



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, June 1, 2016
5:30 PM

PLEASE TURN OFF YOUR CELL PHONES UPON ENTERING THE MEETING

1. **CALL TO ORDER**
2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

BOARD OF ARCHITECTURAL REVIEW

Toby Keller	Chair
Mitsugu Mori	Board Member
Ken Rudisill	Board Member
Kathleen Ventimiglia	Board Member
Bani Khalsa	Board Member

3. **REVIEW OF AGENDA**
If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).
4. **ORAL COMMUNICATION**
Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.
5. **APPROVAL OF MINUTES**
6. **BUSINESS ITEMS**

A. Architectural Review Application No. BAR-16-02: Martin Morales (Property Owner) and Sergio A. Vaca, (Applicant) request approval to demolish an existing one-story residence and construct a new 1,776 square foot, two-story single-family dwelling, a new single-story 441 square foot two-car detached garage and associated site and landscape improvements at 1098 Clementina Avenue, located in the RH, High Density Residential, Zoning District.

PURPOSE: The applicant is requesting Board of Architectural Review (BAR) approval for a new two-story single-family home with a new one-story detached garage, and site and landscape improvements. The site current contains an existing one-story home, which would be demolished as part of the site redevelopment. The existing residence has no covered parking and is thereby non-conforming.

RECOMMENDATION: Staff recommends approval of a proposed two-story, single-family residence, detached garage and site improvements subject to the conditions of approval provided as Exhibit A and Attachment 1 – Project Plans.

7. REPORTS FROM BOARD MEMBERS

8. REPORTS FROM STAFF

9. ADJOURNMENT

Next Regularly Scheduled Meeting:
Wednesday, June 18, 2016
Seaside City Hall
5:30 PM

The City of Seaside is an ADA accessible facility and is committed to include the disabled in all of its services, programs and activities. Any person who requires accommodation to be able to participate in this meeting is asked to contact the office of the City Clerk at 899-6707, no fewer than two business days prior to the meeting to allow for reasonable arrangements.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are also available.

Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Meetings are also available through live streaming at:

<http://cvp.telvue.com/player?id=T01629&video=52314&noplaylists=1&width=400&height=300> Videos of past meetings are available on demand through the City's website: <http://www.ci.seaside.ca.us>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.A.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner
Scott Harriman, Planning Staff

DATE: June 1, 2016

SUBJECT: **Architectural Review Application No. BAR-16-02: Martin Morales (Property Owner) and Sergio A. Vaca, (Applicant) request approval to demolish an existing one-story residence and construct a new 1,776 square foot, two-story single-family dwelling, a new single-story 441 square foot two-car detached garage and associated site and landscape improvements at 1098 Clementina Avenue, located in the RH, High Density Residential, Zoning District.**

PURPOSE

The applicant is requesting Board of Architectural Review (BAR) approval for a new two-story single-family home with a new one-story detached garage, and site and landscape improvements. The site current contains an existing one-story home, which would be demolished as part of the site redevelopment.

RECOMMENDATION

Staff recommends approval of a proposed two-story, single-family residence, detached garage and site improvements subject to the conditions of approval included as Exhibit A and Attachment 1 – Project Plans.

BACKGROUND

SITE LOCATION AND DESCRIPTION

The subject parcel is approximately 4,050 square feet in size and is located at the southwest corner of Clementina Avenue and Terrace Street. The 40.17' x 100.84' parcel is relatively flat, contains one small multi-trunk oak tree and has access to a public alley along its southern (rear) property line. The site currently contains a small, one-story home of approximately 500 square feet in size and small storage sheds, and takes vehicle access from a driveway along the Clementina Avenue frontage. The site is within a residential neighborhood with a variety of one and two story homes. The Location Map is included as Exhibit B. Site photographs are included

as Exhibit C. The adjacent land uses are identified in Figure 1 below:

Figure 1: Project Site Adjacent Land Uses				
NW		N		NE
	Residential	Residential	Multi-Family Residential	
W	Multi-family Residential	Project Site	Residential	E
	Residential	Residential	Residential	
SW		S		SE

PROJECT DESCRIPTION

The applicant is proposing to demolish the existing residence and small storage buildings and fences on site and construct a new two-story, 1,776 square foot single-family residence and a 441 square foot one-story detached garage. The project proposes to remove the existing driveway from the Clementina Avenue frontages and relocate vehicle access to a new garage, which would be served from the adjacent alley. An existing driveway curb cut along the Terrace Street frontage will also be removed. The project also includes new landscape amenities and new perimeter fences on both street frontages.

The new home would have a first floor area of 1,028 square feet and contain the kitchen, a combination dining and family room, a living room, a full bathroom and one bedroom. The second floor would be 748 square feet in size and contain three bedrooms, a full bathroom, and storage closets. Architectural features of the new home include stucco siding, horizontal banding, front entry porch with columns and railing, covered rear yard porch, two small second floor balconies and wood railings, decorative front corbels, divided light windows, wood trim on windows and doors, hip roof forms on home and detached garage, and terracotta-colored composition roof shingles.

Landscape features include a drip irrigation system and a variety of drought tolerant plants, including three 15-gallon Western Redbud trees, California Poppies, Mexican Sage and Douglas Iris. These plantings will provide a variety of color along both street frontages.

The conditions of approval are included as Exhibit A. The project plans are included as Attachment 1 to Exhibit A.

STAFF ANALYSIS

In accordance with Section 17.62.030, Architectural Review is required for all new single-family construction. Architectural Review approval requires that the BAR evaluate architecture, landscaping and exterior lighting. The following section provides evaluation criteria and staff response for each required design element.

Design Criteria - Architecture

Architectural considerations include character, quality, and scale of the design, architectural relationship to the site and other structures, building materials, colors, fencing, walkway improvements, exterior lighting and screening of exterior appurtenances.

Response: The project proposes to demolish an older home and replace it with a new two-story single-family residence that incorporates stucco siding, hip roofs and composition roof shingles. The scale of the proposed two-story residence appears somewhat taller than the adjacent two-story multi-family building, however the proposed design incorporates hip roofs, horizontal belly banding, and balcony and window placement that provides visual relief and interest along wall areas. One story elements that eliminate a box-like appearance, including the front entry and a front room along the Terrace Street frontage, also provide visual interest and a “stepped down” appearance. Architectural features include multi-light windows, wood window and door trim, balcony railings, corbels below second story front window projection, and front entry porch railing and columns. Plans specify an earth tone color scheme incorporating a primary body color of (Sherwin Williams) Concord Buff; San Antonio Sage trim color on windows, doors and fascia board; and French Roast as the accent color on railings, corbel and garage door.

Staff recommends that a pathway from the rear sliding door of the home to the garage entry man-door be improved with pervious pavers or stepping stones to enhance the pedestrian connection between the two structures. Staff also suggests that the second, west-facing balcony incorporate screening, such as solid railings, to enhance privacy.

The project proposes public sidewalk improvements including the elimination of two existing driveway approaches on Clementina Avenue and Terrace Street and replacing both with new city-standard curb, gutter and sidewalk. New wood fencing is proposed along the project perimeter. The project also proposes to rebuild the existing public sidewalk pedestrian crosswalk ramp at the corner of Terrace Street and Clementina Avenue with a new ADA pedestrian ramp. These public improvements enhance pedestrian access and safety around the project site.

Landscaping

Landscape considerations include color, coverage, location, size, texture, plant materials, provisions for irrigation, maintenance, protection of landscape areas and similar elements. The BAR shall encourage the planting of native and/or draught-tolerant landscaping.

