SEE DETAILS 1-4, SHEET IR-2.4 FOR FURTHER INFORMATION.		

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PROJECT

CITY OF SEASIDE
WEST BROADWAY URBAN VILLAGE
INFRASTRUCTURE IMPROVEMENTS PROJECT

DATE

03/06/2013

SHEET

129 OF 146

SHEET

IRRIGATION NOTES
& LEGEND

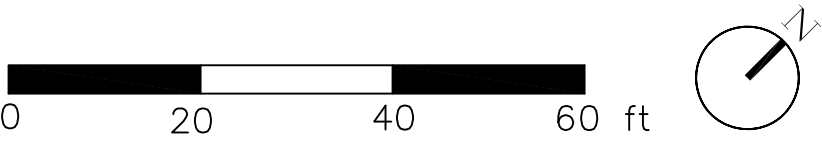
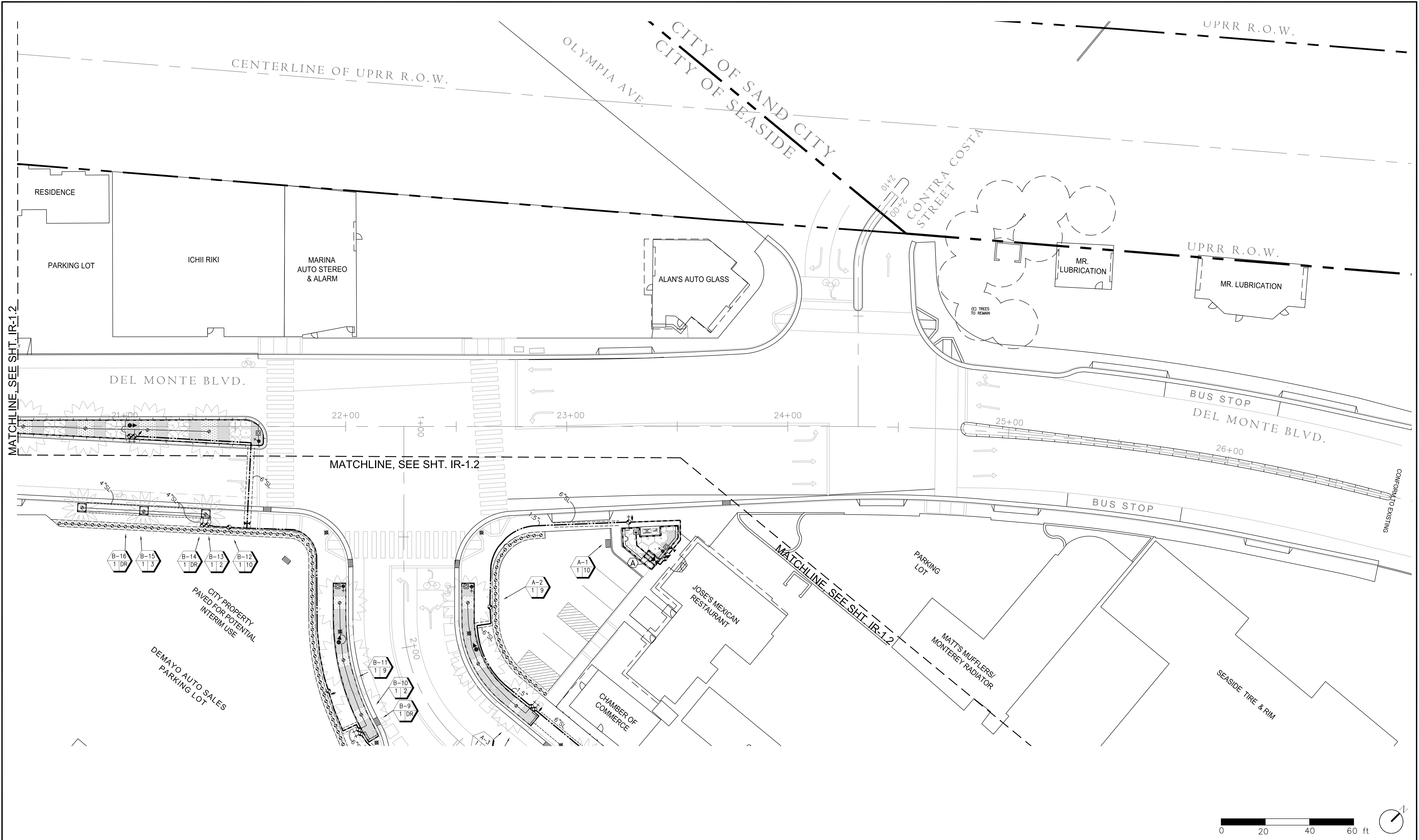
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IR-0.1

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2013-76

BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH - ADJUST SCALE ACCORDINGLY



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PROJECT
**CITY OF SEASIDE
WEST BROADWAY URBAN VILLAGE
INFRASTRUCTURE IMPROVEMENTS PROJECT**

SHEET
**IRRIGATION PLAN
AREA 1**

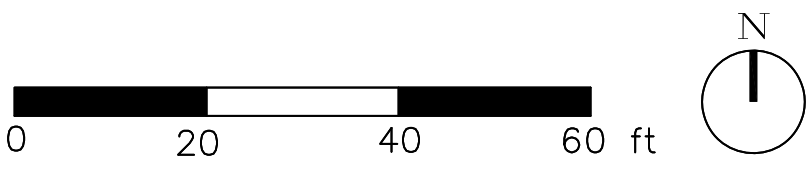
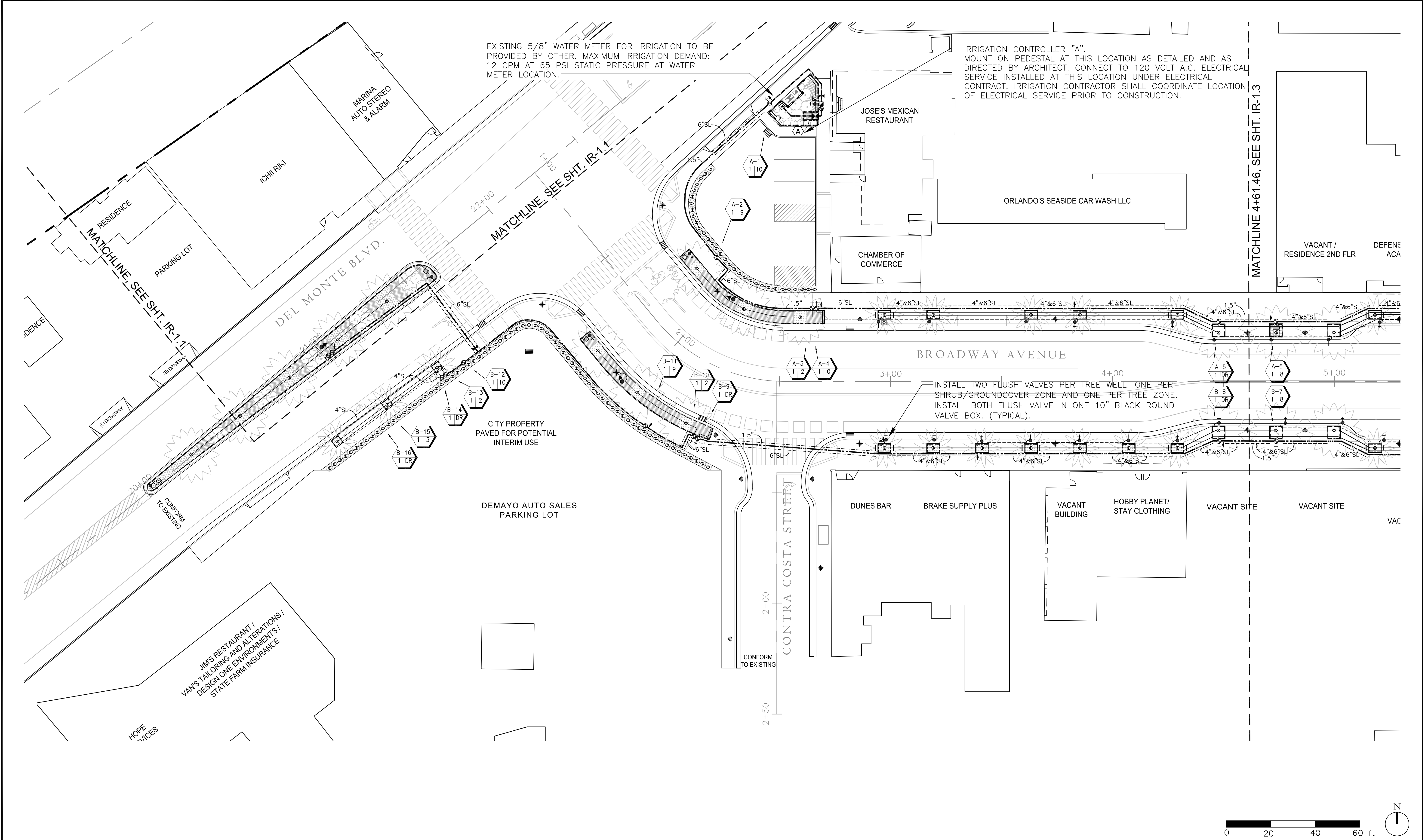
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SHEET
130 OF 146

DRAWING NO.
IR-1.1

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2013-76

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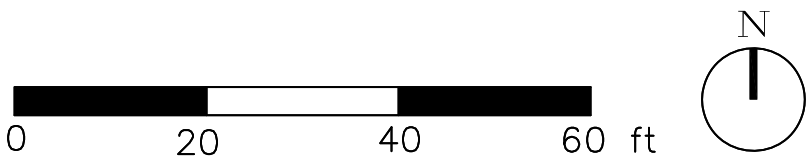
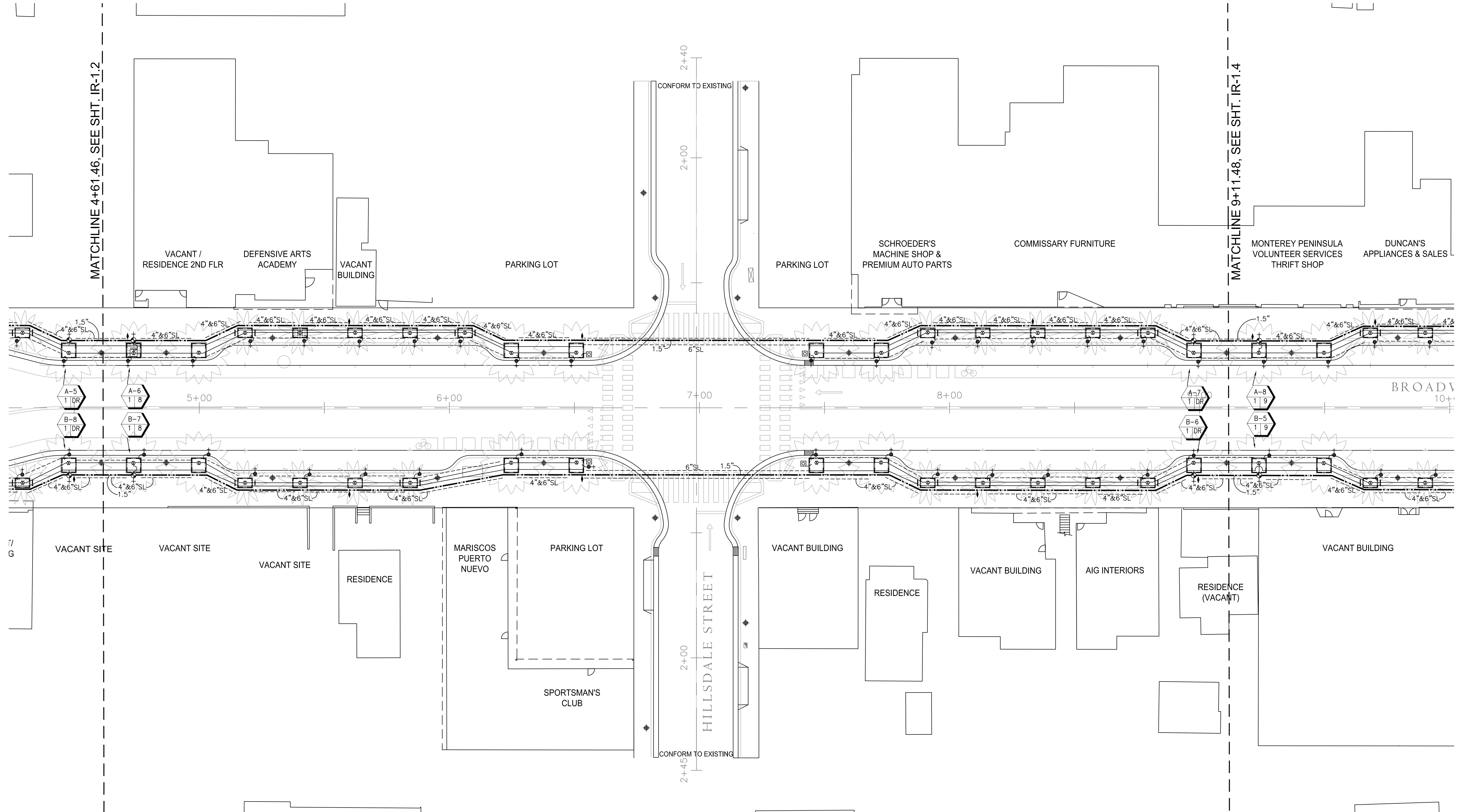
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SHEET
**IRRIGATION PLAN
AREA 2**

DATE
03/06/2013
SHEET 131 OF 146
DRAWING NO.
IR-1.2
JOB NO.
2013-76

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PROJECT
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SHEET
**IRRIGATION PLAN
AREA 3**

