



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, March 4, 2015
5:30 PM

PLEASE TURN OFF YOUR CELL PHONES UPON ENTERING THE MEETING

1. **CALL TO ORDER**
2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

BOARD OF ARCHITECTURAL REVIEW

Ken Rudisill	Chair
Toby Keller	Board Member
Wendell Montes	Board Member
Mitsugu Mori	Board Member
Kathleen Ventimiglia	Board Member

3. **ORAL COMMUNICATION**

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

4. **BUSINESS ITEMS**

- A. **Board of Architectural Review Application No. BAR-14-33. Sam Linder Auto Group, Property Owner, and Ausoni Incorporated, Applicant, request approval for the remodel of the northerly portion of the Maserati & Volvo dealership including interior showroom, exterior façade, storefront, entry door, and signage improvements at 1711 Del Monte Boulevard, located in the Automotive Commercial (CA) Zoning District.**

PURPOSE: In accordance with Section 17.62.030.B.8 of the Seaside Municipal Code, Board of Architectural Review (BAR) approval is required for any changes to projects that previously received BAR approval. The applicant is requesting changes to a previously approved automobile showroom, façade, storefront, entry door, and signage.

RECOMMENDATION: Staff recommends approval of the remodel of the northerly portion of Building #1 to include interior showroom, exterior façade, storefront, entry door, and signage improvements for the Maserati & Volvo dealership subject to the Conditions of Approval provided as Attachment 1 and Project Plans provided as Attachment 1, Exhibit "A".

- B. **Board of Architectural Review Application No. BAR-12-21. City of Seaside, Property Owner and Applicant, is requesting design review approval of a landscape plan for the planting of four shrubs at Mescal - Neil Park located in the Open Space-Recreation (OSR) Zoning District. The project is exempt Class 4, Section 15304(b) from the California Environmental Quality Act (CEQA).**

PURPOSE:

In accordance with Section 17.62.030.B.3 of the Seaside Municipal Code, the City of Seaside is requesting design review approval of a landscape plan for the installation of four Polygala Myrtifolia Grandiflora shrubs at Mescal - Neil Park.

RECOMMENDATION:

Staff recommends approval of the proposed landscaping plan subject to the conditions of approval provided as Attachment 1 and the project site plan provide as Exhibit "A" to Attachment 1 – Project Plans.

5. **REPORTS FROM BOARD MEMBERS**
6. **REPORTS FROM STAFF**

7. ADJOURNMENT

Next Regularly Scheduled Meeting:
March 18, 2015
Council Chamber
Seaside City Hall
5:30 PM

The City of Seaside is an ADA accessible facility and is committed to include the disabled in all of its services, programs and activities. Any person who requires accommodation to be able to participate in this meeting is asked to contact the office of the City Clerk at 899-6707, no fewer than two business days prior to the meeting to allow for reasonable arrangements.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are also available.

Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Meetings are also available through live streaming at:
<http://cvp.telvue.com/player?id=T01629&video=52314&noplaylists=1&width=400&height=300> Videos of past meetings are available on demand through the City's website: <http://www.ci.seaside.ca.us>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 4.A.

TO: Board of Architectural Review

BY: Lisa Brinton, Community and Economic Development Services Manager
Bob Larsen, Associate Planner

DATE: March 4, 2015

SUBJECT: **Board of Architectural Review Application No. BAR-14-33. Sam Linder Auto Group, Property Owner, and Ausoni Incorporated, Applicant, request approval for the remodel of the northerly portion of the Maserati & Volvo dealership including interior showroom, exterior façade, storefront, entry door, and signage improvements at 1711 Del Monte Boulevard, located in the Automotive Commercial (CA) Zoning District.**

PURPOSE

In accordance with Section 17.62.030.B.8 of the Seaside Municipal Code, Board of Architectural Review (BAR) approval is required for any changes to projects that previously received BAR approval. The applicant is requesting changes to a previously approved automobile showroom, façade, storefront, entry door, and signage.

RECOMMENDATION

Staff recommends approval of the remodel of the northerly portion of Building #1 to include interior showroom, exterior façade, storefront, entry door, and signage improvements for the Maserati & Volvo dealership subject to the Conditions of Approval provided as Attachment 1 and Project Plans provided as Attachment 1, Exhibit "A".

BACKGROUND

The site has previously received BAR approvals for exterior building improvements and sign changes to Building #1. The most recent remodel included the southerly portion of Building #1 which is now the site of the Jaguar and Land Rover showroom. The northerly portion of Building #1 is the showroom for Maserati & Volvo and is the focus of this request. At the February 18, 2015 BAR meeting, the BAR requested that the applicant provide additional information including a colored perspective rendering and street elevations to show the finished project and how it would tie in with the existing Jaguar/Land Rover portion of the building. The applicant has provided colored renderings depicting the completed project (Attachment 4). A new Exterior Color/Material Board has also been provided (Attachment 5).

FISCAL IMPACT

ATTACHMENTS

1. Attachment 1 - Conditions of Approval
 2. Attachment 1, Ex. "A" - Project Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Project Photographs
 5. Attachment 4 - Color Renderings
 6. Attachment 5 - Color/Material Board
-

Conditions of Approval
File No. BAR-14-33
March 4, 2015

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “San Linder Auto Group, Maserati/Volvo Monterey Showroom Remodel” stamped as received on December 19, 2014, as and approved on March 4, 2015.

Building, Public Works, and Fire:

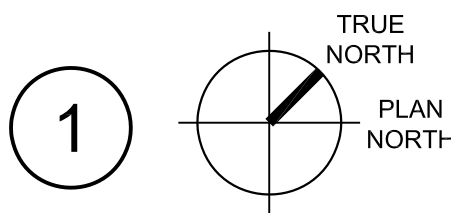
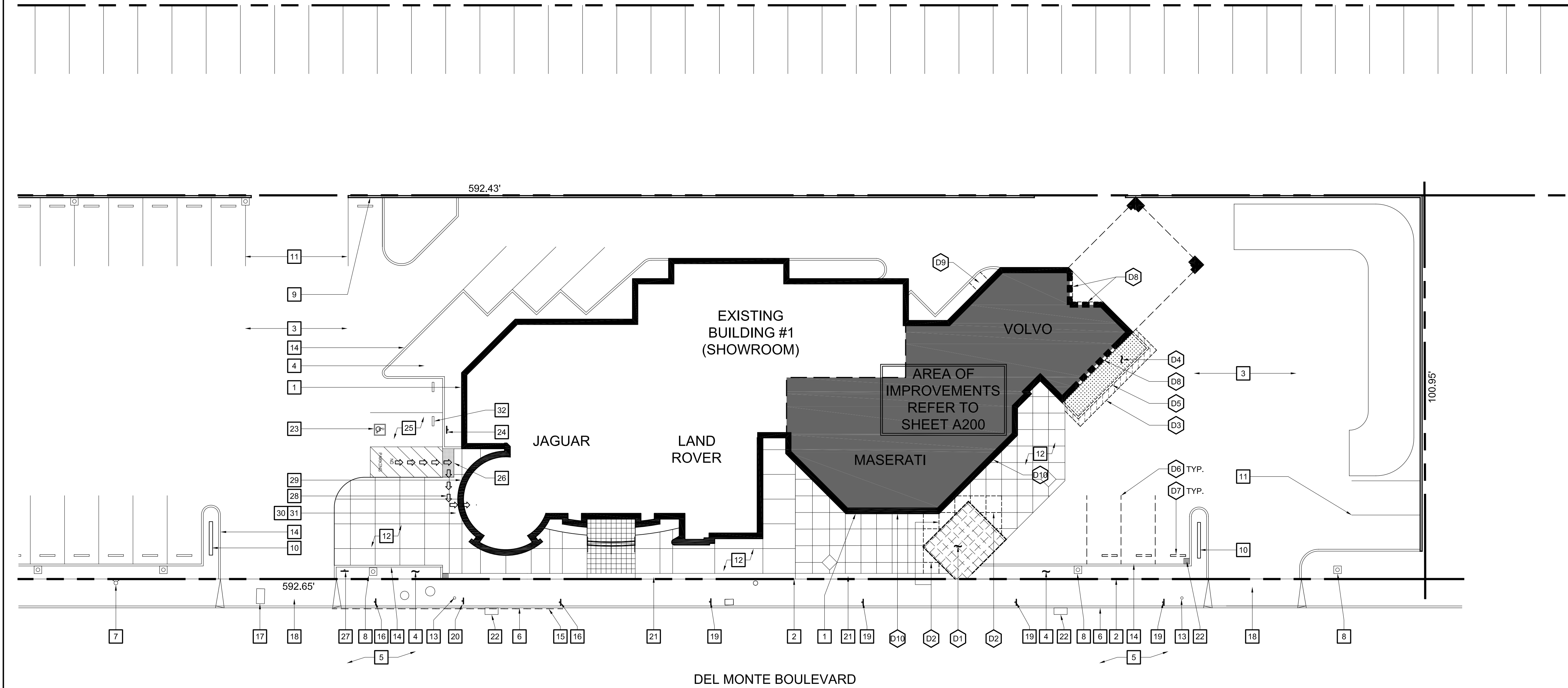
1. The construction plans for the project shall be submitted in accordance with the 2013 California Building Code and 2013 California Fire Code. In addition to the Fire Sprinkler Notes on page A001 – California Fire Code Section 507.5.1.1 – If any fire sprinkler heads are removed or added, separate fire sprinkler plans must be submitted and approved to the fire department before the building framing inspection is complete.
2. If any fire alarm devices are removed, relocated or added, separate fire alarm plans must be submitted and approved to the fire department.
3. A suitable number of 2A10BC fire extinguishers shall be placed throughout the building approximately 75 linear feet apart with the appropriate signage to make them visible.
4. Separate fire sprinkler and fire alarm plans need to be delivered to Seaside Fire Department, located at 1635 Broadway Avenue. A minimum of (3) set of plans are required.
5. Building permit plans shall be prepared and stamped by a licensed architect or engineer.
6. Plans shall show accessible path of travel to the main entrance. Plans will also require CASP review and inspection.
7. Public Works: The project shall comply with the City of Seaside’s National Pollutant Discharge Elimination System permit and all other requirements of the Department of Public Works.

Standard:

8. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of

approval will result in the Board of Architectural Review approval becoming null and void.

9. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.64.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
10. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.64.090.C.
11. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
12. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
13. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
14. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
15. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
16. The issuance of building permits involving the installation of new floor area or change in use from the previous use shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.



ENLARGED PARTIAL SITE PLAN - DEMOLITION

SCALE: 1/16" = 1'-0"

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO DETERMINE THE EXACT EXTENT OF ALL SITE DEMOLITION ITEMS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO WORK. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT (800-227-2600). THE CONTRACTOR SHALL REMOVE ALL U.S.A. MARKINGS AS SOON AS THEY ARE NO LONGER NEEDED, BY USING A HIGH PRESSURE WATER METHOD ONLY. THE CITY ENCOURAGES THE USE OF CHALK PAINT WHENEVER POSSIBLE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING AT CONTRACTOR EXPENSE, ANY STRUCTURES, FENCES, WALLS, OR PLANT LIFE DAMAGED OR DESTROYED BY THE OPERATIONS. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES OCCURRING BY THE OPERATIONS ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
6. KEEP ALL PLANTING, PAVING AND CURB AREAS FREE FROM DEBRIS AND TRASH DURING THE ENTIRE DURATION OF THE CONTRACT.
7. CARE SHOULD BE TAKEN WITH EXISTING TREES TO REMAIN. GRADES WITHIN THE DRIP LINE OF THE TREE SHALL NOT BE CHANGED UNLESS OTHERWISE SPECIFIED ON THE PLANS. UNNECESSARY COMPACTION OF THE AREA WITHIN THE DRIP LINE SHALL BE AVOIDED.
8. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF FROM THE PROJECT SITE, EXCEPT ITEMS INDICATED TO BE SALVAGED.
9. UNDERGROUND UTILITIES WITHIN THE LIMITS OF DEMOLITION SHALL BE CAPPED AND ABANDONED OR REMOVED AS REQUIRED, UNLESS SHOWN OTHERWISE. SEE CIVIL PLANS FOR FURTHER DETAILS.
10. CONTRACTOR SHALL ALLOW FOR THE TRENCHING AND EXTENSION OF SITE UTILITIES AS REQUIRED TO ACCOMMODATE NEW WORK. PATCH AND REPAIR ALL SURFACES AS REQUIRED.
11. PER SEASIDE MUNICIPAL CODE SECTION 8.46.130 ANY PROPOSED PROJECT MUST ADHERE TO THE CITY'S BMP GUIDANCE. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION BEST MANAGEMENT PRACTICES TO PROTECT AGAINST POLLUTANTS ENTERING THE STORM DRAIN SYSTEM.
12. PRIOR TO FINAL INSPECTION, ANY CURB, GUTTER AND SIDEWALK DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED CONCRETE CONTRACTOR IN CONFORMANCE WITH THE MOST CURRENT APPLICABLE ENGINEERING STANDARDS, AND UPON THE PRIOR ISSUANCE OF AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT.
13. PEAK STORM WATER RUNOFF DISCHARGE RATES: POST-DEVELOPMENT PEAK STORM WATER RUNOFF DISCHARGE RATES SHALL NOT EXCEED PREDEVELOPMENT RATE.
 - NO STORM WATER MAY FLOW OFF OF THIS SITE.
 - LABEL ON EXISTING STORM DRAINS AS FOLLOWS "NO DUMPING-DRAINS TO OCEAN"