Response: The project proposes a variety of native, draught-tolerant and colorful plantings including California poppy, Douglas Iris, Mexican Sage, and three 15-gallon Western Redbud trees. Staff is recommending, as a condition of approval, alternative plant selections to replace the Meadow Sedge, Stonecrop and Red Twig Dogwood which are not on the draught-tolerant plant list in the Seaside Design Guidelines.

A drip irrigation system is proposed to deliver water directly to the plants throughout the site consistent with landscape standards specified in the Seaside Municipal Code Section 17.30.040.

The landscape plan proposes approximately 190 square feet of “Natural” turf in the front yard.

Staff could not find a reference to that grass type and recommends the use of an ornamental, no-mow grass, such as Blue Lyme, California Fescue or Pacific Hairgrass. Staff also recommends that the curved front walkway be simplified with less-dramatic curves to improve use and ease landscape maintenance. The plan does not show any landscape materials within the five (5) foot west side yard. This area is integral to the site's stormwater and drainage management and needs to remain free of impervious surface. Conditions of approval in the proposed resolution (Exhibit A) include these landscape elements as requirements.

Lighting

Lighting considerations include proposed outdoor lighting, including placement and types of fixtures, and illumination levels.

Response: Exterior lighting will be consistent with standard residential lighting. Staff is recommending as a condition of approval that the large stairwell window on the right (west) elevation be reduced in size and fitted with frosted or decorative glazing to reduce potential light intrusion onto the neighboring multi-family development. Staff believes that other second story windows will not pose a significant privacy or light impact on neighbors in that the proposed windows are in upstairs bedrooms which typically have window coverings and are not gathering areas. Staff is also recommending that lighting in second story balconies be recessed and have shielded light sources to prevent off-site glare. Staff believes that as proposed and conditioned, the exterior lighting will be sensitive to surrounding residences.

Residential Development Regulations

In accordance with Seaside Zoning Code Section 17.12.050, the following table summarizes the zoning standards for a single dwelling home in the RH Zoning District and the project's compliance with each criterion.

RH-High Density Residential Zoning Compliance Table			
Criteria	Standard	Proposed	Compliance
Density	1du/1,742 sf of site area 4,050/1,742=2.3max	One unit	Yes
Setbacks-Front	15'	15'	Yes
-Interior Side	5' for bldgs ≤ 24' high	5'	Yes
-Street Side	10'	10'	Yes
-Rear	15' *1 (garage access from alley exception)	13' (29' provided from garage door to opposite side of alley)	Yes
Floor Area Ratio	0.45	0.44 *2 (1,777/4,050=0.438)	Yes
Site Coverage	60%	53% (2,151sf/4,050sf)	Yes
Height	24'	23' -8"	Yes
Fencing	4' high in front/street side setbacks & traffic safety visibility zone 6' high in side and rear	4' high in front & street side yards, conditioned to lower fence along rear within driveway traffic safety zone. 6' high in side	Yes (as conditioned)
Landscaping	Req'd per 17.62.030B2 &	Drought tolerant plantings,	Yes

	17.30.040	natives, drip irrigation sys	
Parking	2 spaces within a garage/carport	2 spaces within a garage	Yes

*¹ Section 17.34.120(H)(3): Garage access from alley shall have a min 29' from opposite side of alley

*² Up to 440sf of garage may be excluded from FAR calculation.

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Class 3, Section 15303, New Construction or Conversion of Small Structures. Class 3 consists of construction and location of limited numbers of new, small facilities or structures. Examples of this exemption include but are not limited to one single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

Evidence: The project proposes to demolish an existing single-family dwelling and construct a new single-family dwelling on the same parcel within a residential zoning district. The residential construction project is within an urbanized area and is consistent with the General Plan and zoning regulations, and would not result in an expansion of the existing use that would result in a significant impact on the environment.

FINDINGS

The proposed project is consistent with the objectives of the General Plan and complies with the applicable zoning regulations for the RH, High Density Residential zoning district.

Evidence: The proposed plans have been reviewed in accordance with the City of Seaside Municipal Codes and specific development regulations of the RH zoning district. The project complies with development regulation, policies and goals of the Seaside Municipal Code and General Plan. The project would replace an older structure with non-conforming parking and replace it with a new two-story home with a complying two-car detached garage with new vehicle access from the adjacent public alley. The project will remove two driveway curb cuts, one on each of the street frontages and install a new ADA pedestrian ramp at the corner, thereby improving pedestrian and vehicular circulation in the neighborhood.

Granting the approval would not be detrimental to the public interest, health, safety, convenience or general welfare of persons or property in the vicinity.

Evidence: The project replaces an existing one-story single-family home with a new two-story single-family home with complying two car garage parking. The project improves pedestrian and vehicle circulation by removing two driveway approaches and installs a new ADA pedestrian ramp at the corner. The project, situated at a visible corner location, proposes to install new draught tolerant landscaping and trees along both street frontages that will provide a visual amenity within the neighborhood. The project represents a substantial private investment to private and public property in the neighborhood. For

these reasons the project would not be detrimental to the public interest or general welfare of persons or property in the vicinity.

The scale, location, size, and design characteristics, including landscaping and lighting, of the proposed plans are consistent with the Seaside Single Family Residential Design Guidelines and compatible with existing and planned future land users in the vicinity.

Evidence: The proposed two-story residence incorporates stucco siding, multi-light windows, wood trim, corbel trim details, second floor balcony railings and a front entry porch. Architectural features along the front elevations including an entry porch and second floor window projection with corbels trim details. The street side elevation includes one-story elements to provide visual interest and “step-down” to reduce the visual massing. Second floor balconies and hip roof forms also provide visually relief and reduce the scale and mass of the two-story structure. New landscaping including ground cover, shrubs and three trees provide an enhanced front streetscape. The project as proposed and conditioned will be compatible with the existing and future development in the vicinity.

CONCLUSION

Based on the analysis, staff recommends approval of the design review request. The proposed dwelling is consistent with the Seaside General Plan and complies with the requirements of Title 17 of the Seaside Municipal Code and the Single-Family Residential Design Guidelines.

FISCAL IMPACT

There is no fiscal impact associated with this item.

ATTACHMENTS

1. Exhibit A - Conditions of approval
 2. Exhibit A - Attachment 1: Project Plans
 3. Exhibit A - Attachment 2: Light Fixtures
 4. Exhibit B – Location Map
 5. Exhibit C - Site Photographs
-

Conditions of Approval
File No. BAR-16-02
June 1, 2016

Project Specific:

Planning:

1. Except as modified by required conditions of this approval, plans submitted for a building permit shall substantially conform to the plans identified as Exhibit A, "New Two-Story Home at 1098 Clementina Avenue" stamped as received on April 21, 2016, and as approved on June 1, 2016.
2. Plans submitted for Building Permit shall include the following revisions from the attached, Exhibit A, Architectural Review plans:
 - a. The plant list shall be revised to eliminate the California Meadow Sedge, Stonecrop, Red Twig Dogwood and Natura Turf and include alternative drought tolerant plantings and turf.
 - b. Site and landscape plans shall be revised to show a pervious path of travel from the rear sliding door to the rear garage door.
 - c. The new front yard entry walkway shall be redesigned with a more subtle curve to improve pedestrian usability and landscape maintenance.
 - d. The new fence along the rear alley property line shall be reduced to a maximum of four (4) feet in height in accordance with Section 17.30.030(E)(2b), Driveway visibility Area.
 - e. The second floor stairwell window on the right (east) elevation shall be reduced in size and use decorative or frosted glass to reduce potential light intrusion on neighboring properties.
 - f. The second story west-facing balcony shall be designed with solid railings to enhance privacy.
3. All exterior lighting shall be down-directed with shielded light sources to prevent glare and/or light intrusion on neighbors.
4. All second floor balcony lighting shall be recessed (can-type) fixtures with shielded light sources to prevent glare and/or light intrusion on the surrounding area.