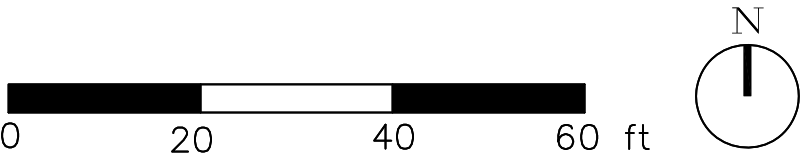
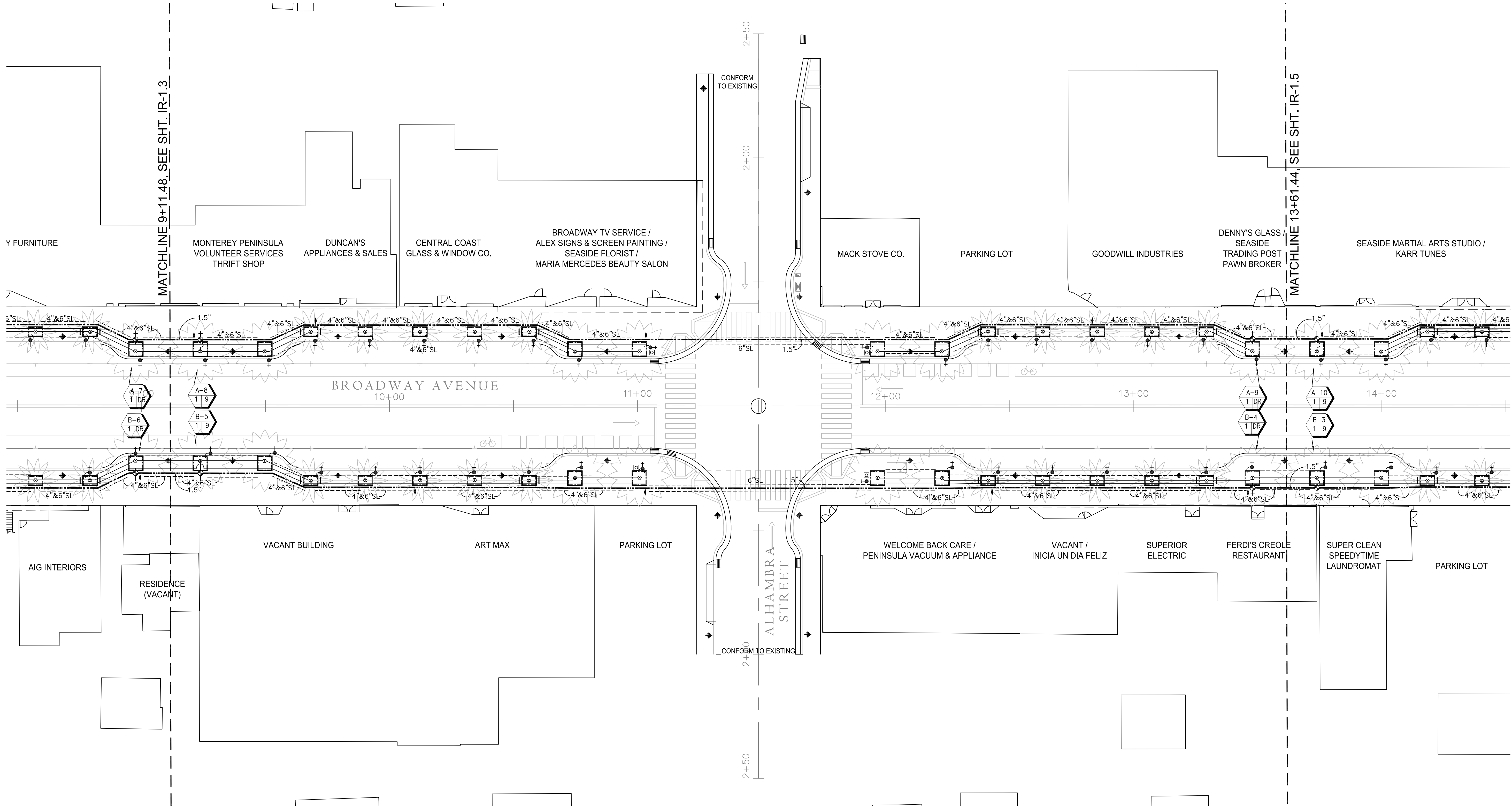
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SHEET 132 OF 146

DRAWING NO.
IR-1.3

JOB NO.
2013-76

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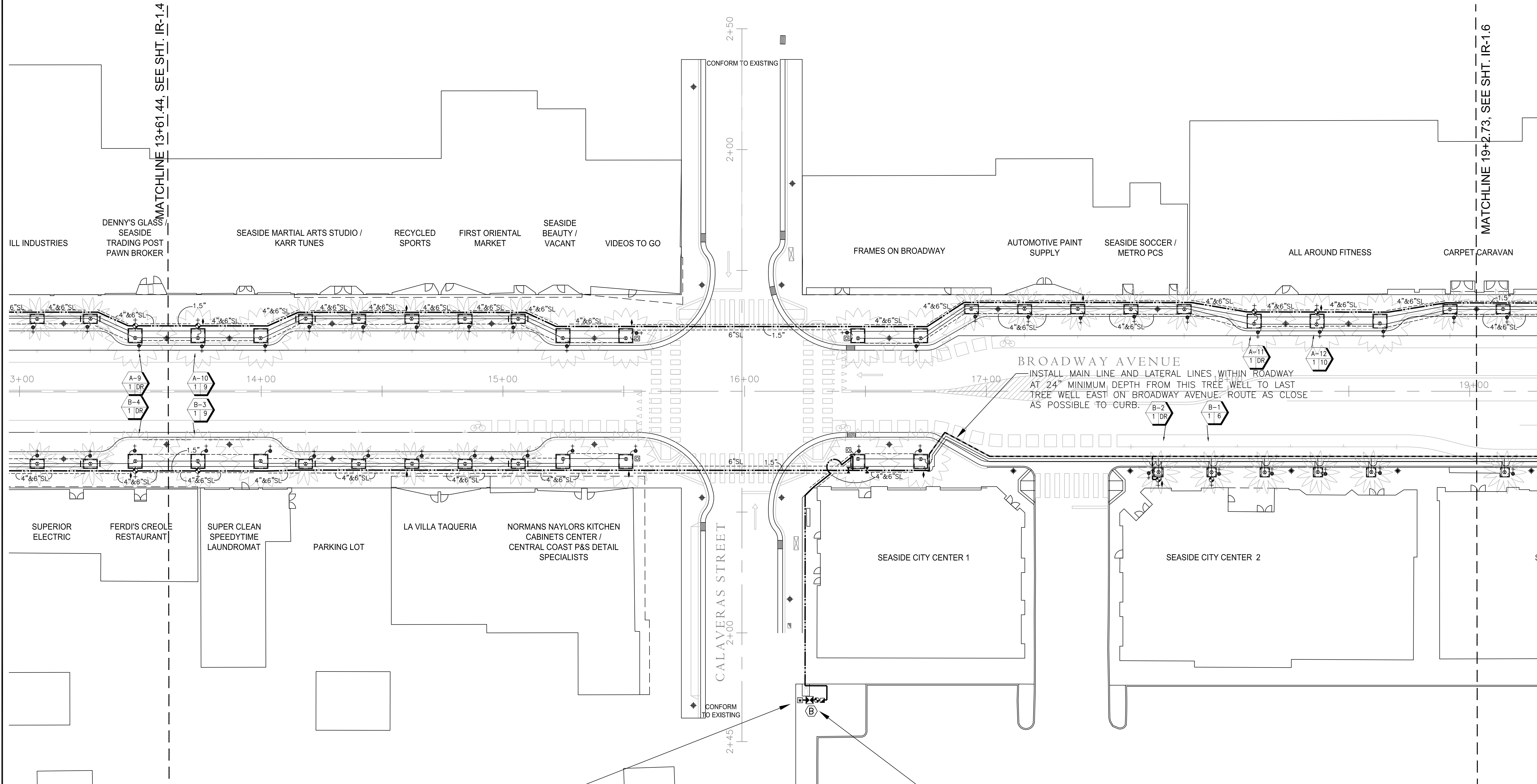
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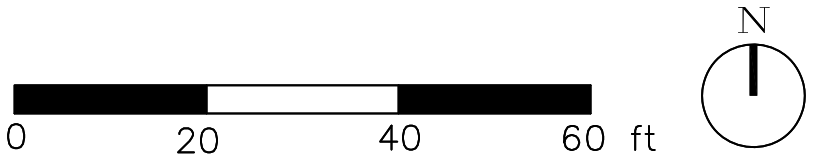
PROJECT	CITY OF SEASIDE WEST BROADWAY URBAN VILLAGE INFRASTRUCTURE IMPROVEMENTS PROJECT	DATE 03/06/2013
SHEET	IRRIGATION PLAN AREA 4	SHEET OF 133 146
		DRAWING NO. IR-1.4
		JOB NO. 2013-76

BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH - ADJUST SCALE ACCORDINGLY



EXISTING 5/8" WATER METER FOR IRRIGATION TO BE PROVIDED BY OTHER. MAXIMUM IRRIGATION DEMAND: 12 GPM AT 65 PSI STATIC PRESSURE AT WATER METER LOCATION.

IRRIGATION CONTROLLER "B". MOUNT ON PEDESTAL AT THIS LOCATION AS DETAILED AND AS DIRECTED BY ARCHITECT. CONNECT TO 120 VOLT A.C. ELECTRICAL SERVICE INSTALLED AT THIS LOCATION UNDER ELECTRICAL CONTRACT. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF ELECTRICAL SERVICE PRIOR TO CONSTRUCTION.



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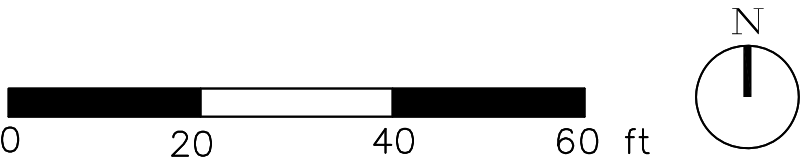
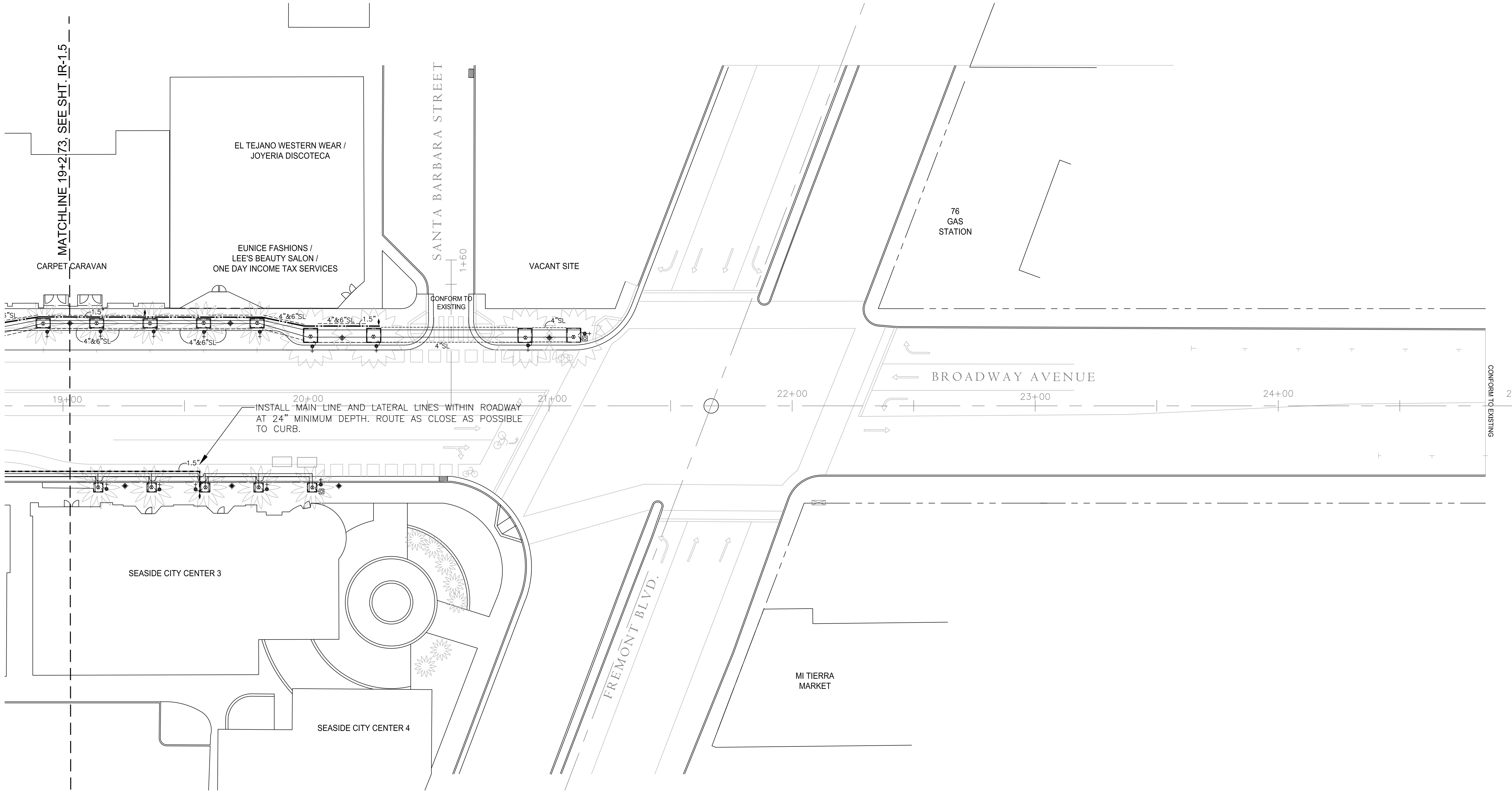
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PROJECT	CITY OF SEASIDE WEST BROADWAY URBAN VILLAGE INFRASTRUCTURE IMPROVEMENTS PROJECT	DATE 03/06/2013
SHEET	IRRIGATION PLAN AREA 5	SHEET 134 OF 146
		DRAWING NO. IR-1.5
		JOB NO. 2013-76