DEMOLITION NOTES

- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 01 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE AND STONE VEHICLE DISPLAY AREA IN IT'S ENTIRETY.
 - 02 CONTRACTOR SHALL SAW CUT, REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE PAVEMENT ADJACENT TO EXISTING CONCRETE AND STONE VEHICLE DISPLAY AREA SCHEDULED TO BE DEMOLISHED TO THE NEAREST CONTROL JOINT.
 - 03 SAW CUT AND REMOVE A MINIMUM OF 1'-0" WIDE AREA OF (E) AC PAVEMENT ALONG EXTENTS OF (E) CONCRETE CURB, GUTTER AND WALKWAY SHOWN TO BE REMOVED. PREP AREA FOR (N) PATCH BACK.
 - 04 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING LANDSCAPING INCLUDING BUT NOT LIMITED TO TREES, SHRUBS AND ALL OTHER MISCELLANEOUS LANDSCAPING MATERIALS. WHERE APPLICABLE, CONTRACTOR SHALL MODIFY AND / OR TERMINATE WATER SOURCE AND IRRIGATION SYSTEM. VERIFY IN FIELD.
 - 05 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER - TYPICAL AS SHOWN
 - 06 CONTRACTOR SHALL REMOVE EXISTING PAINTED PARKING STALL, STRIPPING BY GRINDING DOWN AC PAVEMENT WHERE STRIPPING OCCURS AND PATCHING BACK AC PAVEMENT AS REQUIRED TO MATCH EXISTING CONDITION. ADD ALTERNATE (VERIFY WITH OWNER) TO PAINT (BLACKOUT) EXISTING STALL STRIPPING.
 - 07 CONTRACTOR SHALL REMOVE AND LEGALLY DIPOSE OF EXISTING CONCRETE WHEEL STOP. PATCH AND REPAIR AC PAVEMENT AS REQUIRED.
 - 08 HEAVY DASH LINE INDICATES OUTLINE OF PORTION OF EXISTING BUILDING TO BE DEMOLISHED AND / OR MODIFIED TO ACCOMMODATE NEW WORK. REFER TO DEMOLITION FLOOR PLAN FOR EXACT REQUIREMENTS.
 - 09 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE WALKWAY IN IT'S ENTIRETY (ADJACENT CONCRETE CURB TO REMAIN INTACT).
 - 10 CONTRACTOR SHALL GRIND DOWN EXISTING CONCRETE SLAB EDGE AT EXISTING, NEW/PROPOSED DOOR LOCATIONS AS REQUIRED TO CREATE AN ACCESSIBLE COMPLIANT PATH OF TRAVEL.

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 EXISTING BUILDING FOOTPRINT.
 - 2 EXISTING PROPERTY LINE.
 - 3 EXISTING A.C. PAVED PARKING LOT / DRIVE AISLE TO REMAIN INTACT - PROTECT FROM DAMAGE.
 - 4 EXISTING LANDSCAPE AREA TO REMAIN INTACT - PROTECT FROM DAMAGE.
 - 5 EXISTING A.C. PAVED CITY ROAD TO REMAIN INTACT.
 - 6 EXISTING CONCRETE CURB, GUTTER AND WALKWAY TO REMAIN INTACT - PROTECT FROM DAMAGE. PRIOR TO FINAL INSPECTION, ANY CURB, GUTTER AND WALKWAY DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED PER THE MOST CURRENT APPLICABLE CITY OF SEASIDE ENGINEERING STANDARDS. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT FOR ALL WORK DONE IN PUBLIC RIGHT-OF-WAY PRIOR TO PROCEEDING WITH WORK.
 - 7 EXISTING FIRE HYDRANT TO REMAIN INTACT.
 - 8 EXISTING LIGHT POLE TO REMAIN INTACT.
 - 9 EXISTING CMU SITE WALL TO REMAIN INTACT.
 - 10 EXISTING MONUMENT SIGN TO REMAIN INTACT.
 - 11 EXISTING STRIPED PARKING STALL TO REMAIN INTACT.
 - 12 EXISTING VEHICLE DISPLAY AREA TO REMAIN INTACT.
 - 13 EXISTING CITY STREET LIGHT POLE TO REMAIN INTACT.
 - 14 EXISTING CONCRETE CURB TO REMAIN INTACT.
 - 15 DASH LINE INDICATES EXTENTS OF EXISTING CONCRETE CURB RED - STRIPED INDICATING "NO PARKING". CONTRACTOR SHALL RE-STRIP ACCORDINGLY.
 - 16 INDICATES EXISTING POLE MOUNTED "NO PARKING" SIGN TO REMAIN INTACT.
 - 17 INDICATES EXISTING UTILITY VAULT AND / OR ACCESS COVER PLATE TO REMAIN INTACT.
 - 18 EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN INTACT.
 - 19 INDICATES EXISTING POLE MOUNTED "2 HOUR PARKING" SIGN TO REMAIN INTACT.
 - 20 INDICATES EXISTING POLE MOUNTED "MONTEREY AUTO CENTER" SIGN TO REMAIN INTACT.
 - 21 INDICATES EXISTING CONCRETE VALLEY GUTTER TO REMAIN INTACT. CONTRACTOR SHALL ALLOW FOR MODIFICATION OF EXISTING CONCRETE VALLEY GUTTER AS REQUIRED TO ACCOMMODATE NEW WORK. CONTRACTOR SHALL PREVENT RUN-OFF TO PUBLIC RIGHT-OF-WAYS.
 - 22 EXISTING STORM DRAIN INLET TO REMAIN INTACT. PROTECT FROM DAMAGE. REFER TO EROSION CONTROL AND BEST MANAGEMENT PRACTICES (BMPs) REQUIREMENTS OUTLINED ON SHEET A100.
 - 23 EXISTING 36" x 36" PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY ON PAVEMENT.
 - 24 EXISTING "VAN ACCESSIBLE" STALL SIGNAGE.
 - 25 EXISTING "VAN ACCESSIBLE" PARKING STALL.
 - 26 EXISTING DETECTABLE WARNING SURFACE (TRUNCATED DOMES).
 - 27 EXISTING "DISABLED PARKING ENTRY" SIGN ("VEHICLE TOW-AWAY" SIGN) AND A "NOTICE ALL ROADS ARE FIRE LANES" ENTRANCE SIGN.
 - 28 ACCESSIBLE PATH OF TRAVEL INDICATOR ARROWS. ARROWS SHOWN ON PLAN ARE FOR REFERENCE ONLY AND NOT FOR PHYSICAL APPLICATION. WALKWAY ALONG ACCESSIBLE PATH OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, HAVE A MAX. 1/2" CHANGE OF ELEVATION, MIN. 48" WIDTH, HAVE A MAX. 1/4" PER FOOT CROSS SLOPES, AND WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (1:20) SHALL HAVE RAMPS COMPLYING WITH CBC SECTION 1133B.7.
 - 29 EXISTING RECESSED KEY BOX (KNOX BOX) PER CITY FIRE DEPARTMENT STANDARDS.
 - 30 EXISTING INTERNATIONAL SYMBOL OF ACCESSIBILITY AT PRIMARY PUBLIC ENTRANCES.
 - 31 EXISTING EXTERIOR WALKWAY AND DOOR LANDINGS SHALL NOT EXCEED 1/2" PER FOOT (2%) UP TO DOOR'S THRESHOLD FOR A MIN. DISTANCE OF 5'-0" OUT FROM THE DOOR OPENING, TYPICAL AT ALL EXTERIOR DOORS U.O.N.
 - 32 EXISTING CONCRETE WHEEL STOP.