Building:

5. A demolition permit issued through the City of Seaside Building Division is required prior to any demolition work.
6. Plans submitted for Building Permit review shall include a soils report and engineered design.
7. Fire sprinklers are required for the construction of the new dwelling. See Fire Department conditions below for specific details.

Fire Department:

8. Fire Sprinklers Required – The residence shall be protected with an automatic fire sprinkler system in compliance with the National Fire Protection Association Standard 13D. Plans for the fire sprinkler system must be submitted and approved by the Seaside Fire Department prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection from the building department.
9. A fire alarm water flow switch is required on all residential fire sprinkler systems and shall be located so that it is audible to the occupants of the residence. The flow switch shall be wired to the kitchen refrigerator circuit.
10. It is the responsibility of the applicant to check with the local water service company (Cal Am) to insure the proper water meter size is provided for both the domestic and fire sprinkler flows. Generally, a 1 inch meter is required.
11. An indicating type valve shall be installed in a location where it shuts off both the fire sprinkler and the domestic system. The indicating valve shall be installed above grade and shall be a ball-type valve only. A separate valve just for the fire sprinkler system is not required.
12. All underground piping is to be flushed prior to the connection of any fire sprinkler piping.

Public Works:

13. Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Works Department.
14. Plans submitted for Building Permit shall show the installation of new sidewalk, curb and gutter, to replace the two removed driveways, in conformance with the most current applicable engineering standards, and upon prior issuance of an Encroachment Permit from the Public Works Department.
15. Plans submitted for Building Permit shall show the existing corner sidewalk pedestrian ramp to be removed and replaced with a new curb return in conformance with current American's with Disability Act (ADA) requirements.
16. The applicant/contractor shall complete and submit a Stormwater Compliance Tracking Form for Construction with the Building Permit application.
17. The five-foot interior side yard shall be maintained as an integral part of the site's stormwater and drainage management with mulch, plantings and only pervious surfaces, such as stepping stones. This area may not be paved or otherwise rendered impervious.

Standard:

18. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
19. This approval shall be valid for a period of one (1) year from the date of approval, unless an extension of time is approved in accordance with the Seaside Municipal Code Section 17.64.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
20. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.64.090.C.
21. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
22. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
23. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
24. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
25. All storm water runoff shall be contained and disposed of on site and the storm water retention system shall be reviewed and approved by the Public Works Department.
26. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District (MPWMD) for the installation of new water fixtures and landscape planting materials and landscape irrigation equipment.
27. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
28. Water conservation fixtures shall be provided in the proposed project in accordance with MPWMD rules and regulations.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-16-02

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant's Signature

Date

Property Owner's Signature

Date

1098 Clementina BAR 16-02

Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

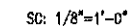
- A) Retention basins of sufficient size shall be utilized to retain storm water on the site.
- B) Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
- C) Compliance with a lawfully enacted storm water management ordinance.

Per Section 4.10B.2 CGBC 2010.

- 1.- ALL CONSTRUCTION TO CONFORM WITH 2013 EDITION OF THE C.B.C. AND ALL APPLICABLE LOCAL AND STATE CODES.
- 2.- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM COMPLETION DATE.
- 3.- EXCAVATION: EXCAVATE FOR UTILITY TRENCHES, SEWER, DRAIN LINES AND FOOTINGS, SLOPE UTILITY TRENCHES UNIFORMLY, BACKFILL AND COMPACT FILL TO 90% COMPACTION. FOOTINGS TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL.
- 4.- CONCRETE: CONCRETE FOR FOOTINGS AND SLABS TO HAVE 2,500# COMPRESSIVE STRENGTH IN 28 DAYS, REINFORCING BARS TO BE DEFORMED BARS AND SHALL BE FREE OF RUST AND SCALE BARS TO LAP MINIMUM OF 32 DIAMETERS.
- 5.- LUMBER: FRAMING LUMBER SHALL BE DOUGLAS FIR IN GRADES AS
 - A.) STUDS, PLATES AND BLOCKING _____ #2 D.F.
 - B.) RAFTERS AND JOISTS _____ #2 D.F.
 - C.) BEAMS AND POSTS _____ #1 D.F.
 - D.) SLIT PLATES ON CONCRETE _____ TREATED D.F.
 - E.) PLYWOOD SHG. FOR FLOORS, WALLS. _____ CD-X EXP-1 AD-X AT EXPT
- 6.- NAILING: FOR FRAMING LUMBER NAILING SHALL MEET THE REQUIREMENTS OF CBC TABLE R602.3(1) NAILING SCHEDULE.
- 7.- THE USE OF PLUMBING PIPELINES AS AN ELECTRICAL GROUND IS PROHIBITED.
- 8.- NO PERSON MAY TAP INTO ANY FIRE HYDRANT FOR ANY PURPOSE OTHER THAN FIRE SUPPRESSION OR EMERGENCY AND, WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE WATER PURVEYOR SUPPLYING TO THE HYDRANT AND FROM THE MONTEREY COUNTY HEALTH DEPARTMENT.
- 9.- HALL HOSES USED IN CONNECTION WITH ANY CONSTRUCTION ACTIVITIES SHALL BE EQUIPPED WITH A SHUTOFF NOZZLE.
- 10.- NO POTABLE WATER MAY BE USED FOR COMPACTION OR DUST CONTROL PURPOSES IN CONSTRUCTION ACTIVITIES WHERE THERE IS A REASONABLY AVAILABLE SOURCE OF RECLAIMED OR OTHER SUB-POTABLE WATER APPROVED BY THE MONTEREY COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- 11.- THE USE OF SOLDERES CONTAINING MORE THAN TWO TENTHS OF ONE PERCENT LEAD IN MAKING JOINTS ON PRIVATE OR PUBLIC WATER SUPPLY SYSTEM IS PROHIBITED.
- 12.- ELECTRIC: BY ELECTRICAL CONTRACTOR.
- 13.- POLLUTION PREVENTION: THE CONTRACTOR SHALL UTILIZE BEST MANAGEMENT PRACTICES TO CONFINE ALL LOOSE SEDIMENT TO THE CONSTRUCTION SITE DURING CONSTRUCTION OF THE BUILDING ADDITION.