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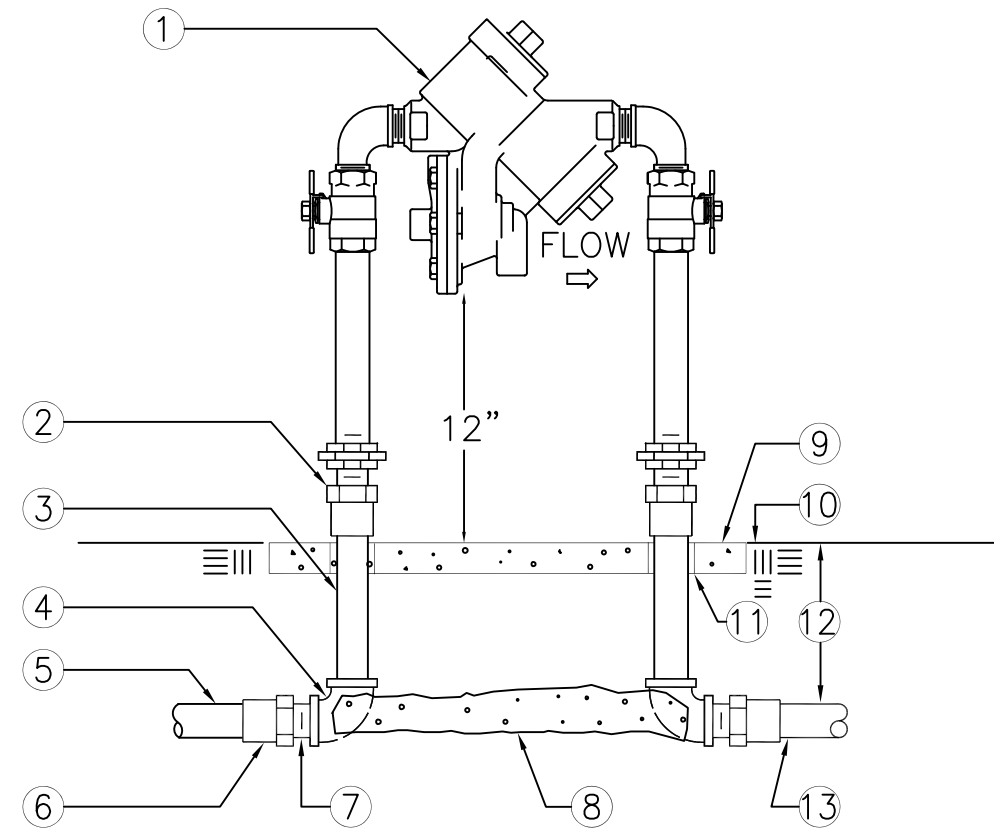
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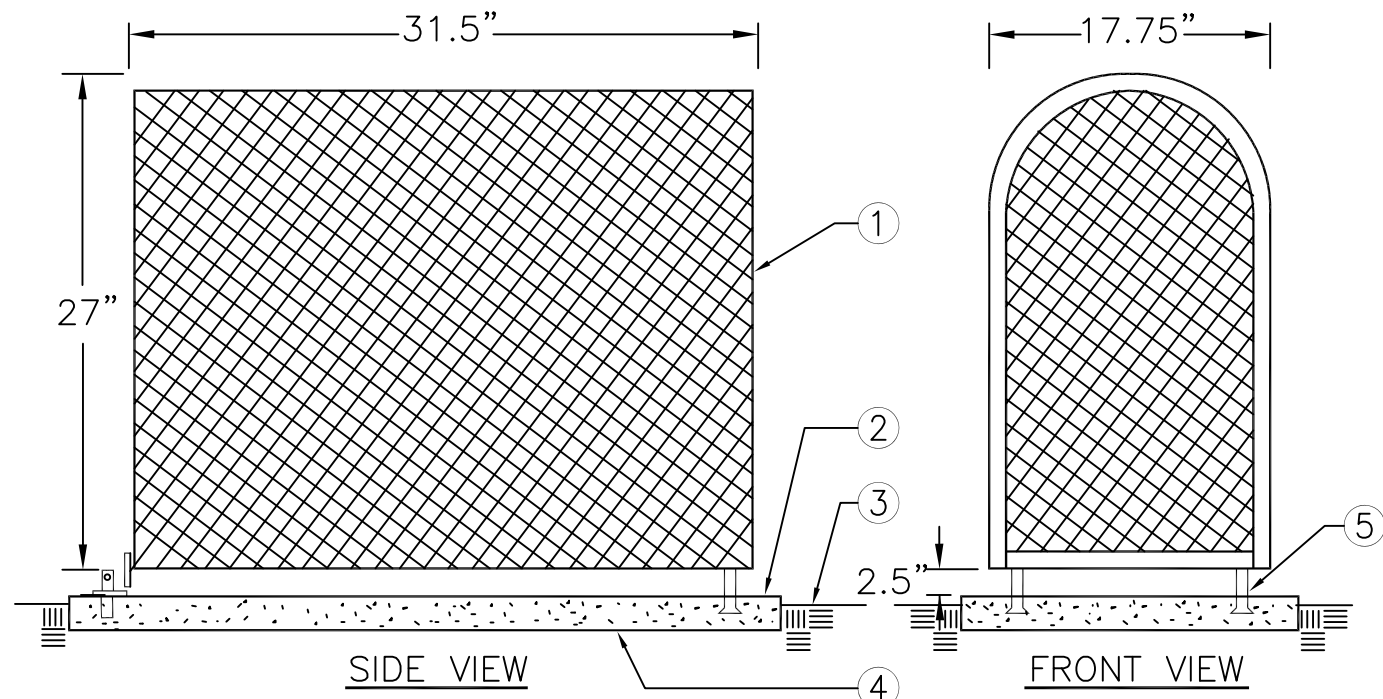
PROJECT	CITY OF SEASIDE WEST BROADWAY URBAN VILLAGE INFRASTRUCTURE IMPROVEMENTS PROJECT	DATE 03/06/2013
SHEET	IRRIGATION PLAN AREA 6	SHEET 135 OF 146
		DRAWING NO. IR-1.6
		JOB NO. 2013-76

BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH – ADJUST SCALE ACCORDINGLY

- NOTES:
1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN AND MANUFACTURED BY STRONGBOX.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. DAMAGE MAY OCCUR.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STRONG BOX SBBC-30SS OR ACCEPTED EQUAL 32"x 30"x 18" BACKFLOW PREVENTER ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.

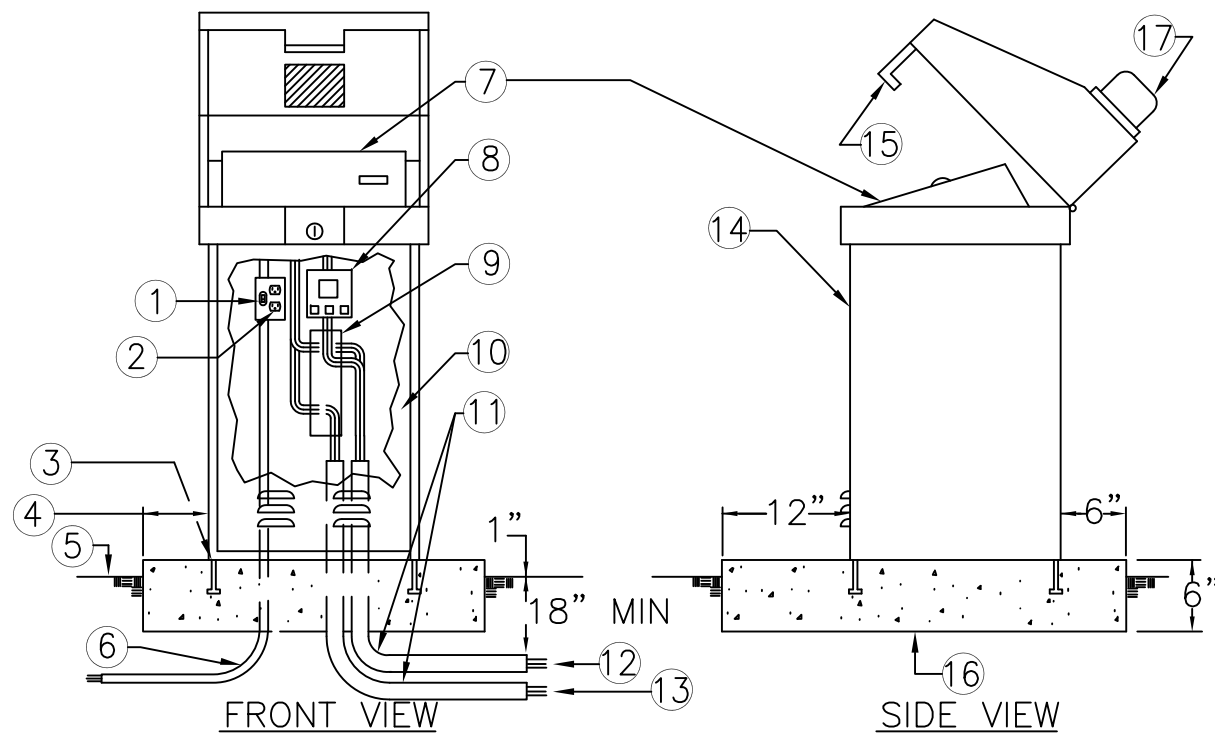


- ① REDUCED PRESSURE BACKFLOW ASSEMBLY
- ② WROT COPPER MALE ADAPTER—2 TOTAL (SOLDER X THREAD CONNECTION)
- ③ COPPER TYPE "K" PIPE (LENGTH AS REQUIRED)
- ④ WROT COPPER 90° ELBOW—2 TOTAL (SOLDER X THREAD CONNECTION)
- ⑤ PVC MAIN LINE TO POINT OF CONNECTION
- ⑥ BUSH AS NECESSARY FOR SIZE TRANSITION
- ⑦ SCHEDULE 40 PVC MALE ADAPTER—2 TOTAL
- ⑧ CONCRETE SUPPORT BLOCK
- ⑨ CONCRETE PAD—SEE ENCLOSURE DETAIL
- ⑩ FINISH GRADE
- ⑪ PVC SLEEVE BOTH SIDES
- ⑫ REFER TO IRRIGATION LEGEND
- ⑬ PVC MAIN LINE TO IRRIGATION SYSTEM

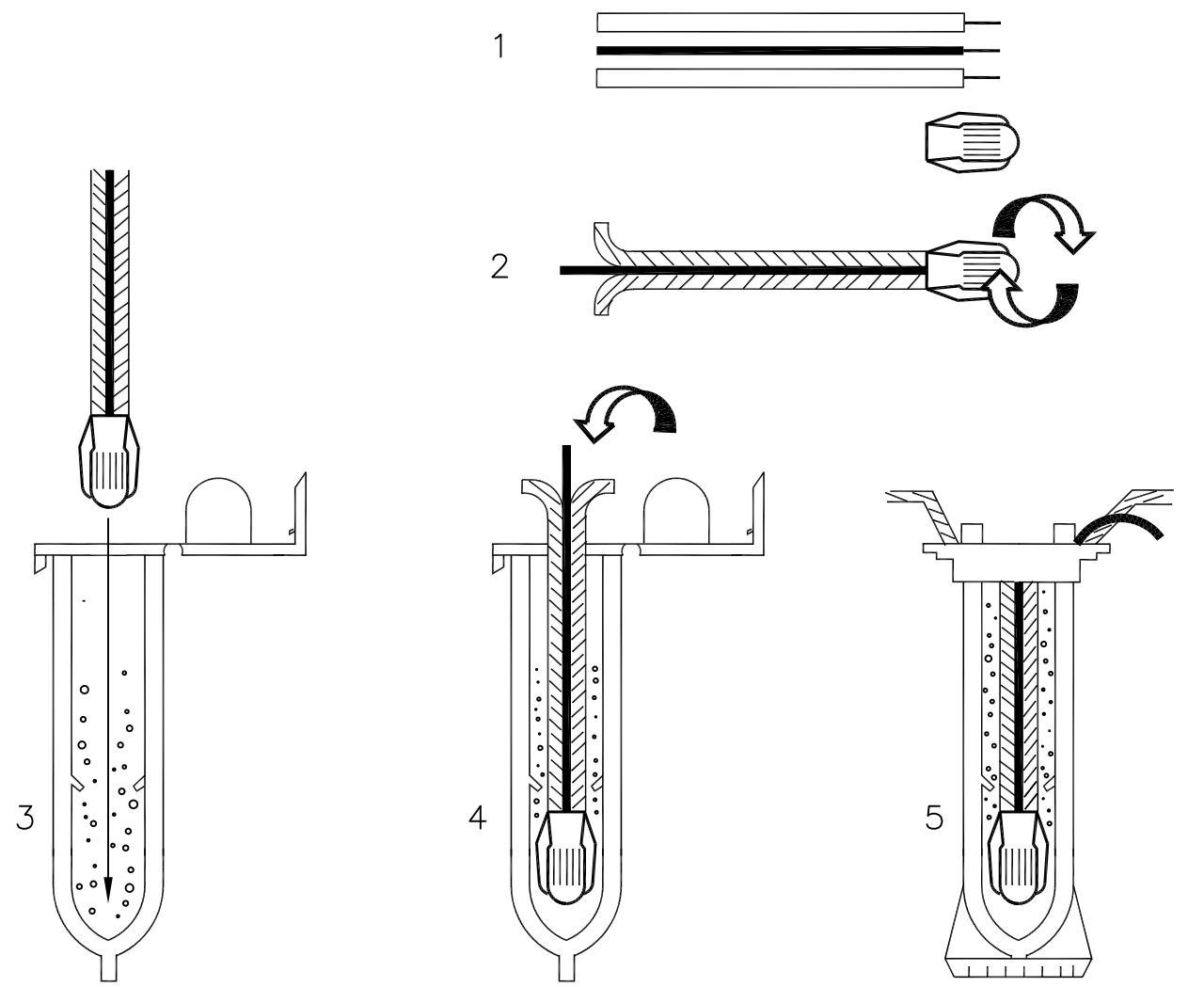


- ① STAINLESS STEEL ENCLOSURE
- ② SET PAD 1/2" ABOVE FINISH GRADE
- ③ FINISH GRADE
- ④ 6" THICK CLASS "B" CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
- ⑤ MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD. PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURE'S INSTRUCTION.