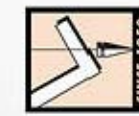
SET ISSUED:

2014-12-02:
SCHEMATIC DESIGN /
PLANNING SUBMITTAL

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS PREPARED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF, AUSA. THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH AUSA. DESIGN AND VISUAL CONTACT WITH THESE CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

AUSONIO



SAM LINDER AUTO GROUP
MASERATI / VOLVO MONTEREY SHOWROOM REMODEL
1711 DEL MONTE BOULEVARD
SEASIDE, CA. 93955
A.P.N. NO.: 011-541-006

JOB NO.:

2014-007

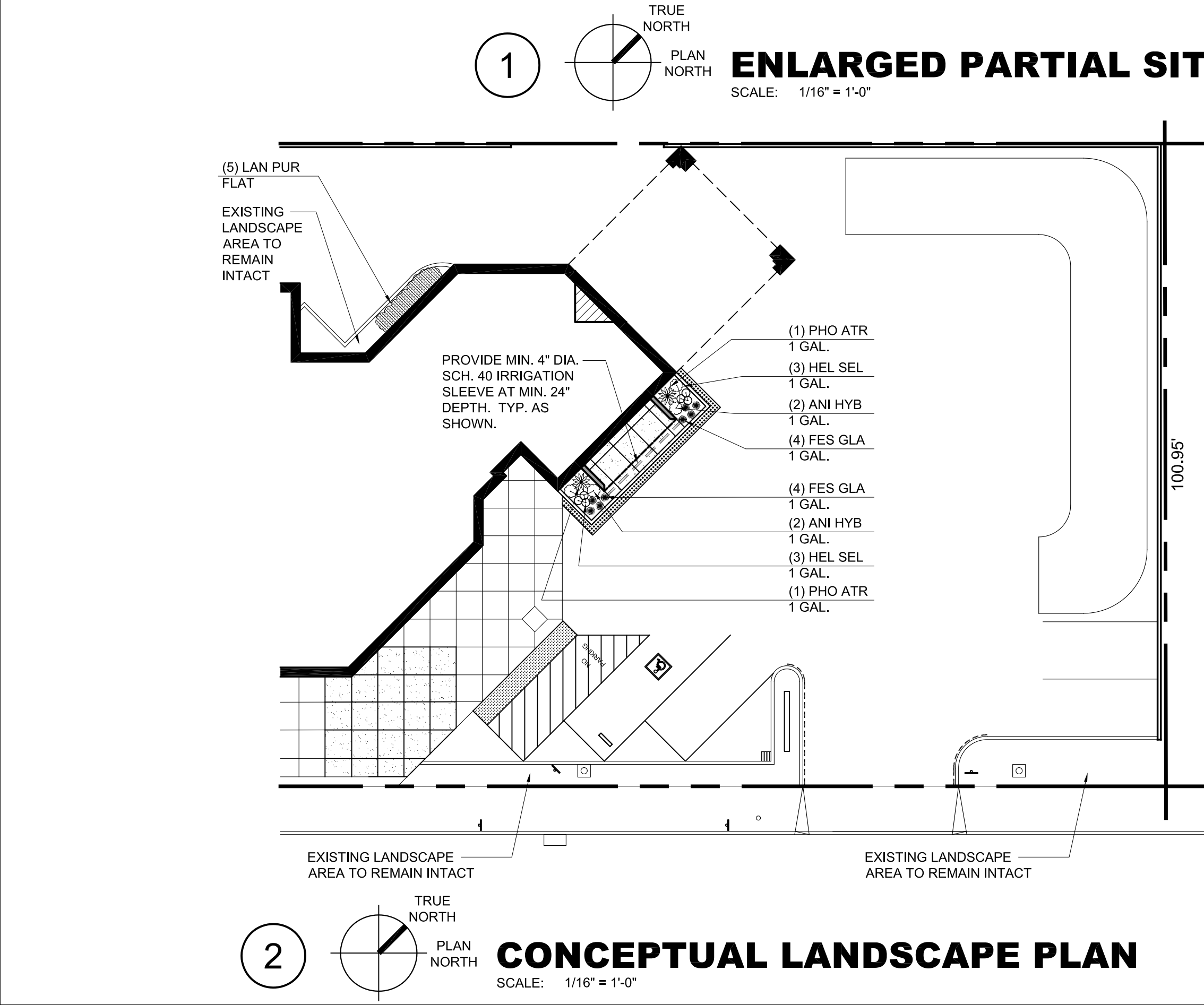
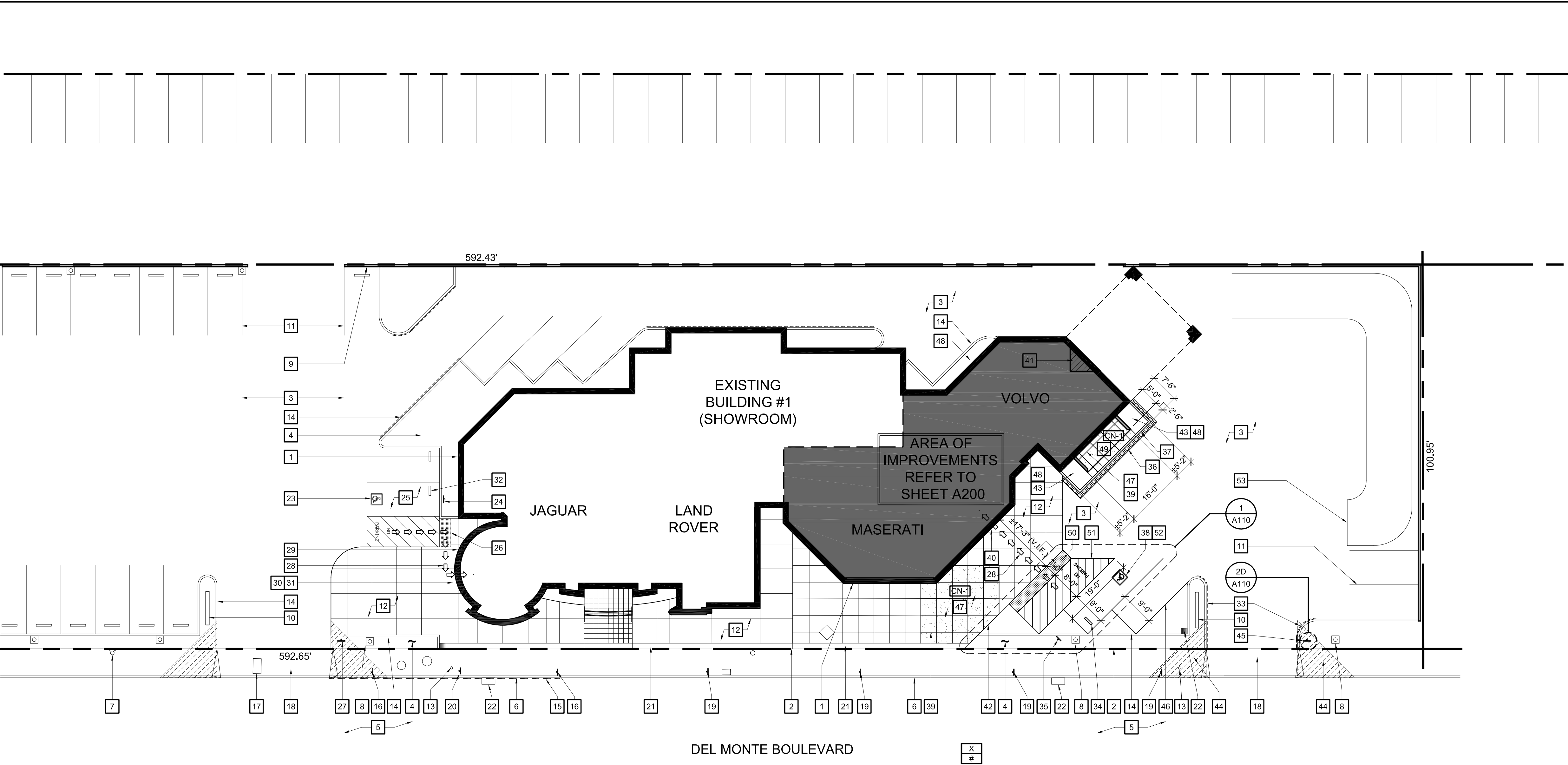
SHEET NAME:

ENLARGED
PARTIAL DEMO
SITE PLAN

SHEET NO.:

A101

FILE NAME: B4-007 Maserati-Volvo A101



PLANT SCHEDULE		
SHRUBS	BOTANICAL / COMMON	SIZE
PHO ATR	PHORMIUM TENAX 'ATROPURPUREUM' / PURPLE NEW ZEALAND FLAX	1 GAL.
GRASSES	BOTANICAL / COMMON	SIZE
CAL ACU	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER' / FOERSTER'S REED GRASS	1 GAL.
FES GLA	FESTUCA GLAUCA / BLUE FESCUE	1 GAL.
GROUND COVERS	BOTANICAL / COMMON	SIZE
LAN PUR	LANTANA MONTEVIDENSIS 'PURPLE' / TRAILING LANTANA	FLAT @ 24" OC
ANNUALS / PERENIALS		SIZE
ANI HYB	ANIGOZANTHOS x 'BIG RED' / BIG RED KANGAROO PAW	1 GAL.

LANDSCAPE NOTES	
CAUTION: CONTRACTOR SHALL NOTE LOCATIONS OF EXISTING UNDERGROUND UTILITIES AND USE APPROPRIATE CAUTION WHEN PERFORMING WORK IN THOSE AREAS, INCLUDING EXCAVATION BY HAND TOOLS IF NECESSARY FOR SAFETY.	
1. REMOVE ALL DEBRIS, ROCKS OVER 1 INCH SIZE, AND WEEDS FROM PLANTING AREAS.	
2. GRADE ALL PLANTING AREAS TO A SMOOTH, UNIFORM SLOPE WITH POSITIVE DRAINAGE TOWARDS DRAIN INLETS OR SWALES, 2% AWAY FROM BUILDINGS. PLANTING BEDS SHALL BE CONTOURED AS SHOWN ON PLANS. FINISH GRADE SHALL BE 2" BELOW TOP OF ADJACENT PAVING.	
3. USE 21-GRAM AGRIFORM PLANT TAB FERTILIZER 21-10-5 AS FOLLOWS: 1 GALLON PLANT; 1 TAB 15 GALLON PLANT; 2 TABS BOTTOM OF HOLE, ON SIDE OF ROOTBALL.	
4. INSTALL WEED CLOTH IN ALL PLANTING AREAS: 5 OZ NON-WOVEN POLYPROPYLENE.	
5. ALL PLANTING AREAS SHALL BE DRESSED THREE INCHES DEEP WITH PREMIUM WOOD CHIPS, AVAILABLE FROM BUENA VISTA LANDFILL, WATSONVILLE, CA (831) 454-2430. PROVIDE SAMPLE TO OWNER'S REP FOR APPROVAL.	
6. PROVIDE MIN. 4" DIA. SCH. 40 IRRIGATION SLEEVE AT MIN. 24" DEPTH TO CONNECT ALL NEW LANDSCAPE AREAS WITH EXISTING.	