- 1.- ANY TRUSS INFORMATION (ROOF) CALCULATIONS AND DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION FIRST TO BUILDING ARCHITECT/ENGINEER OF RECORD FOR OVERALL DESIGN APPROVAL AND THEN TO THE CITY OF SEASIDE, BUILDING DEPARTMENT.
- 2.- FIRE SPRINKLER SYSTEM LAYOUT SHALL BE SUBMITTED TO THE COUNTY OF MONTEREY BY A LICENSED CONTRACTOR

SC: N.T.S

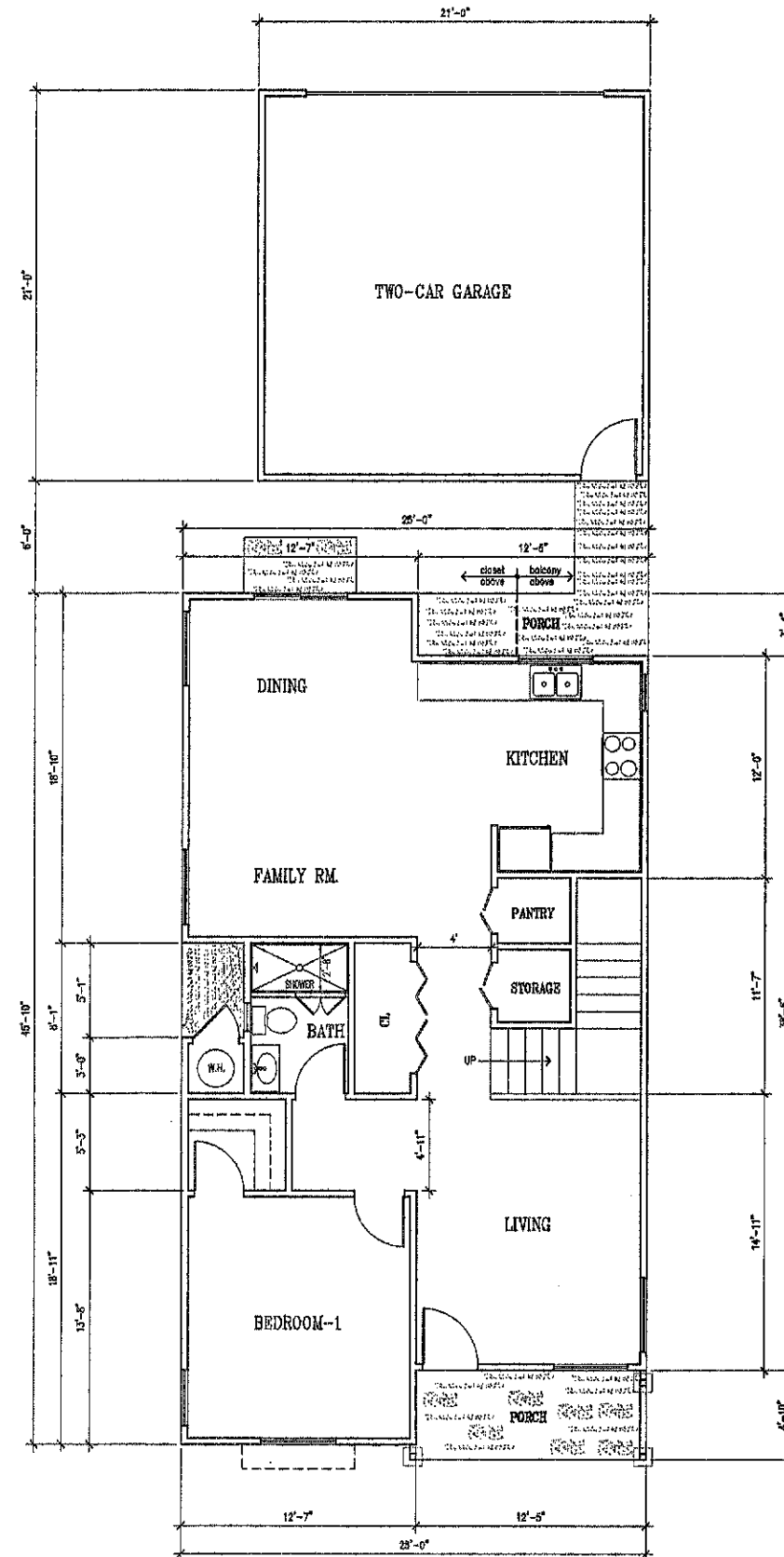
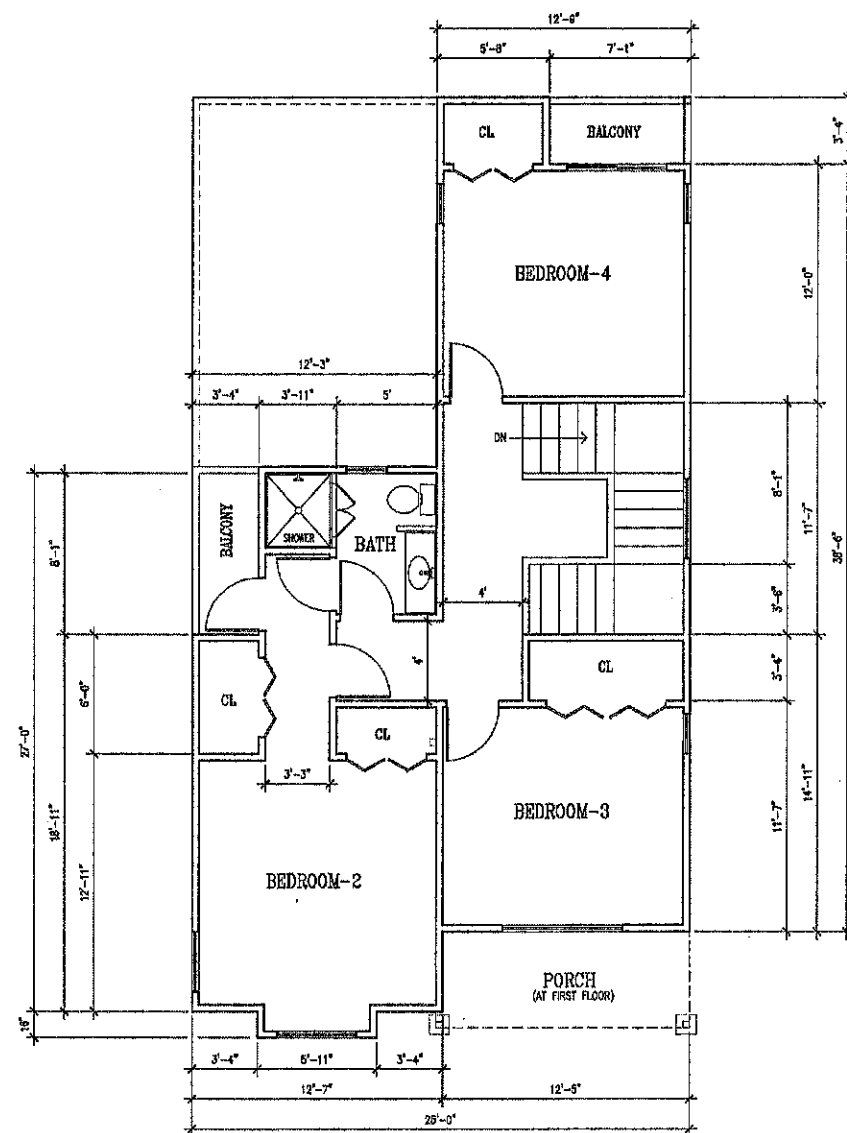