- NOTES:
1. PROVIDE (CONTRACTOR) #10 BARE COPPER GROUND WIRE AND 5/8" DIA. COPPER CLAD GROUNDING ROD(S) AS DIRECTED BY MANUFACTURER.
 2. UNIT IS TO BE ASSEMBLED, WIRED, AND TESTED BY A MANUFACTURER TRAINED VENDOR.
 3. INSTALL (CONTRACTOR) ENCLOSURE TO CONCRETE PAD AS DIRECTED BY ENCLOSURE MANUFACTURER.
 4. INSTALL SLAB LEVEL.
 5. PROVIDE SLOPE TO TOP OF SLAB SURFACE FOR DRAINAGE.
 6. PROVIDE FINISH AND COLOR TO CONCRETE ACCORDING TO SECTION 02520, PORTLAND CEMENT CONCRETE PAVING.



- ① ON/OFF SWITCH FOR SATELLITE CONTROLLER
- ② GFCI PROTECTED 120 VAC 15AMP RECEPTACLES
- ③ MOUNT ASSEMBLY (CONTRACTOR) TO MOUNTING STUDS INCLUDED WITH ENCLOSURE
- ④ 6" TYP. BOTH SIDES
- ⑤ FINISH GRADE
- ⑥ INSTALL (CONTRACTOR) RIGID STEEL CONDUIT FOR 120 VAC SERVICE
- ⑦ SATELLITE CONTROLLER MOUNTED ON PANEL OF ENCLOSURE
- ⑧ FLOW MONITOR
- ⑨ TERMINAL STRIP WITH PLACARDS FOR STATION IDENTIFICATION
- ⑩ REMOVABLE FRONT PANEL
- ⑪ INSTALL (CONTRACTOR) SCHEDULE 40 GREY PVC ELECTRICAL CONDUITS(2) WITH SWEEP ELL FOR LOW VOLTAGE WIRE, SIZE AS REQUIRED AND EXTEND 12" BEYOND CONCRETE SLAB.
- ⑫ LOW VOLTAGE WIRE
- ⑬ COMMUNICATION WIRE
- ⑭ STAINLESS STEEL ENCLOSURE
- ⑮ FLIP TOP LID
- ⑯ INSTALL (CONTRACTOR) CONCRETE SLAB
- ⑰ RADIO ANTENNA (WHERE SPECIFIED)



- INSTRUCTIONS:
1. STRIP WIRES APPROXIMATELY 1/2" (12.7 MM) TO EXPOSE WIRE.
 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
 3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

1	REDUCED PRESSURE BACKFLOW ASSEMBLY SCALE: NONE DET: RPB-1	2	BACKFLOW PREVENTER ENCLOSURE SCALE: NONE DET: ENC-SMOOTH	3	CONTROLLER IN ENCLOSURE SCALE: NONE DET: Flip-top	4	WEATHERPROOF SPLICE ASSEMBLY SCALE: NONE DET: WIRE-SPL
---	---	---	--	---	---	---	--

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PROJECT	CITY OF SEASIDE WEST BROADWAY URBAN VILLAGE INFRASTRUCTURE IMPROVEMENTS PROJECT	DATE	03/06/2013
SHEET	IRRIGATION DETAILS	SHEET OF	136 146
		DRAWING NO.	IR-2.1
		JOB NO.	2013-76

BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH – ADJUST SCALE ACCORDINGLY

1 CLEAN BACKFILL MATERIAL
2 FINISH GRADE
3 LATERAL LINE
4 MAIN LINE
5 LOW VOLTAGE CONTROL WIRE

1 ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID. TOP DIMENSION: 10".
2 8" CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE)
3 PVC MAIN LINE
4 FINISH GRADE
5 PEA GRAVEL
6 BRICK—2 TOTAL
7 GATE VALVE
8 SCHEDULE 40 PVC MALE ADAPTER

1 ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID. TOP DIMENSION: 10".
2 1 1/4" x 1 1/4" x 3/16" ANGLE IRON 30" LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV)
3 PVC MAIN LINE
4 3" LONG SCHEDULE 80 PVC THREADED NIPPLE
5 QUICK COUPLING VALVE
6 FINISH GRADE
7 SCHEDULE 80 PVC THREADED NIPPLE
8 10" LONG SHCEDULE 80 PVC THREADED NIPPLE
9 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
10 SCHEDULE 80 PVC THREADED 90° ELL

1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS)
2 RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX— NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL. TOP DIMENSION: 11 3/4" X 17" (12" DEEP)
3 FINISH GRADE
4 PVC LATERAL LINE
5 REFER TO IRRIGATION LEGEND
6 3" MIN 6" MAX
7 VALVE CONTROL WIRE— PROVIDE 3M—DBY SEAL PACKS AT ALL SPLICES AND 36" OF EXCESS UF WIRE IN A 1" DIAMETER COIL
8 SCHEDULE 80 PVC NIPPLE (4 TOTAL)
9 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
10 SCHEDULE 80 PVC THREADED UNION
11 PEA GRAVEL— 4" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)
12 22 GAUGE 1" SQUARE WIRE MESH
13 UPC APPROVED SCHEDULE 40 PVC TEE
14 SCHEDULE 80 PVC 90° ELBOW (TXT)
15 SCHEDULE 80 PVC NIPPLE— LENGTH AS REQUIRED.
16 BRICK—1 EACH CORNER
17 PVC MAIN LINE
18 KBI SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)

1	TRENCHING SCALE: NONE DET: TRENCH
2	2" AND SMALLER GATE VALVE SCALE: NONE DET: SGVD
3	QUICK COUPLING VALVE SCALE: NONE DET: QUICK—C2
4	REMOTE CONTROL VALVE SCALE: NONE DET: RCV—UN—BV

	03/06/13	100% FINAL SUBMITTAL			
	10/26/12	100% SUBMITTAL			
	08/01/12	DRAFT 100% SUBMITTAL			
NO.	DATE	DESCRIPTION	CITY APPROVAL	DATE	
REVISIONS					
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DESIGNED BY
CDM

DRAWN BY
JSD

CHECKED BY
CDM

PLANS PREPARED BY:
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Urban Design and Landscape Architecture
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San Francisco, California 94133
Telephone (415) 616-9900 Fax (415) 788-8728

CONSULTANT
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2760 Camino Diablo
Walnut Creek, CA 94597
tel 925.939.3985 ♦ fax 925.932.5671
www.rmairrigation.com

Chari Mitchell

SEAL/SIGNATURE

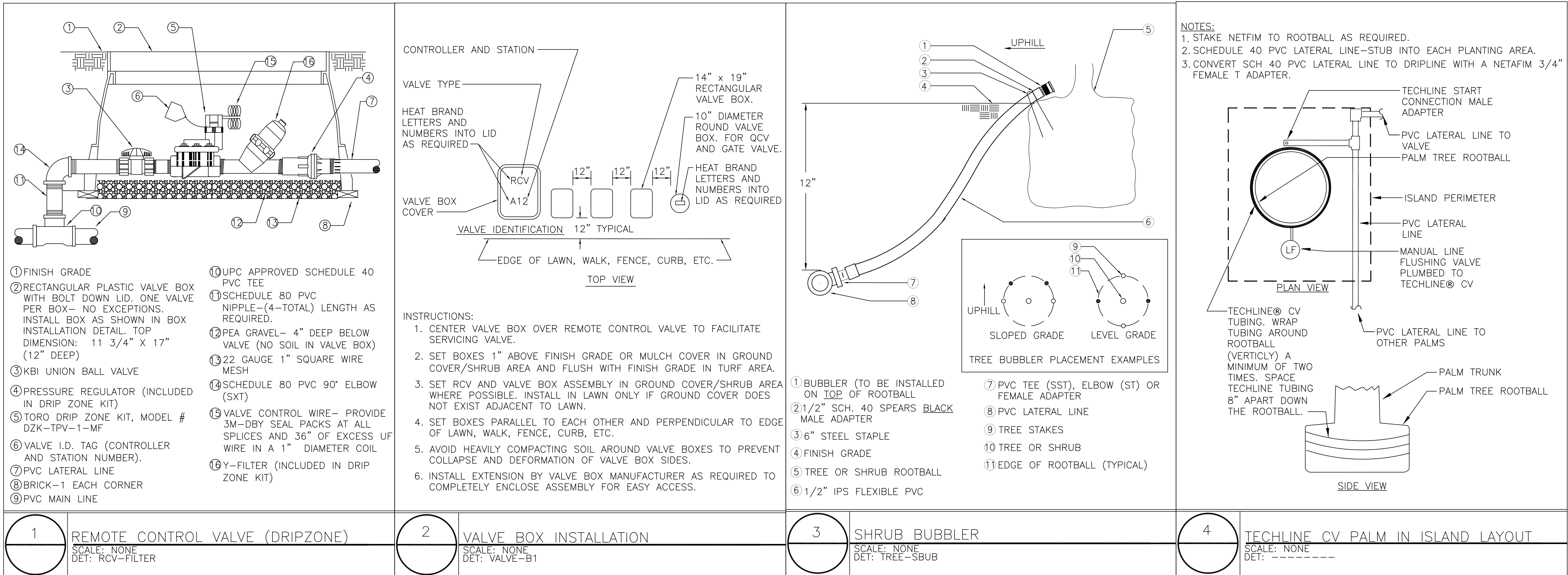
CITY OF SEASIDE, PUBLIC WORKS DIVISION
440 HARCOURT AVENUE
SEASIDE, CA 93955
(831) 899-6884

PROJECT
**CITY OF SEASIDE
WEST BROADWAY URBAN VILLAGE
INFRASTRUCTURE IMPROVEMENTS PROJECT**

SHEET
IRRIGATION DETAILS

DATE
03/06/2013
SHEET 137 OF 146
DRAWING NO.
IR-2.2
JOB NO.
2013-76

BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH - ADJUST SCALE ACCORDINGLY



NO.	DATE	DESCRIPTION	CITY APPROVAL	DATE
REVISIONS				
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	10/26/12	100% SUBMITTAL		
	08/01/12	DRAFT 100% SUBMITTAL		

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Chin Mitchell

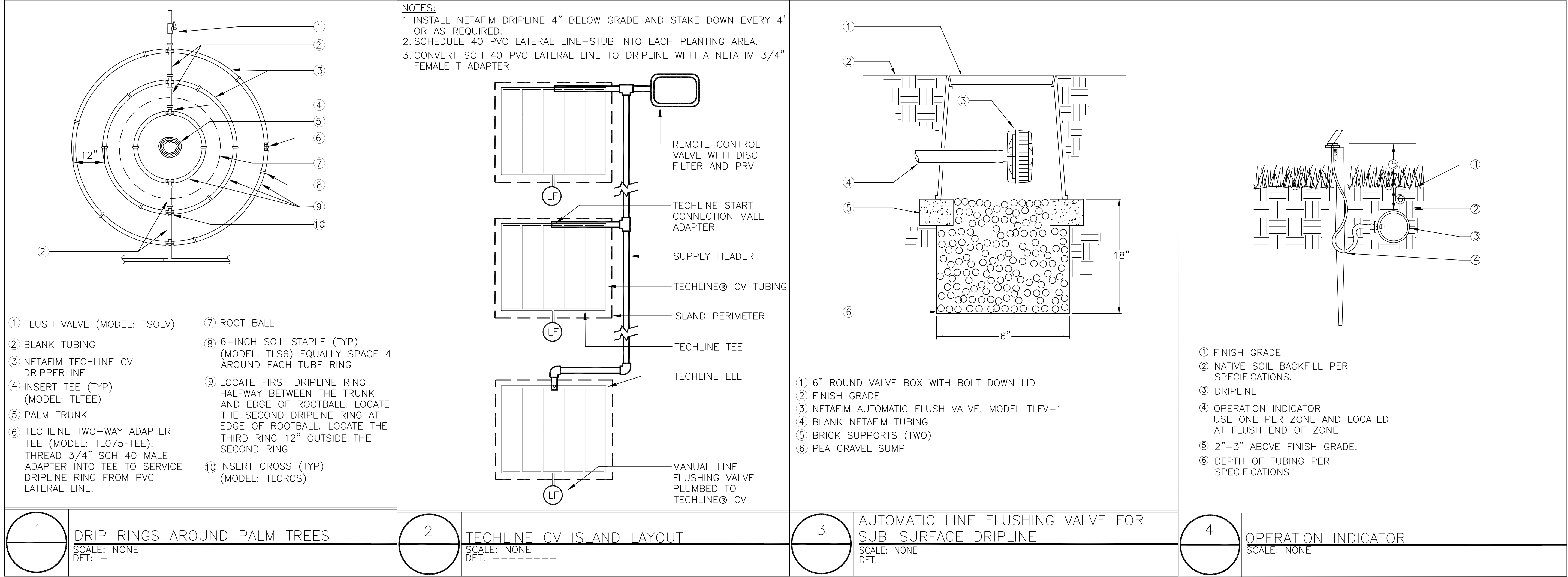
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PROJECT
**CITY OF SEASIDE
WEST BROADWAY URBAN VILLAGE
INFRASTRUCTURE IMPROVEMENTS PROJECT**