GENERAL NOTES	
1. CONTRACTOR SHALL RECONSTRUCT ALL DAMAGED CURB, GUTTER AND SIDEWALK ALONG SITE'S WEST MARKET STREET FRONTAGE.	
2. "FIRE LANE" SIGNS ARE REQUIRED TO BE INSTALLED AT EACH ENTRANCE IN LOCATIONS WHERE VEHICLE PARKING WOULD ENCR OACH ON THE REQUIRED 24'-0" CLEAR WIDTH OF ROADWAY. ALL RAISED CURBS AT THESE LOCATIONS SHALL BE PAINTED RED WITH "FIRE LANE - NO PARKING ANYTIME" STENCILLED 4" HIGH AT 30'-0" INTERVALS PER CITY STANDARDS.	
3. APPROVED NUMBERS AND/OR LETTERS SHALL BE PLACED ON ALL BUILDINGS TO BE VISIBLE FROM THE STREET, WITH THE COLOR CONTRASTING THE BACKGROUND. ADDRESS POSTING IS REQUIRED ON BUILDING, FIRE DEPARTMENT ACCESS AND ON ALL REAR DOORS. THE PROJECT REQUIRES AN ILLUMINATED DIRECTORY AT THE MAIN ENTRANCE. INDIVIDUAL ROOMS/SUITE NUMERALS TO BE A MINIMUM OF 4" HIGH, 6" HIGH x 3/4" STROKE; 9" HIGH x 1-1/4" STROKE WHEN 36'-50' FROM ACCESS; 12" HIGH x 1-1/2" STROKE WHEN OVER 50' FROM ACCESS.	
4. NO TREES OR HIGH-GROWING SHRUBS SHALL BE CLOSER THAN 6'-0" FROM ANY OF THE REQUIRED ACCESS ROADWAYS AND SHALL MAINTAIN CLEAR UP TO 13'-6".	
5. CONTRACTOR SHALL PROVIDE MIN. 8" DIA. SCH. 40 IRRIGATION SLEEVE AT MIN. DEPTH TO ALL NEW LANDSCAPE AREAS.	
SITE MATERIALS LEGEND	
CN-1	TYPE: CONCRETE MANUFACTURER: MATCH (E) STYLE/FINISH: STANDARD GREY - MATCH (E) COLOR/PATTERN: STANDARD GREY - MATCH (E) SIZE: CONTROL JOINTS PER PLAN NOTE: CONTROL JOINTS PER PLAN CONTACT: -