$$1^{\otimes n} = 1^{\otimes k}$$

1. IRRIGATION CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITY LINES AND PROTECT SAME FROM DAMAGE FROM HIS/HER OPERATION ANY DAMAGE DONE DURING THE INSTALLATION OF IRRIGATION SYSTEM SHALL BE REPAIRED AT NO COST TO THE OWNER.
2. POINT OF CONNECTION SHALL BE AS NOTED ON PLAN
3. ALL WORK IS TO CONFORM TO STATE AND LOCAL CODES.
4. MAKE TRENCHES FOR PIPELINES DEEP ENOUGH TO PROVIDE MINIMUM COVERAGE FROM FINISH GRADE AS FOLLOWS:
18" COVER OVER MAINLINES, 12" COVER OVER LATERAL LINES. ALL PIPE SHALL HAVE A ROCK-FREE UNIFORM BED THE ENTIRE LENGTH OF EACH LINE; OTHERWISE BED IN SAND OR OTHER ROCK-FREE MATERIAL.
SHAKE ALL PIPE IN TRENCHES (1 ADDITIONAL FOOT PER 100 FEET OF PIPE) TO ALLOW FOR EXPANSION AND CONTRACTION OF PIPE.
5. USE DOUBLE LAPPED TEFLON TAPE ON ALL THREADED CONNECTIONS EXCEPT THOSE TO SPRINKLER HEADS (IF ANY) USE PRIMER DURING IRRIGATION SUPPLY LINE INSTALLATION. SOLVENT WELD ALL PVC PIPE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ANY GLUE REMAINING ON PIPE EXTERIOR AFTER UNION HAS BEEN MADE SHOULD BE WIPED OFF.
6. THOROUGHLY FLUSH MAINLINE BEFORE INSTALLING VALVES AND CONNECTING LATERAL LINES. FLUSH LATERAL LINES PRIOR TO INSTALLING EMITTERS.
7. ALL PIPES SHALL BE TESTED AT LINE PRESSURE ON SUPPLY SIDE OF VALVES AND THERE SHALL BE NO LEAKS FOR A PERIOD OF TWO HOURS.
8. ALL BACKFILL MATERIAL SHALL BE FREE OF ROCKS, CLODS, AND OTHER EXTRANEIOUS MATERIALS. COMPACT BACKFILL TO ORIGINAL DENSITY OF SOIL.
9. THE ENTIRE LANDSCAPE AREA MUST BE COVERED BY A 2 INCH OF MULCH (EXCEPT AT TURF AREA)

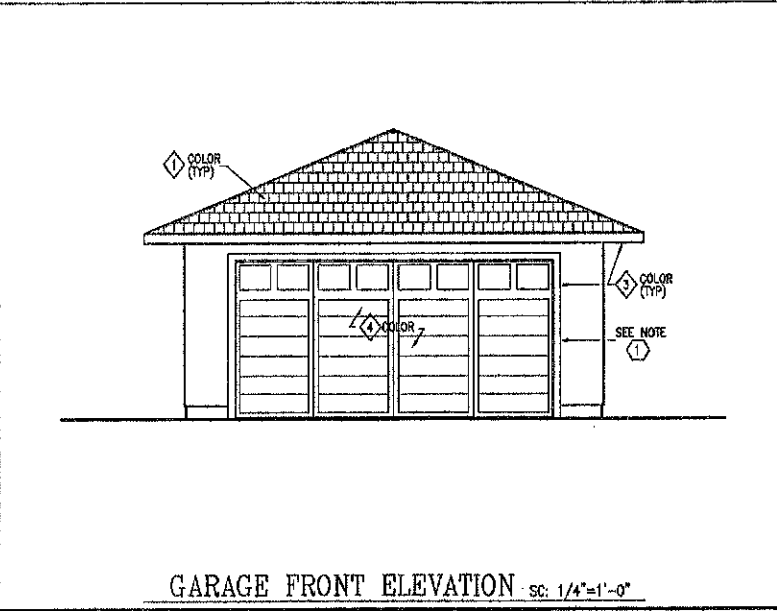
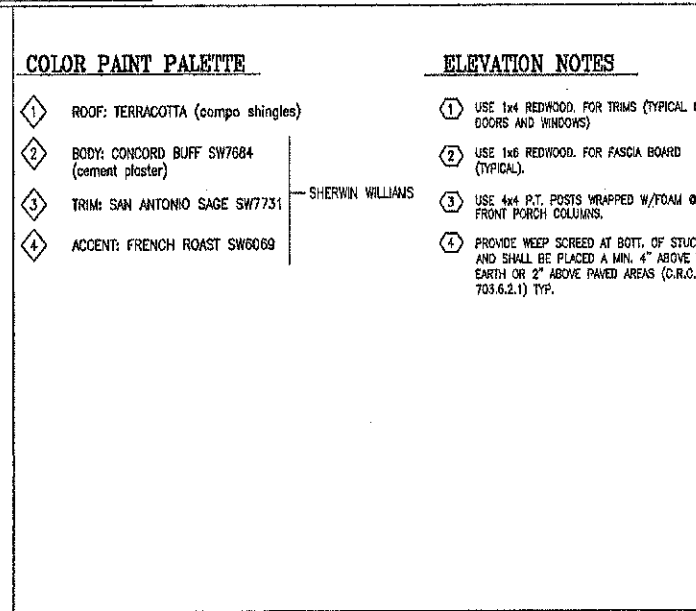
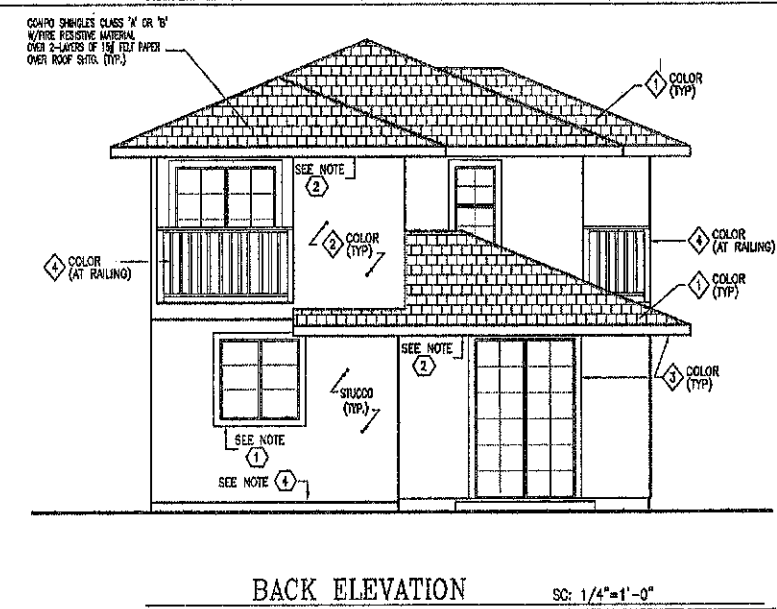
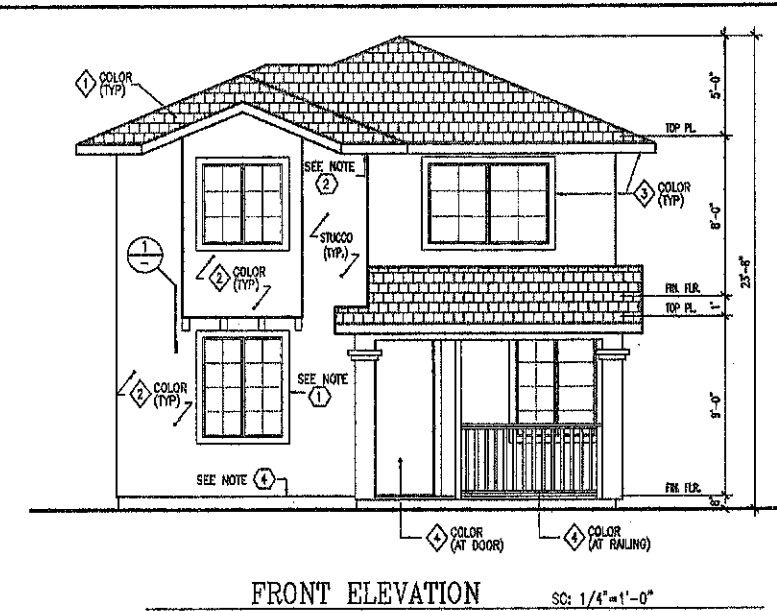
	4" Popup Rotors in Lawn	Hunter PGM-04-A (.75 nozzle)	.75 GPM @ 40 PSI
	Shut-off Valve: Nibco-T-113 IRR BHW, line size in Cargon Valve Box		
	1" Electric Remote Control Valve for drip zones: Rainbird PESB Series with RBY-100-C-LSS Filter with SC-100-200-SS Screen and preset 30 psi pressure regulator Rainbird #PSI-L30X		
	1" Electric Remote Control Valve for Lawns: Rainbird PESB Series		
	1-1/2 inch SCH 40 PVC mainline pipe at 18" depth		
	3/4 inch SCH 40 PVC lateral pipe at 12" depth		
	Drip system distribution tubing: Rainbird XT-700 or equal.		
	Compression Flush Cap, sized as appropriate for tubing type		