SHEET
IRRIGATION DETAILS

DATE
03/06/2013
SHEET 138 OF 146
DRAWING NO.
IR-2.3
JOB NO.
2013-76

BAR LENGTH ON ORIGINAL DRAWING EQUALS ONE INCH - ADJUST SCALE ACCORDINGLY



	03/06/13	100% FINAL SUBMITTAL			
	10/26/12	100% SUBMITTAL			
	08/01/12	DRAFT 100% SUBMITTAL			
NO.	DATE	DESCRIPTION	CITY APPROVAL	DATE	
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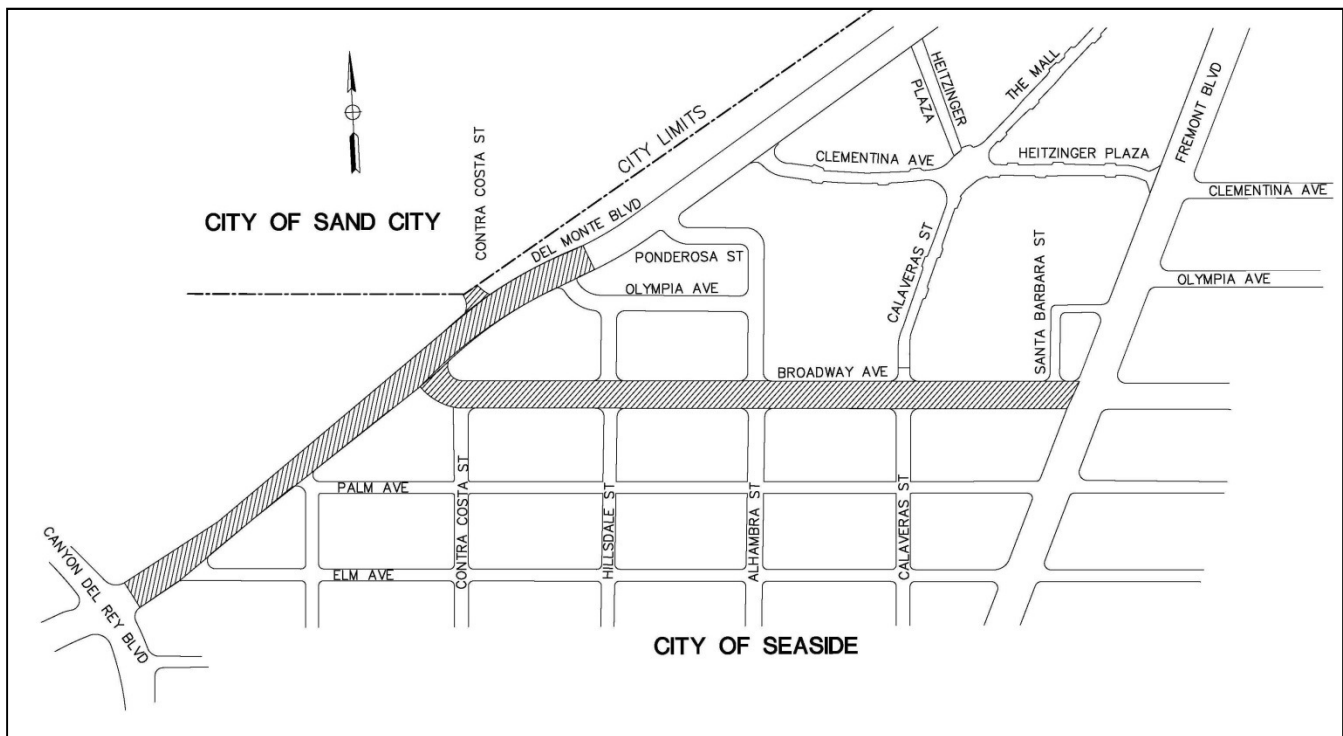
DESIGNED BY	CDM	PLANS PREPARED BY:
DRAWN BY	JSD	ROMA
CHECKED BY	CDM	Urban Design and Landscape Architecture 1527 Stockton Street San Francisco, California 94133 Telephone (415) 616-9900 Fax (415) 788-8728

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CITY OF SEASIDE, PUBLIC WORKS DIVISION 440 HARCOURT AVENUE SEASIDE, CA 93955 (831) 899-6884	
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PROJECT	CITY OF SEASIDE WEST BROADWAY URBAN VILLAGE INFRASTRUCTURE IMPROVEMENTS PROJECT	DATE	03/06/2013
SHEET	IRRIGATION DETAILS	SHEET OF	139 146
		DRAWING NO.	IR-2.4
		JOB NO.	2013-76

Location Map West Broadway Urban Village Infrastructure Improvement



**CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW
MEETING MINUTES**

440 Harcourt Avenue
Seaside Council Chambers
Seaside, CA 93955

1. **CALL TO ORDER** – November 2, 2011 @ 5:30 p.m. in the Seaside Council Chambers

2. **ROLL CALL**

Board Members Present:

- ☒ Ken Rudisill (Chairperson)
- ☒ Wendell Montes
- ☒ Mitsugu Mori
- ☒ Kathleen Ventimiglia

Staff Present:

- ☐ Tim O'Halloran, PW Senior Manager/City Engineer
- ☐ Rick Medina, Senior Planner
- ☒ Rick Riedl, Associate Civil Engineer
- ☐ Leslie Llantero, Engineer
- ☐ Lisa Brinton, Project Manager
- ☐ Mark Parker, Parks Maintenance Supervisor

3. **APPROVAL OF MINUTES**

On a motion by Ventimiglia/Montes, the Board voted unanimously to approve the minutes of the October 19, 2011 meeting.

4. **ORAL COMMUNICATION - None**

5. **NEW BUSINESS**

- A. **Board of Architectural Review Application No. BAR-11-10:** The City of Seaside, applicant, requested that the Board of Architectural Review receive presentation and provide comments on the proposed West Broadway Streetscape Design Plan. The project site is located within the public right-of-way on Broadway Avenue between Del Monte Boulevard and Fremont Boulevard within the West Broadway Urban Village Specific Plan Area. In compliance with Section 15164 of the California Environmental Quality Act, an addendum to the West Broadway Urban Village Specific Plan Final Environmental Impact Report will be prepared for this project.

Rick Riedl, Associate Civil Engineer, presented staff report.

The following individuals from the ROMA Design Group provided additional information on the proposed design as the City's consultant:

Boris Dramov, Principal Consultant, ROMA Design Group

Bonnie Fisher, Landscaper, ROMA Design Group

Craig McGlynn, Landscaper, ROMA Design Group

Public hearing was opened. Comments were received by the following individuals:

Marlene Kellogg for the Orlando Family – Expressed support for the overall concept but expressed concerns regarding how the loss of parking for Jose's Mexican Restaurant located at the corner of Broadway and Del Monte, the relocation of existing utilities in alley way, and potential for the proposed palm trees to create maintenance issue related to the shedding their fronds could result in negative impacts to the small businesses in the area.

Chantel Melendez – Stated that she had concerns related to what assistance could be provided by the City to assist property owners and business owners with making façade upgrades to their buildings to compliment the West Broadway Development Project. She was also stated that she had concerns with how the growth of the proposed street trees could cover the signs of the current businesses on West Broadway Avenue.

Gregorio Maldonado, owner of Jose's Mexican Restaurant, stated that was concerned with the loss parking spaces in front of his business. He stated that the site already has limited parking spaces to serve his clientele.

Seeing no other speaker, public comment was closed and the item brought back to the Board.

Board member Montes – Expressed concerns with the elimination of parking spaces within the public right-of-way based on the lack of current parking to meet existing demands per the Zoning Code. Also had concerns about birds roosting within in the proposed trees that would be near the public sidewalk, how the proposed trees would block existing and new business signs along the West Broadway Corridor, and tree heights.

Board member Ventimiglia – State that she was in favor of the overall concept but expressed concerns with the use and number of the liquid amber trees being proposed. She suggested that the City initially plant a few trees in order to test how well they grow and adapt to West Broadway corridor before fully implementing the planting plan.

Board member Mori – Expressed concerns with whether the liquid amber trees would thrive along the West Broadway corridor. He also felt that the cost of the canary palm was a bit excessive. He also stated that he would like a more subtle entry sign.

Board member Rudisill – Spoke in favor of the project and indicated that the design would make a statement. Expressed that the City needs to be committed to provide adequate maintenance of the project is key once the project is completed to ensure that it becomes the key downtown development that has been envisioned.

6. OLD BUSINESS

- A. Board of Architectural Review Application No. BAR-11-07:** Ashok Chand, applicant and property owner, requests design approval for modifications made to the approved architectural plans for a second-story addition to an existing single-story, single-family residential dwelling located at 1594 La Salle Avenue in the RS-12 (Single-family Residential) Zoning District (APN: 012-854-020). The project is Categorically Exempt Class 3, Section 15303, pursuant to the CEQA Guidelines. *The project has been continued from the October 5, 2011 BAR Meeting.*

Rick Medina, Senior Planner, presented staff report. He informed the Board that the Applicant has requested a continuance to the November 16, 2011 BAR Meeting in order to complete the design alternatives for his project as requested by the Board at its October 19, 2011 BAR Meeting.

On motion from Ventimiglia/Montes, the Board voted unanimously to continue item to November 16, 2011.

- B. Board of Architectural Review Application No. BAR-11-08:** The City of Seaside (Property Owner) applicant, is requesting design review approval for landscaping and irrigation improvements at Cutino Park located on the north east corner of Noche Buena Street and San Pablo Avenue (APN# 012-801-004,005,006). The project is Categorically Exempt Class 4, Section 15304, pursuant to the CEQA Guidelines. *The project has been continued from the October 5, 2011 BAR Meeting.*

Leslie Llantero, Engineer, presented staff report. Mark Parker, Parks Maintenance Supervisor, provided technical information on the planting plan and improvements to the border of the baseball field to prevent sedimentation and soil from running off into the adjacent walkways.

On motion from Ventimiglia/Montes, the Board voted unanimously to approve the landscaping and irrigation improvements for Cutino Park per the amended plans submitted for approval on November 2, 2011.

7. REPORTS BY BOARD MEMBERS -None

8. REPORTS BY STAFF - None

9. ADJOURNMENT

There being no further business, **on motion by Ventimiglia/Montes**, the Chair adjourned the meeting at 7:00 p.m.



MINUTES

CITY OF SEASIDE BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
City Hall Council Chambers
440 Harcourt Avenue
March 6, 2013
5:30 p.m.

1. CALL TO ORDER – 5:35 PM

2. ROLL CALL

_____ KEN RUDISILL (Chairperson)
____X____ WENDELL MONTES
____X____ MITSUGU MORI
____X____ KATHLEEN VENTIMIGLIA

3. MINUTES

A. Regular Meeting of February 20, 2013

Due to the minutes not being available, motion made by Board member Montes/Mori, to continue the minutes to the March 20, 2013 regular Board meeting.

4. ORAL COMMUNICATION

Members of the public may address the Board of Architectural Review regarding any item within the subject matter jurisdiction of the Board; however, no action may be taken on off-agenda items unless authorized by law. To be able to properly identify those making comments in the meeting minutes, it would be helpful if speakers state their names. Comments shall be limited to matters not listed on the agenda. Members of the public may comment on any matter listed on the agenda at the time that the Board considers that matter. Each person's presentation is limited to a maximum of three (3) minutes.

In compliance with the Americans with Disabilities Act (ADA), the City of Seaside does not discriminate against persons with disabilities and is an accessible facility. Any person with a disability who requires a modification or accommodation to be able to participate in this meeting is asked to contact the office of the City Clerk at thubbard@ci.seaside.ca.us or call 831.899.6707 no fewer than two business days prior to the meeting to allow for reasonable arrangements.

A portable microphone and assisted listening devices are available upon request.

Agenda related writings or documents provided to BAR are available for public inspection during the meeting or may be requested from the office of the City Clerk.

6. OLD BUSINESS

- A. **Board of Architectural Review Application No. BAR-11-10:** The City of Seaside, applicant, is requesting architectural design approval of the proposed West Broadway Urban Village Infrastructure Improvements Plans. The project site is located within the public right-of-way on Broadway Avenue between Del Monte Boulevard and Fremont Boulevard and on Del Monte Boulevard between Canyon Del Rey Boulevard and Olympia Avenue within the West Broadway Urban Village Specific Plan Area. In compliance with Section 15164 of the California Environmental Quality Act (CEQA), an addendum to the *West Broadway Urban Village Specific Plan Final Environmental Impact Report* was approved by the City of Seaside City Council on February 16, 2012 (Resolution No. 12-17).

Rick Reidl, Associate Engineer, introduced the City's consultants, Boris Dramanov and Bonne Fisher, from the firm of ROMA Design Group. Boris Dramanov presented overview of the project and the changes that have been to address Board comments made in November of 2011.

Board member Mori provided comments on type of Palm tree and estimated height at 20-25 feet. Board member Mori expressed that he would like staff to research the use of the Phormium Firebird to make certain that this species maintains its shape and color over time.

Board member Ventimiglia commented on style of street lighting and its compliance with "Dark Sky".

Public comment period was opened.

Stefan Georis, asked what plans the City has to refurbish the existing buildings and roadway on West Broadway. Lisa Brinton, Community and Economic Development Services Manager, informed Mr. Georis and the Board that the action this evening is only for the approval of the design and that the City would implement policies and programs in the future to provide some funding for the refurbishment of buildings and roads.

Seeing no additional speakers, the public comment period was closed.