47	PROVIDE NEW (CNC-1) CONCRETE PAVEMENT (MATCH EXISTING ADJACENT CONCRETE COLOR AND FINISH) OVER AGGREGATE BASE AND COMPACTED SOIL SUBGRADE.
48	NEW LANDSCAPE AREA.
49	NEW VOLVO COVERED ENTRY CANOPY. REFER TO FLOOR PLAN FOR ADDITIONAL NOTATION.
50	NEW DETECTABLE WARNING SURFACE (TRUNCATED DOMES). SEE DETAIL 5/A110.
51	NEW "VAN ACCESSIBLE" LOADING/UNLOADING ZONE. SEE DETAIL 1/A110.
52	NEW "VAN ACCESSIBLE" PARKING STALL. SEE DETAIL 1/A110.
53	EXISTING CONCRETE AND STONE MULTI-TERRAIN VEHICLE DISPLAY TO REMAIN INTACT. PROTECT FROM DAMAGE.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- EXISTING BUILDING FOOTPRINT.
- EXISTING PROPERTY LINE.
- EXISTING A.C. PAVED PARKING LOT / DRIVE AISLE TO REMAIN INTACT - PROTECT FROM DAMAGE.
- EXISTING LANDSCAPE AREA TO REMAIN INTACT - PROTECT FROM DAMAGE.
- EXISTING A.C. PAVED CITY ROAD TO REMAIN INTACT.
- EXISTING CONCRETE CURB, GUTTER AND WALKWAY TO REMAIN INTACT - PROTECT FROM DAMAGE. PRIOR TO FINAL INSPECTION, ANY CURB, GUTTER AND WALKWAY DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED PER THE MOST CURRENT APPLICABLE CITY OF SEASIDE ENGINEERING STANDARDS. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT FOR ALL WORK DONE IN PUBLIC RIGHT-OF-WAY PRIOR TO PROCEEDING WITH WORK.
- EXISTING FIRE HYDRANT TO REMAIN INTACT.
- EXISTING LIGHT POLE TO REMAIN INTACT.
- EXISTING CMU SITE WALL TO REMAIN INTACT.
- EXISTING MONUMENT SIGN TO REMAIN INTACT.
- EXISTING STRIPED PARKING STALL TO REMAIN INTACT.
- EXISTING VEHICLE DISPLAY AREA TO REMAIN INTACT.
- EXISTING CITY STREET LIGHT POLE TO REMAIN INTACT.
- EXISTING CONCRETE CURB TO REMAIN INTACT.
- DASH LINE INDICATES EXTENTS OF EXISTING CONCRETE CURB RED - STRIPED INDICATING "NO PARKING". CONTRACTOR SHALL RE-STRIPE ACCORDINGLY.
- INDICATES EXISTING POLE MOUNTED "NO PARKING" SIGN TO REMAIN INTACT.
- INDICATES EXISTING UTILITY VAULT AND / OR ACCESS COVER PLATE TO REMAIN INTACT.
- EXISTING CONCRETE DRIVEWAY APPROACH TO REMAIN INTACT.
- INDICATES EXISTING POLE MOUNTED "2 HOUR PARKING" SIGN TO REMAIN INTACT.
- INDICATES EXISTING POLE MOUNTED "MONTEREY AUTO CENTER" SIGN TO REMAIN INTACT.
- INDICATES EXISTING CONCRETE VALLEY GUTTER TO REMAIN INTACT. CONTRACTOR SHALL ALLOW FOR MODIFICATION OF EXISTING CONCRETE VALLEY GUTTER AS REQUIRED TO ACCOMMODATE NEW WORK. CONTRACTOR SHALL PREVENT RUN-OFF TO PUBLIC RIGHT-OF-WAYS.
- EXISTING STORM DRAIN INLET TO REMAIN INTACT. PROTECT FROM DAMAGE. REFER TO EROSION CONTROL AND BEST MANAGEMENT PRACTICES (BMPs) REQUIREMENTS OUTLINED ON SHEET A100.
- EXISTING 36" x 36" PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY ON PAVEMENT.
- EXISTING "VAN ACCESSIBLE" STALL SIGNAGE.
- EXISTING "VAN ACCESSIBLE" PARKING STALL.
- EXISTING DETECTABLE WARNING SURFACE (TRUNCATED DOMES).
- EXISTING "DISABLED PARKING ENTRY" SIGN ("VEHICLE TOW-AWAY" SIGN) AND A "NOTICE ALL ROADS ARE FIRE LANES" ENTRANCE SIGN.
- ACCESSIBLE PATH OF TRAVEL INDICATOR ARROWS. ARROWS SHOWN ON PLAN ARE FOR REFERENCE ONLY AND NOT FOR PHYSICAL APPLICATION. WALKWAY ALONG ACCESSIBLE PATH OF TRAVEL SHALL BE CONTINUOUSLY ACCESSIBLE, HAVE A MAX. 1/2" CHANGE OF ELEVATION, MIN. 48" WIDTH, HAVE A MAX. 1/2" PER FOOT CROSS SLOPES, AND WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% (1:20) SHALL HAVE RAMPS COMPLYING WITH CBC SECTION 11338.7.
- EXISTING RECESSED KEY BOX (KNOX BOX) PER CITY FIRE DEPARTMENT STANDARDS.
- EXISTING INTERNATIONAL SYMBOL OF ACCESSIBILITY AT PRIMARY PUBLIC ENTRANCES.
- EXISTING EXTERIOR WALKWAY AND DOOR LANDINGS SHALL NOT EXCEED 1/2" PER FOOT (2%) UP TO DOOR'S THRESHOLD FOR A MIN. DISTANCE OF 5'-0" OUT FROM THE DOOR OPENING, TYPICAL AT ALL EXTERIOR DOORS U.O.N.
- EXISTING CONCRETE WHEEL STOP.
- INDICATES EXTENT OF 6" HIGH CURBS WHICH SHALL BE PAINTED RED WITH 4" HIGH WHITE LETTERS STATING "FIRE LANES - NO PARKING" AT 30'-0" O.C. MAX. WHEN 6" CURB(S) NOT AVAILABLE, INSTALL A "FIRE LANES - NO PARKING ANYTIME" SIGN (R28 - 12"x18"). SIGN HEIGHT SHALL BE 54" FROM TOP OF PAVEMENT/LANDSCAPE AREA TO BOTTOM OF SIGN ON A WALL, FENCE OR BUILDING 75'-0" O.C. MAX. A POLE-MOUNTED SIGN IN A PEDESTRIAN WALKWAY SHALL BE 84" FROM THE BOTTOM OF THE SIGN TO TOP OF WALKWAY. REFER ALSO TO CITY STANDARD PLAN.
- PROVIDE CONCRETE WHEEL STOP. SEE DETAIL 3 & 4/A110.
- NEW "VAN ACCESSIBLE" STALL SIGNAGE PER DETAIL 3/A110.
- PROVIDE NEW AC PAVEMENT OVER AGGREGATE BASE AND COMPACTED SOIL SUBGRADE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL NOTATION.
- PROVIDE 6" HIGH CONCRETE CURB TYPICAL AS SHOWN. REFER TO CIVIL DRAWINGS FOR ADDITIONAL NOTATION. SEE DETAIL 10/A110.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON AC PAVEMENT. SEE DETAIL 6/A110.
- INDICATES CONCRETE CONTROL OR EXPANSION JOINTS AT CONCRETE WALKWAY SEE DETAIL 8/A110.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ALL PRIMARY PUBLIC ENTRANCES. SEE DETAIL 6/A110.
- SHADED AREA INDICATES AREA OF BUILDING ADDITION. SEE FLOOR PLAN.
- NEW CONCRETE PAVEMENT FLUSH WITH NEW OR EXISTING A.C. PAVEMENT.
- PROVIDE MIN. 8" DIA. SCH. 40 IRRIGATION SLEEVE AT MIN. 24" DEPTH. TYP. AS SHOWN.
- INDICATES VISIBILITY TRIANGLE PER CITY REQUIREMENTS. VISIBILITY AT STREET CORNERS AND AT DRIVEWAYS CONNECTION WITH A PUBLIC STREET SHALL BE MAINTAINED AS AN AREA OF UNRESTRICTED VISIBILITY AS FOLLOWS:
A) FOR STREET CORNERS: THAT AREA BETWEEN 3 FEET AND 10 FEET ABOVE GRADE WHICH LIES 25 FEET FROM THE INTERSECTION OF THE STREET RIGHT-OF-WAY MEASURED ALONG BOTH THE RIGHT-OF-WAY LINES.
B) FOR DRIVEWAYS: THAT AREA BETWEEN 3 FEET AND 10 FEET ABOVE THE DRIVEWAY GRADE WHICH LIES 15 FEET FROM THE INTERSECTION OF THE EDGE OF DRIVEWAY AND THE PROPERTY LINE MEASURED ALONG BOTH THE DRIVEWAY AND THE PROPERTY LINE.
- PROVIDE "DISABLED PARKING ENTRY" SIGN ("VEHICLE TOW-AWAY" SIGN) (17" x 22") AND A "NOTICE ALL ROADS ARE FIRE LANES" ENTRANCE SIGN (18" x 24") INSTALLED TOGETHER FOR VEHICLES ENTERING INTO THE PARKING LOT AT ALL DRIVEWAY ENTRANCES. SEE DETAIL 2/A110. IF NO SIGN EXISTING, PROVIDE NEW SIGN PER DETAIL 2/A110.
- PROVIDE (N) 4" WIDE PAINTED WHITE PARKING STALL STRIPING.

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DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