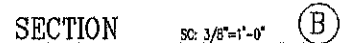
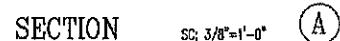
Code Name	Botanical Name	Common Name	Growth Form	Size	Quantity
EsCa	<i>Eschscholzia californica</i>	California poppy	ground cover	1-Gal	8
CoPa	<i>Carex pansa</i>	California meadow sedge	ground cover	1-Gal	19
SeCu	<i>Sedum</i>	Stonecrop	ground cover	1-Gal	6
IriDo	<i>Iris douglasiana</i>	Douglas Iris	ground cover	1-Gal	12
CoSt	<i>Cornus stolonifera</i>	Red twig dogwood	shrub	5-Gal	5
SalLe	<i>Salvia leucantha</i>	Mexican Sage	perennial	5-Gal	3
CoOc	<i>Cercia occidentalis</i>	Western redbud	tree	15-Gal	3
Turf	Nature Turf	-	ground cover	-	160 s.f.

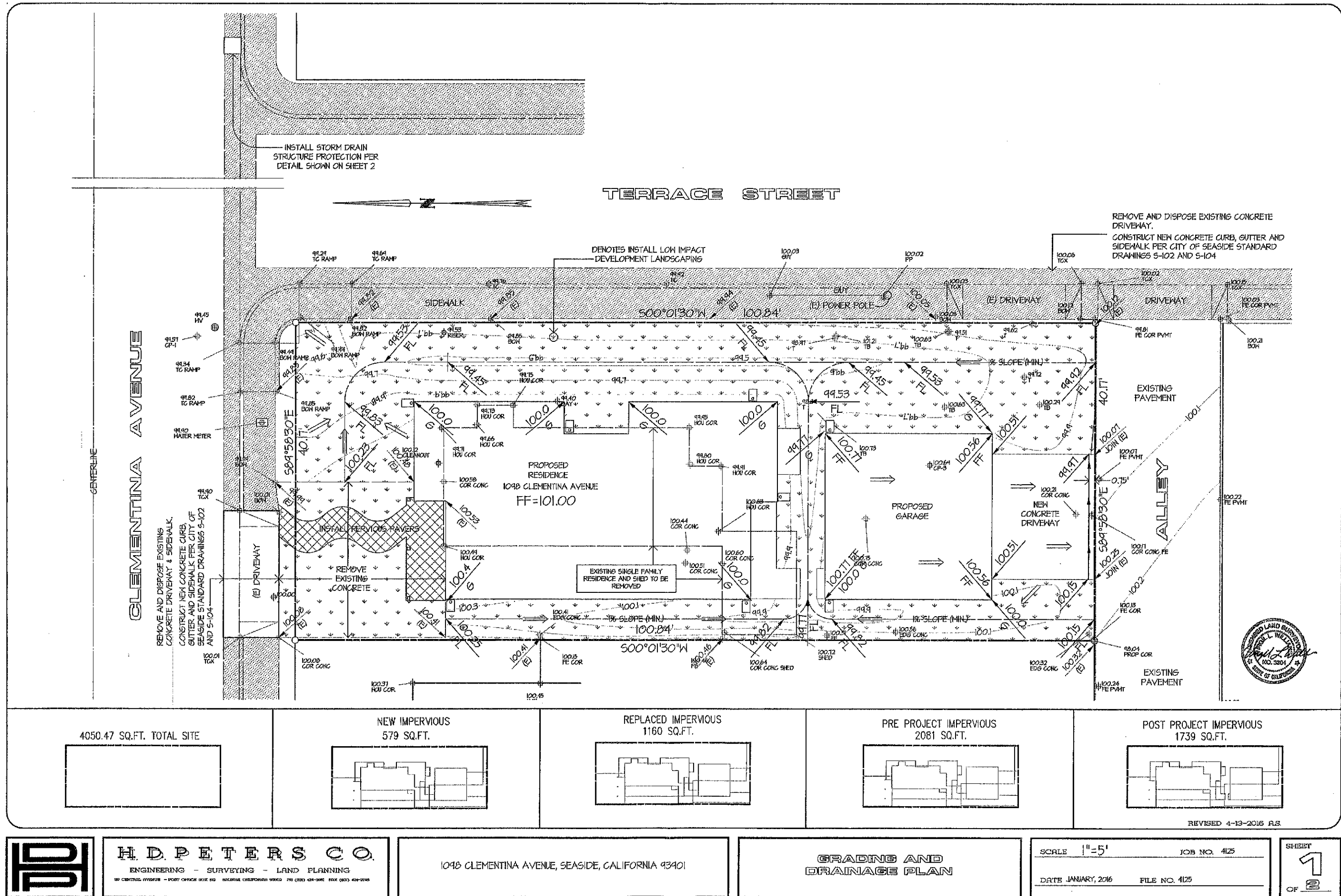
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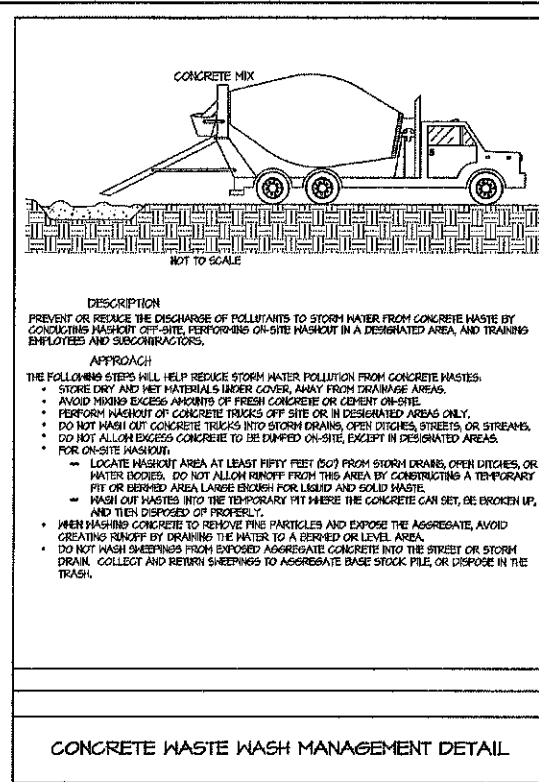
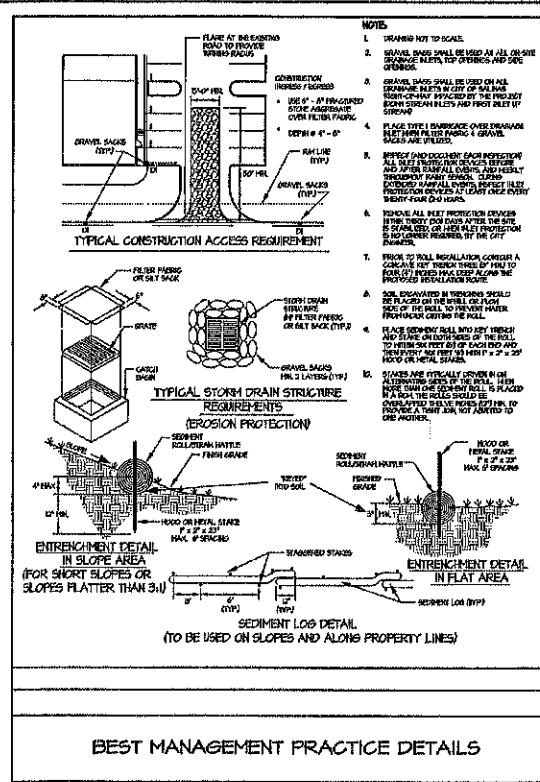