Discussion ensued amongst the Board regarding the appropriate number of trees and spacing of trees within the streetscape. A "New Zealand Christmas" tree was discussed as an alternative to the use of a palm tree. Boris Dramanov informed the Board that the Washingtonia Palms were picked as the replacement based on their canopy beginning at 15-20 feet which would allow for visibility to the storefronts. The use of palms also provides a more open appearance that would provide sunlight to the storefronts and streetscape as well. Diana Ingersoll, Deputy City Manager – Resource Management Services, advised the Board that they could vote to approve the West Broadway Urban Village Improvement plan with the condition that the type of tree that would be used would come back to the Board for final approval prior to any trees being planted. She explained that there is some urgency in receiving approval on the construction plans so

BOARD OF ARCHITECTURAL REVIEW MINUTES

March 6, 2013

Page 3

that the City can receive bids for determination on the project cost in order to apply for grant funding.

Motion made by Montes/Mori, to approve the West Broadway Urban Village Improvement Plan subject to the final variety and number of trees being approved by the Board prior to any trees being planted was approved unanimously.

7. REPORTS BY BOARD MEMBERS - None

8. REPORTS BY STAFF - None

10. ADJOURNMENT – 7:10 PM

Next Scheduled Meeting
February 6, 2013
City Hall Council Chambers
440 Harcourt Ave
5:30pm



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 7.B.

TO: Board of Architectural Review

BY: Diana Ingersoll, Deputy City Manager Resource Management Services
Bob Larsen, Associate Planner
Rick Medina, Senior Planner

DATE: February 3, 2016

SUBJECT: SIGN PERMIT APPLICATION NO. SP-15-19: KATHERINE BIRTOLA, PROPERTY OWNER, AND ANJANETTE ADAMS, APPLICANT, ARE REQUESTING APPROVAL OF A THREE FOOT BY EIGHT FOOT FACIA MOUNTED SIGN AT "GLORIA'S FABRICS" LOCATED AT 775 BROADWAY AVENUE, LOCATED IN THE MX (MIXED USE – WEST BROADWAY URBAN VILLAGE PLAN) ZONING DISTRICT. THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CLASS 11, SECTION 15311. CLASS 11 CONSISTS OF CONSTRUCTION, OR PLACEMENT OF MINOR STRUCTURES ACCESSORY TO EXISTING COMMERCIAL, INDUSTRIAL, OR INSTITUTIONAL FACILITIES, INCLUDING SIGNS.

PURPOSE

Pursuant to Section 7, Development Standards and Design Guidelines for the West Broadway Urban Village Plan (WBUVP), all signs are subject to design review approval by the Board of Architectural Review (BAR).

RECOMMENDATION

Staff recommends approval of the new sign subject to the findings, evidence and Conditions of Approval provided as Attachment 1, Exhibit “A” – Project Plans.

BACKGROUND

SITE LOCATION AND DESCRIPTION

The project site is located on a 2,500 square foot parcel located within a row of existing single story commercial buildings on the north side of Broadway Avenue between Calaveras Street and Alhambra Street. The 1,100 square foot building is bordered by Kim’s Oriental Market to the east and Kar-Tunes Auto Stereo and Mobile Electronics to the west. The rear of the site is developed with off-street parking stalls and public alley. The auto center is located to the north of the project on the opposite side of the public alley. Broadway Avenue with retail commercial land uses is located to the south. (See Location Map as Attachment 2, Aerial Photo as Attachment 3 and Site Photographs as Attachment 4).

PROJECT DESCRIPTION

The applicant is proposing to install a 24 square foot wall sign on the mansard roof portion of the front façade at 775 Broadway Avenue. The sign will be mounted within an existing metal frame that is secured to the front of the building with a two by four, a metal track, and screws. Signs similar in size and location have been installed on adjoining businesses along this portion of Broadway Avenue. The front of the building has a continuous mansard roof over a glass storefront, glass entry door, and brick veneer front.

The sign will be composed of an aluminum composite board with 3/8 inch thick dimensional acrylic lettering with digital print background. The raised “Gloria’s” lettering will be green and the “FABRICS” lettering and decorative spool of yarn and scissors will be multicolored to symbolize fabric. The sign will not be illuminated.

STAFF ANALYSIS

Sign Standards for Broadway Avenue

This portion of Broadway Avenue is governed by the Seaside Municipal Code (SMC) and the West Broadway Urban Village Specific Plan (WBUVSP). SMC Section 17.40.070, Table 3-16: Sign Standards for Commercial and Industrial Zones allows for a maximum sign area per parcel of one square foot for each linear foot of primary building frontage not to exceed 100 square feet. This building has 25 feet of primary frontage and is therefore entitled to a maximum of 25 square feet of sign area. The applicant is proposing 24 square feet of sign area which is less than the maximum square footage allowed for this location. All other requirements of SMC Section 17.40.060.F: Design Criteria, with regards to color, design and construction, and materials and construction have been met.

The sign must also comply with the Development Standards for the West Broadway Urban Village Specific Plan which states that all new development, remodeled exteriors and new signage are subject to design review by the BAR. The following portions of Section D.7, Signs, of the WBUVSP apply to this application.

Section D.7 Signs

D.7.1 Function

Standards D.7.1.1 The primary purpose of signs shall be to identify a business.

- Guidelines D.7.1.2 The design of a sign should be simple and easy to read.

D.7.2 Architectural Context and Placement

- Standards D.7.2.1 Signs shall not be permitted on top of any roof, and no sign attached to a wall or eave shall project above the eave line of the building.

- Guidelines D.7.2.7 Signs should generally be symmetrically located within a defined architectural space.

D.7.3 General Design

- Standards D.7.3.2 No “can” (box type) signs with translucent plastic sign panel front with applied or painted lettering shall be permitted except for tenant logos.
- Guidelines D.7.3.4 Sign design should be appropriate to the business establishment.

ENVIRONMENTAL DETERMINATION

The project is exempt from the California Environmental Quality Act pursuant to Class 11, Section 15311. Class 11 consists of construction, or placement of minor structures accessory to existing commercial, industrial, or institutional facilities, including signs.

Evidence: The proposed on premise sign is a minor accessory structure to the existing commercial building.

FINDINGS

The proposed project is consistent with the objectives of the General Plan and WBUVSP, and complies with applicable zoning regulations and design criteria for signs.

Evidence: The building colors and sign plans have been reviewed in accordance with the General Plan, SMC, and Chapter 7 of the WBUV SP, and it is concluded that the proposed sign will be compatible with signs in the surrounding area, is appropriate for the business establishment, and will meet the aesthetic and design standards of the Broadway Avenue commercial corridor.

FISCAL IMPACT

There is no fiscal impact associated with this item.

ATTACHMENTS

1. Attachment 1 - Conditions of Approval
 2. Attachment 1-Exhibit A - Project Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Aerial Photo
 5. Attachment 4 - Site Photographs
-

Conditions of Approval
File No. SP-15-19
February 3, 2016

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “775 Broadway Gloria’s Fabrics” stamped as “Received November 12, 2015, Seaside Resource Management” and approved on February 3, 2016. The proposed sign plans are attached as Attachment 1 - Exhibit “A”.

Building:

2. All improvements that are subject to the issuance of a Building Permit must comply with the 2013 California Building Code.

Fire Department:

3. All improvements that are subject to the issuance of a Building Permit must comply with the 2013 California Fire Code.

Standard:

1. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
2. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.62.030. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
3. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.62.030.
4. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such

action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

5. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
6. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.

SIGN PERMIT APPLICATION NO. SP-15-19

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant's Signature

Date

Property Owner's Signature

Date



NTS



Mounting:
bottom of sign screwed into 2x4
top of sign held by metal track
screwed into 2x4 in top of sign.
metal track fastened to roof



**MONTEREY
SIGNS** PH: 831.632.0490
555 Broadway Ave.
Seaside, CA 93955

CUSTOMER Gloria's Fabrics

CONTACT Ivette Nava

PHONE (831) 915-7278

ADDRESS 775 Broadway Ave. Seaside CA 93955

EMAIL ivetteluisnava@gmail.com

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3' x 8' aluminum composite board
w/ 3/8" thick dimensional acrylic "Gloria's" lettering
background to be digital print
Qty. 1



**MONTEREY
SIGNS**
PH: 831.632.0490
555 Broadway Ave.
Seaside, CA 93955

CUSTOMER Gloria's Fabrics

CONTACT Ivette Nava

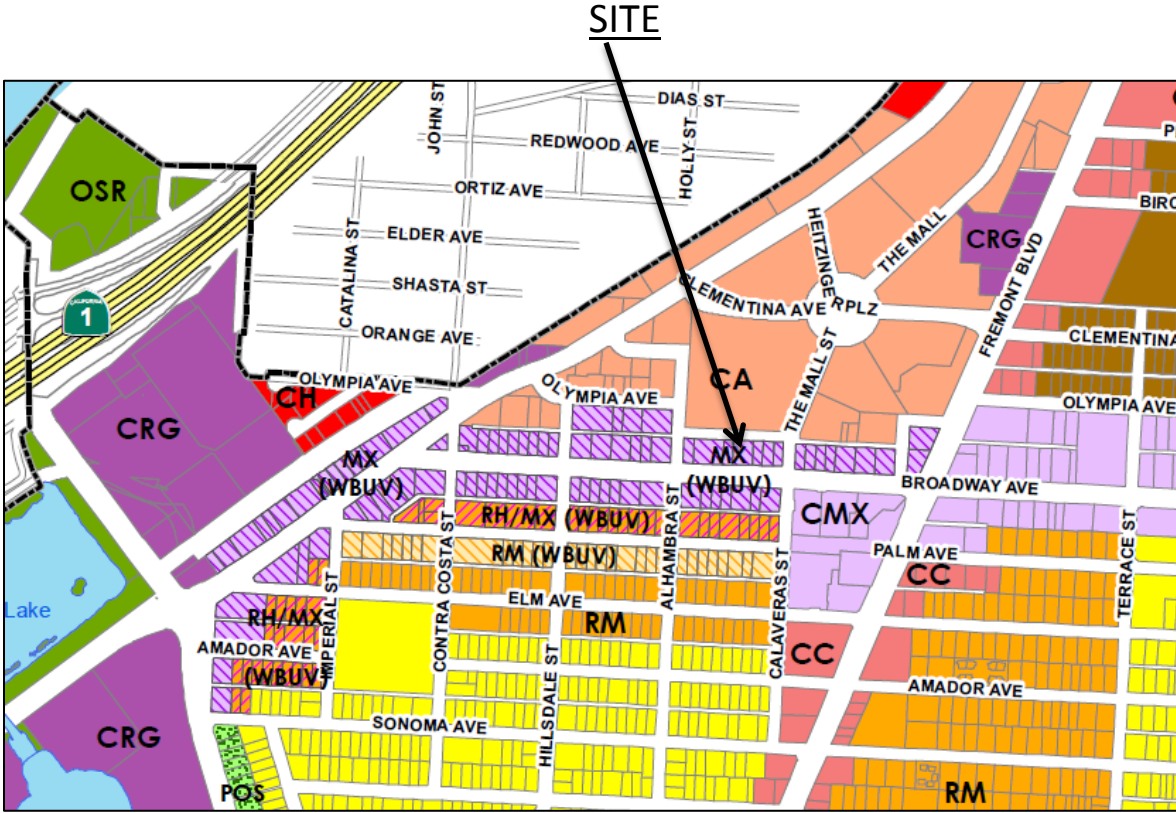
PHONE (831) 915-7278

ADDRESS 775 Broadway Ave. Seaside CA 93955

EMAIL ivetteluisnava@gmail.com

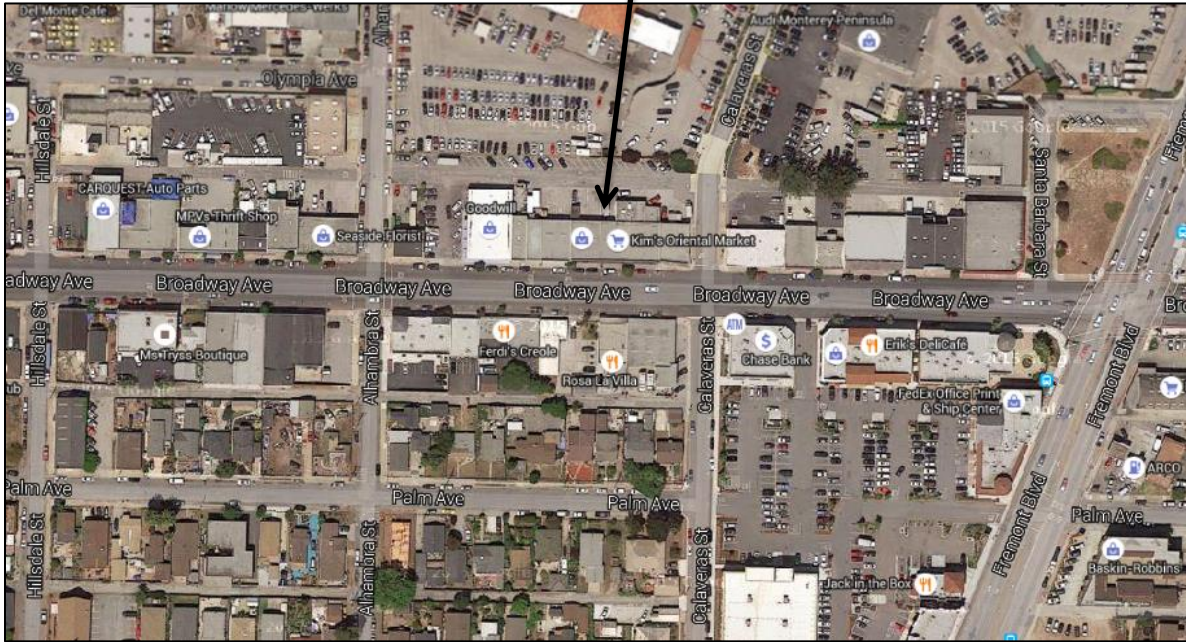
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LOCATION MAP



AERIAL PHOTO

SITE



KAR • TUNES
SOUNDS • SECURITY • CELLULAR

동양 마켓
Kim's Oriental Market

FLAGSHIP
RETAIL SPECIALTY
Pioneer

767
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**CITY OF SEASIDE
STAFF REPORT**

Item No.: 7.C.

TO: Board of Architectural Review

BY: Diana Ingersoll, Deputy City Manager Resource Management Services
Rick Medina, Senior Planner

DATE: February 3, 2016

SUBJECT: **SIGN PERMIT APPLICATION NO. SP-16-01: CITY OF SEASIDE, PROPERTY OWNER AND APPLICANT, IS REQUESTING APPROVAL OF A FIVE-FOOT NINE-INCH TALL FREESTANDING SIGN IN FRONT OF THE FIRE DEPARTMENT BUILDING LOCATED AT 1635 BROADWAY AVENUE IN THE PI (PUBLIC INSTITUTIONAL) ZONING DISTRICT. THE PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO CLASS 11, SECTION 15311. CLASS 11 CONSISTS OF CONSTRUCTION, OR PLACEMENT OF MINOR STRUCTURES ACCESSORY TO EXISTING COMMERCIAL, INDUSTRIAL, OR INSTITUTIONAL FACILITIES, INCLUDING SIGNS.**

PURPOSE

In accordance with Section 17.40.030.A of the Seaside Municipal Code, the proposed sign is subject to the review and approval by the Board of Architectural Review.

RECOMMENDATION

Staff recommends approval of the new sign subject to the findings, evidence and Conditions of Approval provided as Attachment 1, Exhibit "A" - Project Plans.

BACKGROUND

SITE LOCATION AND DESCRIPTION

The project site is located at the northeast corner of Broadway Avenue and Yosemite Street. The is bordered by a public elementary school to the east and north, two church buildings to the south single family residences to the west (See Location Map as Attachment 2, Aerial Photo as Attachment 3 and Site Photographs as Attachment 4).

PROJECT DESCRIPTION

The proposed sign will consist of an open redwood frame that would contain an 8'x4' temporary banner. The framing would consist of 4x4 redwood posts mounted with fence post footing design. The sign frame would extend one-foot-nine inches above the concrete pad. The height of the sign frame would be five-foot nine-inches above the concrete pad. The banner would be secured to the corner of the frame with ties. The banner would be replaced by the Seaside Fire Department every thirty days with a different public service announcement.

STAFF ANALYSIS

Sign Standards

In accordance with Section 17.40.070.A – Table 3-15, a non-residential use within a residential neighborhood is permitted to have one freestanding sign per the following development standards:

1. Height of 6-feet; and
2. Sign are of 32 square feet

In review of the site location, the sign will be setback behind a side wall adjacent to the entrance of the Fire Department and behind the stop bar at Yosemite Street and Broadway Avenue so that it will not obstruct a traffic safety visibility area.

City staff finds that the proposed sign will be in compliance with the permitted development standards. Additionally, the redwood material will blend with the horizontal redwood façade elements that extend above the front entrance to the Fire Department and the horizontal redwood façade above the bay door entrances to the Fire Department.

ENVIRONMENTAL DETERMINATION

The project is exempt from the California Environmental Quality Act pursuant to Class 11, Section 15311. Class 11 consists of construction, or placement of minor structures accessory to existing commercial, industrial, or institutional facilities, including signs.

Evidence: The proposed on premise sign is a minor accessory structure to the existing commercial building.

FINDINGS

The proposed project is consistent with the objectives of the General Plan and WBUVSP, and complies with applicable zoning regulations and design criteria for signs.

Evidence: The sign plans have been reviewed in accordance with the General Plan, SMC, and it is concluded that the proposed sign will be compatible with signs in the surrounding area, is appropriate for the type of public service announcements that will be on display, and will meet the aesthetic and design standards of the Seaside Municipal Code.

FISCAL IMPACT

ATTACHMENTS

1. Attachment 1 - Conditions of Approval
 2. Attachment 1 - Exhibit "A": Project Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Aerial Photo
 5. Attachment 4 - Site Photographs
-

Conditions of Approval
File No. SP-16-01
February 3, 2016

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “1635 Broadway Avenue” stamped as “Received January 25, 2016, Seaside Resource Management” and approved on February 3, 2016. The proposed sign plans are attached as Attachment 1 - Exhibit “A”.

Building:

2. All improvements that are subject to the issuance of a Building Permit must comply with the 2013 California Building Code.

Fire Department:

3. All improvements that are subject to the issuance of a Building Permit must comply with the 2013 California Fire Code.

Standard:

1. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
2. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.62.030. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
3. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.62.030.
4. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such

action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.

5. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
6. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.

SIGN PERMIT APPLICATION NO. SP-16-01

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

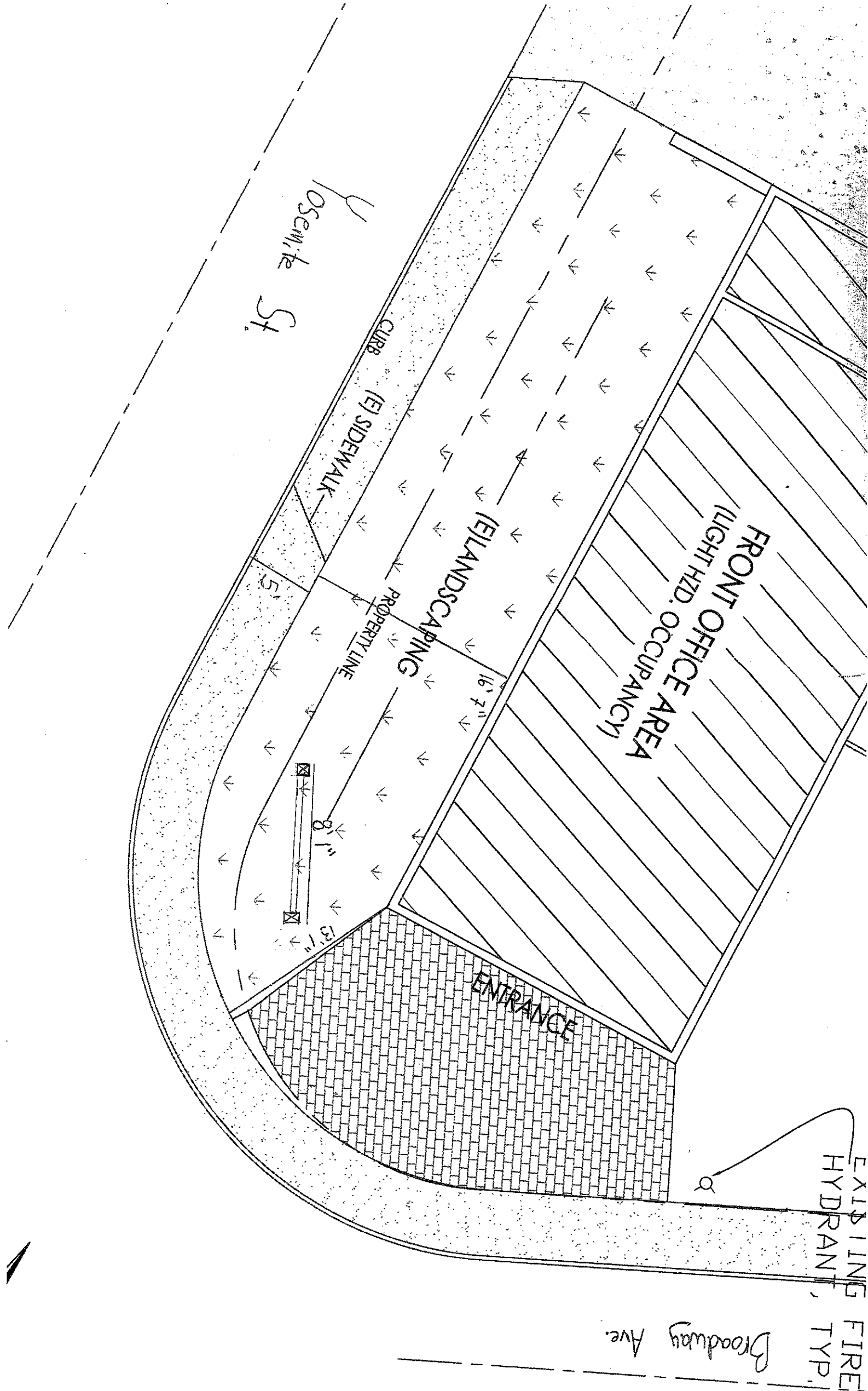
The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