SHEET TITLE FIRST FLOOR PLAN SECOND FLOOR PLAN	DATE	SEP-2015	KEY ▲ ▲ ▲ ▲ ▲
	SCALE	AS NOTED	
DRAWN	S.V.		
JOB	15-10		
SHEET	A2		
OF SHEETS			

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EROSION CONTROL

1. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE IN OPERATION THROUGHOUT CONSTRUCTION PHASE. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED, REPAIRED AND LOGGED AT THE END OF EACH WORKING DAY.
2. GRAVEL BAGS & PCC BLOCKS SHALL BE PLACED AROUND EACH CATCH BASIN UNTIL ALL TRIBUTARY UPSTREAM AND DOWNSTREAM AREAS HAVE BEEN STABILIZED AND MAY BE REMOVED ONLY WITH THE APPROVAL OF THE CITY ENGINEER.
3. CONTRACTOR SHALL CONFINE VEHICLES, ETC., TO THE AREAS UNDER CONSTRUCTION AND SHALL NOT PERMIT DAMAGE TO THE EXISTING VEGETATION OR NATURAL GROUND IN FUTURE DEVELOPMENT AREAS. ANY DAMAGE SHALL BE IMMEDIATELY REPAIRED.
4. TRAPPED SEDIMENT IS TO BE REMOVED AS REQUIRED TO MAINTAIN TRAP EFFICIENCY. CONTRACTOR SHALL EXAMINE GRAVEL BAGS AND FIBER ROLLS WEEKLY AND BEFORE AND AFTER EACH RAIN. FOLLOWING ANY PERIODS OF RAIN, REMOVE ANY SILT DEPOSITS AND REPLACE ANY DAMAGED GRAVEL BAGS. TRAPPED SEDIMENT IS TO BE DISPOSED AT A SITE APPROVED BY THE PROJECT ENGINEER.
5. THE CONTRACTOR SHALL CONSTRUCT, AT HIS ONLY ACCESS POINT, AN APPROVED CONSTRUCTION ENTRANCE CONSISTING OF A 15' WIDE BY 50' LONG TRANSITION (MIN) WITH A MINIMUM 6" THICK FRACTURED STONE AGGREGATE MATERIAL PLACED OVER FILTER FABRIC/MAT IF APPLICABLE.
6. GRAVEL BAGS AND FIBER ROLLS MAY BE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED AND ONLY WITH APPROVAL OF THE CITY ENGINEER.
7. HYDROSEEDING, SEEDING SHALL BE PERFORMED BY A MECHANICAL HYDROSEEDER. THE HYDRO MULCH IS PREPARED BY MIXING FIBER, SOIL STABILIZER, SEED AND WATER IN PORTIONS SPECIFIED IN THE PLANS OR HEREIN. MIXING TIME SHALL NOT EXCEED 45 MINUTES FROM THE TIME THE SEED CONTACTS THE WATER UNTIL THE ENTIRE BATCH IS DISCHARGED ONTO THE PREPARED SOIL.

SCIENTIFIC NAME	COMMON NAME	APPLICATION RATE (lb./acre)
ACHILLEA MILEFOLIUM	COMMON YARROW	1
MASSILLA FULGIDA	PURPLE NEEDLEGRASS	15
LYRIS TRICOLOR	CREeping RYEGRASS	5.5
LYRIS TRICOLOR	SKY URGE	2
ESCHERICHIA CALIFORNICA	CALIFORNIA POPPY	0.5
LONG SCORPION	DEERWEED	2
BROMUS CARINATUS	CALIFORNIA BROME	15
ELYMUS GLABRIS	BLUE HILD-RITE	10

NON-SEED PRODUCTS	APPLICATION RATE (lb./acre)
BONDED FIBER MATRIX MULCH	3000
ECHO HYDROSEEDING MULCH (25 spores/lb.)	10

8. CITY ENGINEER RESERVES THE RIGHT TO REQUIRE THE INSTALLATION OF STRAIN MATTING IN AREAS WHERE EROSION CONTROL/SEEDING HAS NOT BEEN ESTABLISHED.
9. CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT LOCATION ON SITE PRIOR TO ANY WASTE DISPOSAL (SEE CONCRETE WASTE MANAGEMENT DETAIL ABOVE).

LEGEND

THE BOUNDARY SHOWN HEREON HAS BEEN TAKEN FROM A COMBINATION OF FIELD AND RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.

13.32 EXIST. DENOTES EXISTING ELEVATIONS FROM 1-1006 TOPOGRAPHY BY H.D. PETERS CO.

13.0 FL. DENOTES PROPOSED DESIGN GRADES.

FL. DENOTES FLOODLINE.

6' DENOTES PROPOSED ROOF DOWNSPOUT WITH CONCRETE SPLASHBLOCK.

NOTES:

SURFACE WATER TO DRAIN AWAY FROM NEW STRUCTURES, ROOF DRAINS DIRECTED LANDSCAPED AREAS VIA ON SITE CONCRETE SPLASH BLOCKS. (SEE SHEET 1 OF 3)

INSTALL SEDIMENT LOGS AROUND CONSTRUCTION AREA TO KEEP DEBRIS ON PROPERTY AS SHOWN HEREON.

PLACE GRAVEL BAGS AROUND NEARBY, DOWN-STREAM STORM INLET(S) DURING CONSTRUCTION AS SHOWN HEREON.

DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN THE CITY RIGHT-OF-WAY (STREET/SIDEWALK) FREE FROM DEBRIS AND DIRT.

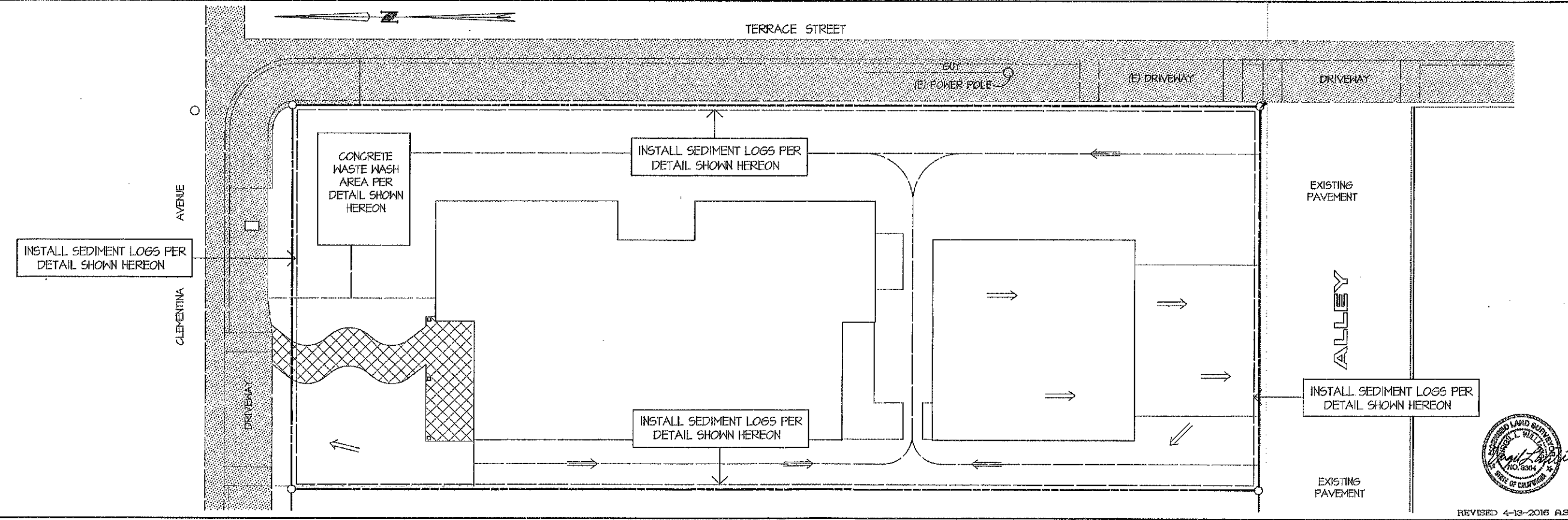
THE CITY OF SEASIDE WILL REVIEW SITE GRADING ONLY FOR GENERAL CONFORMANCE TO THE GRADING PLAN SHOWN ON THE APPROVED PLANS AND MAY NOT FIELD VERIFY GRADING/SPOT ELEVATIONS.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO GRADE THE SITE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND VERIFY THE APPROVED GRADES/GRADING CONCEPT HAS BEEN CONSTRUCTED.

A TOPOGRAPHIC SURVEY WAS PREPARED FOR THIS PROJECT BY H.D. PETERS CO., INC. IN JANUARY, 2016.

A TEMPORARY BENCHMARK ELEVATION OF 13.40 HAS BEEN SET AT TOP OF AN EXISTING WATER METER AT THE FRONT OF PROPERTY (SEE SHEET 1).

DENOTES ON-SITE WASHOUT AREA PER CONCRETE WASTE WASH MANAGEMENT DETAIL SHOWN HEREON.



 Polymeric Cylinders

SLEEK, CYLINDRICAL FORMS ESPECIALLY IDEAL FOR COASTAL LOCATIONS. UP OR DOWN CONFIGURATION OPTIONS. NON-CORROSIVE COMPONENTS WITHSTAND SALT, WIND, SAND, WATER AND SUN, DOWN VERSION SHIELDS PAR LAMP AND BUG LIGHTS TO MINIMIZE GLARE ONTO BEACH FOR TURTLE LAW COMPLIANCE. WET LOCATION LISTED. DARK SKY COMPLIANT.

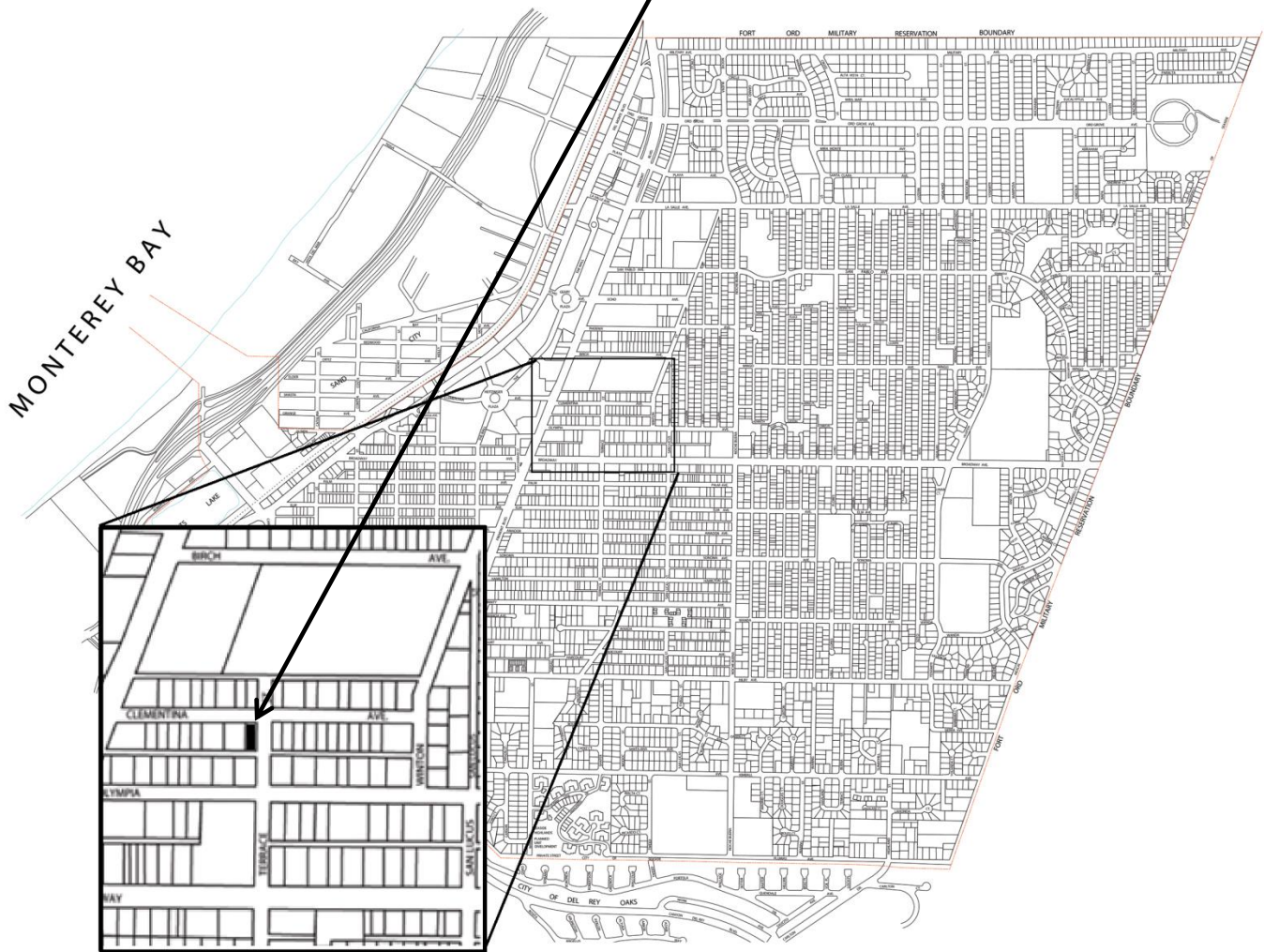


Product No.	Finish	Description	Size	Lamp(s)
P5712-30 P5712-31	Textured White Black	One-light polymeric cylinder Extends 7-3/4".	5" W., 7-1/4" ht.	1 75w PAR-30 or 65w BR-30
P5713-30 P5713-31	Textured White Black	Two-light polymeric cylinder Extends 7-3/4".	5" W., 14" ht.	2 75w PAR-30 or 65w BR-30
P8712-30 P8712-31	Textured White Black	Turtle-friendly accessory	5" dia., 4" ht.	n/a



Location Map

Project Location: 1098 Clementina Avenue



Site Photos