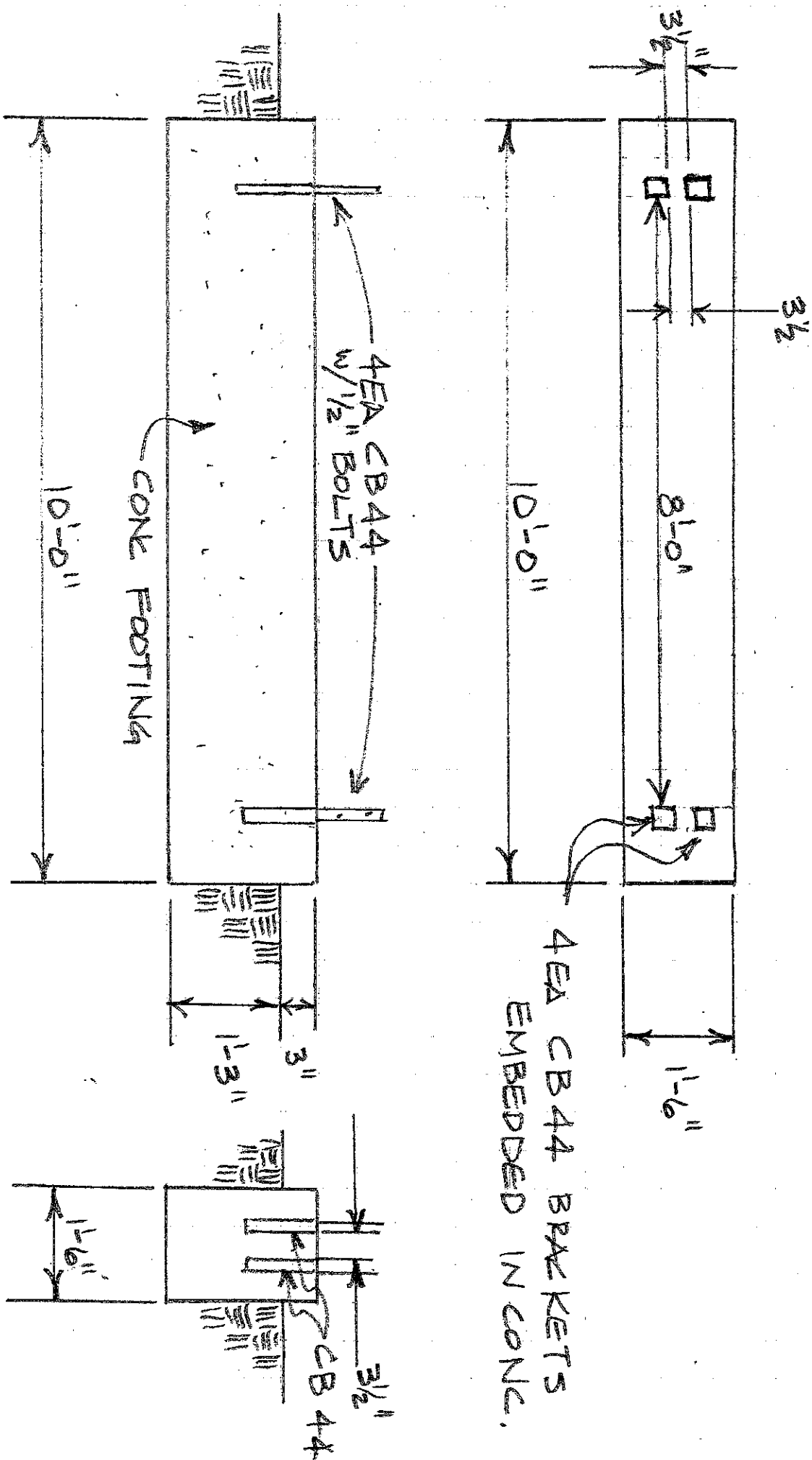
Applicant's Signature

Date

Property Owner's Signature

Date





FOUNDATION PLAN

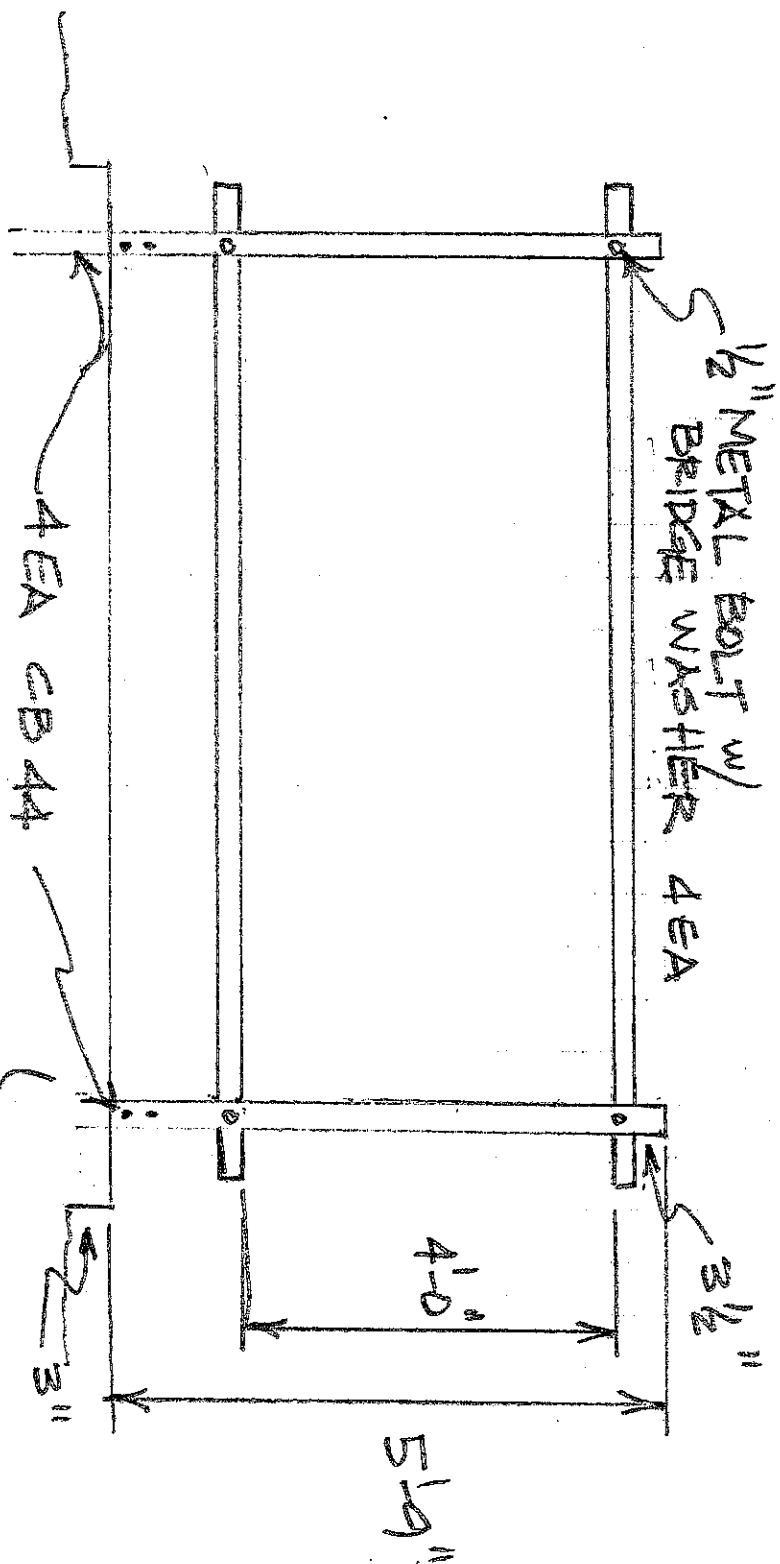
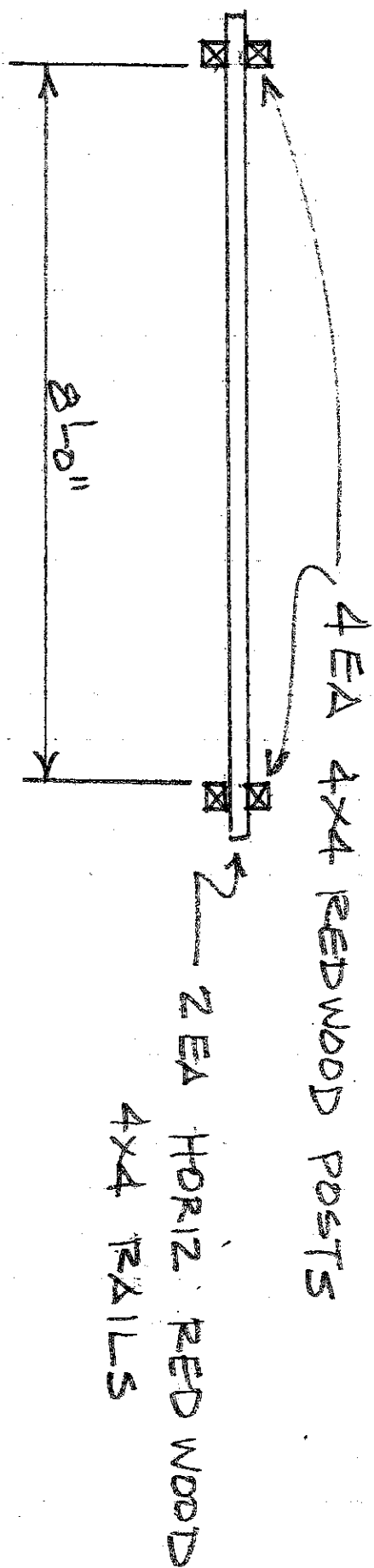
SEASIDE FIRE DEPT
SIGN PROJECT

SCALE: 1/2" = 1'-0"

1635 BROADWAY, SEASIDE

Brady Leist
Eagle Scout Project

PAGE 2 of 5



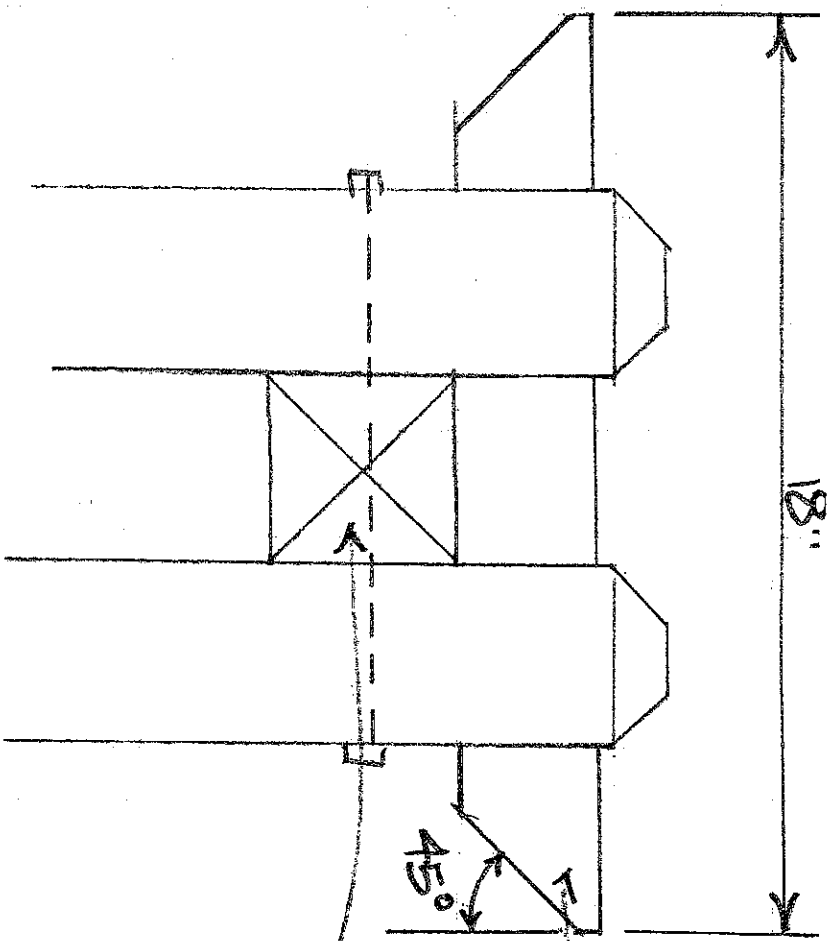
SEASIDE FIRE DEPT
ST 6th PROJECT
1135 BROADWAY, SEASIDE

CONCRETE FOUNDATION

SCALE: 1/2" = 1'-0"

PAGE 3 OF 5

Brady Leist
Eagle Scout Project



1 1/2 x 2 3/4 REDWOOD PERGOLA TOP
@ 6" O.C.

HORIZ REDWOOD 4x4

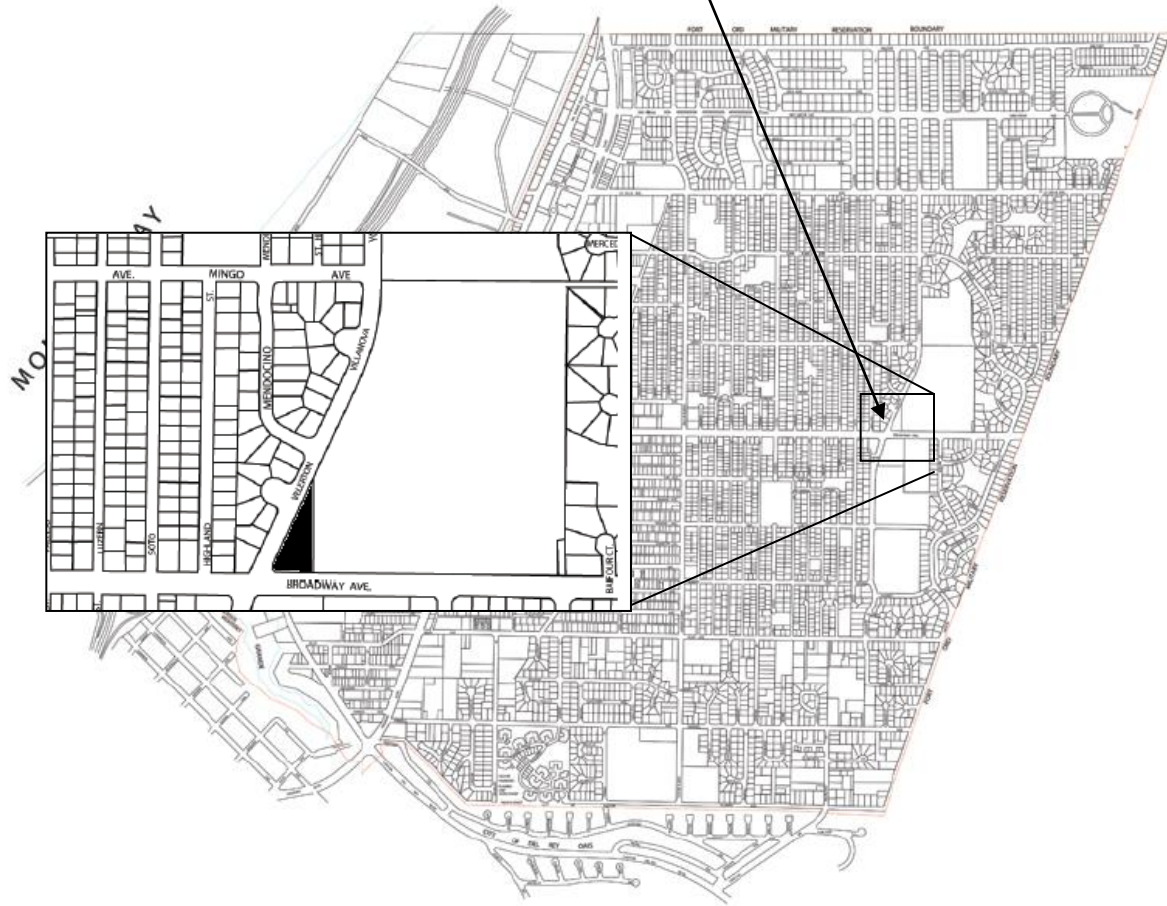
SEASIDE FIRE DEPT
STAIN PROJECT
1635 BROADWAY, SEASIDE

DETAIL DRAWING
SCALE: 1/4" = 1"

Brady Leist
Eagle Scout Project
PAGE 5 OF 5

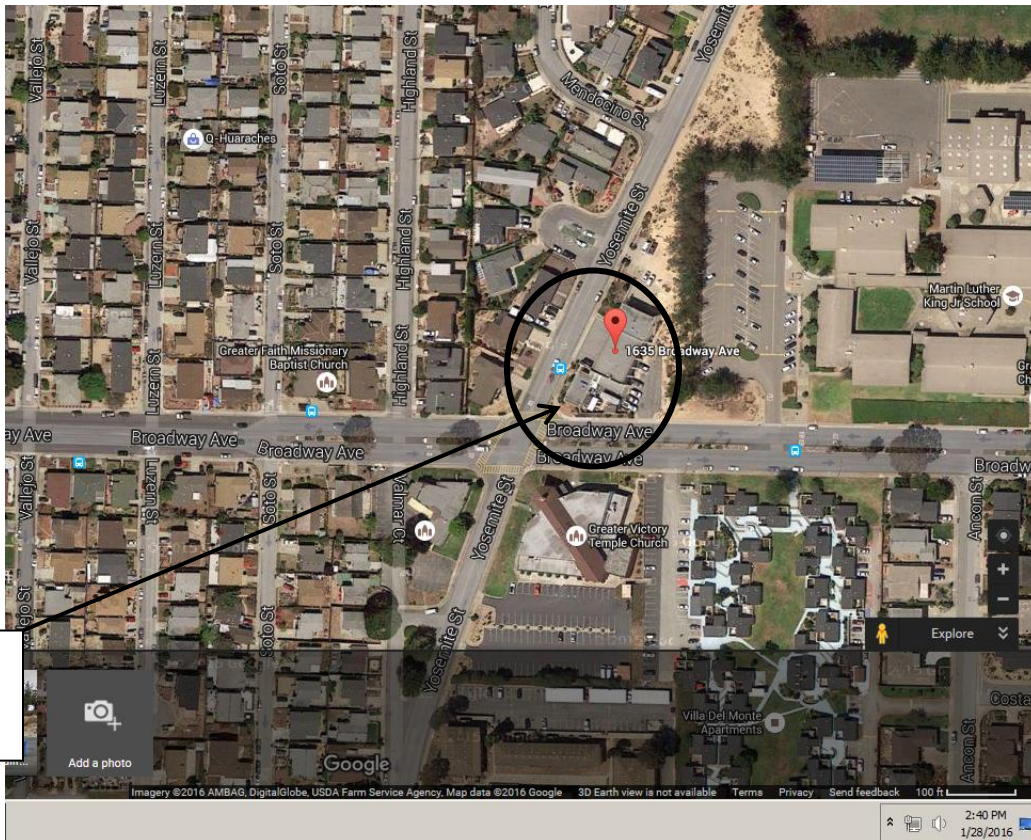
Location Map

Project Site: 1635 Broadway Avenue



Attachment 3

Projec Site: 1635 Broaadway Avenue



Attachment 4

Site Photographs

Sign Location



View from Broadway Avenue and Yosemite Street

Sign Location



View from Yosemite Street