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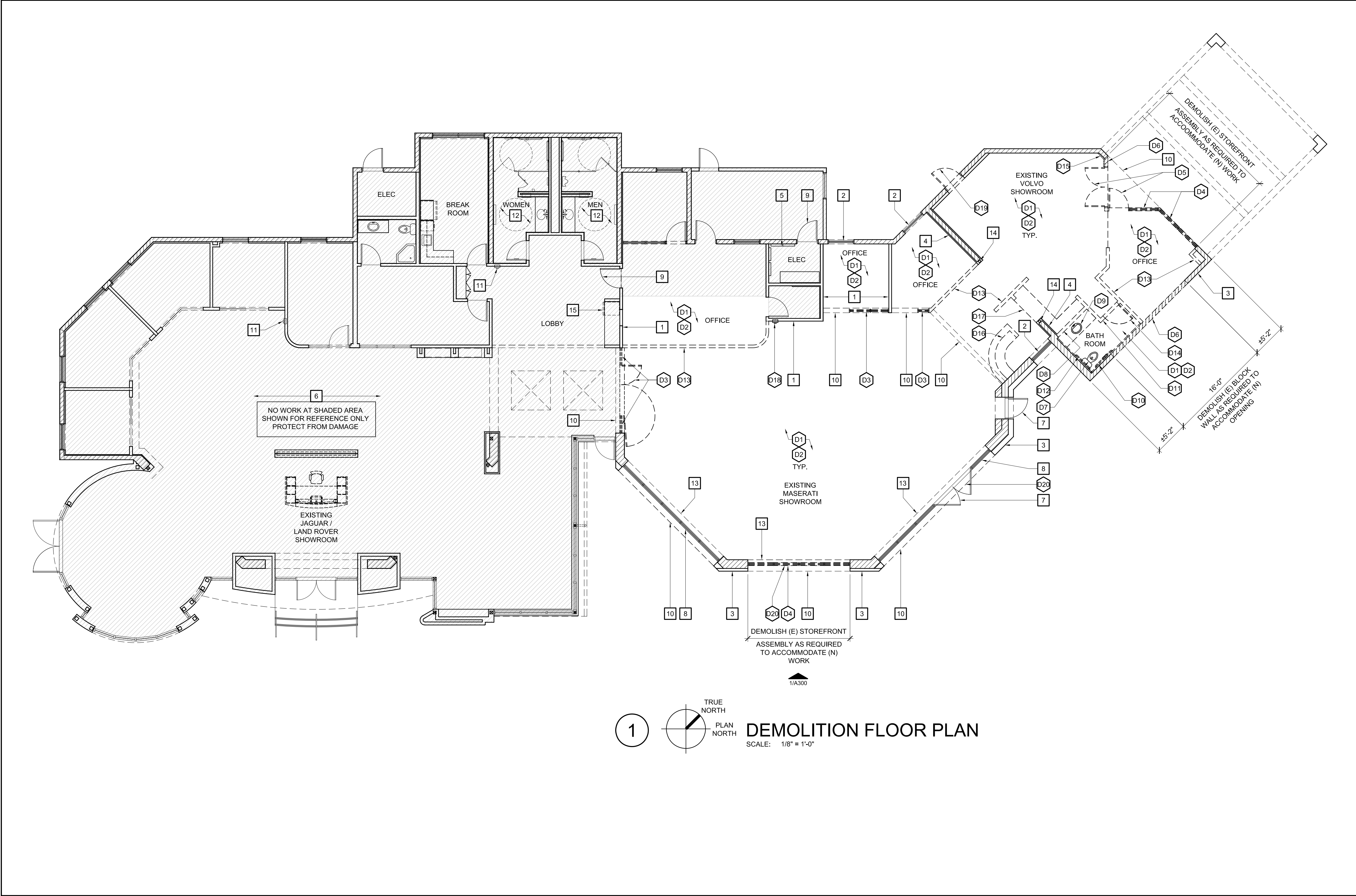
JOB NO.:
2014-007

SHEET NAME:
ENLARGED
PARTIAL NEW
SITE PLAN

SHEET NO.:
A102

FILE NAME: E4-007 Maserati-Volvo A102

Packet Page 9



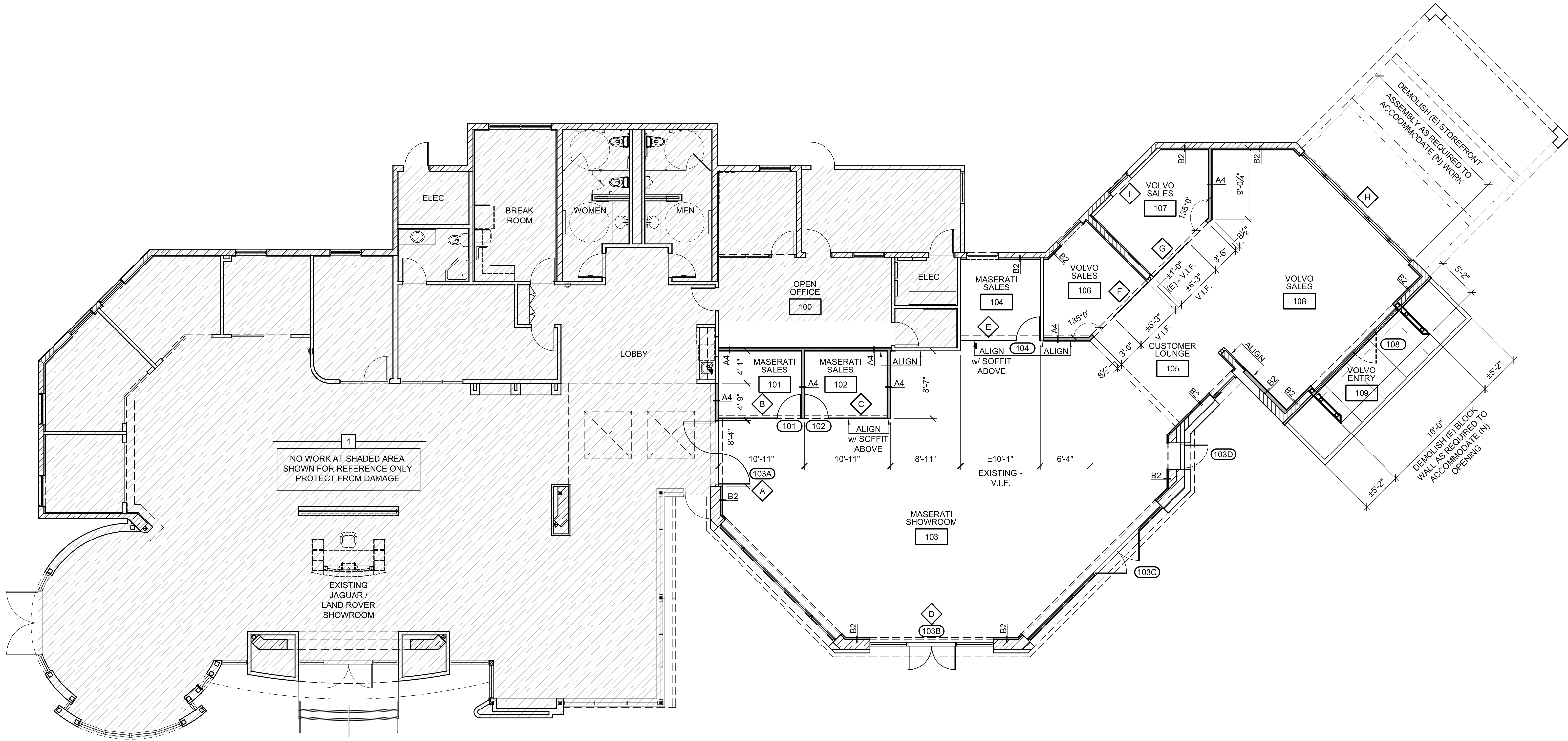
DEMOLITION GENERAL NOTES			
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS & FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.	9. CONTRACTOR TO ENSURE THAT EXISTING UTILITIES (GAS, ELECTRIC OR PHONE, ETC.), ACCESS FOR TENANT & CUSTOMER USE, MECHANICAL VENTILATION, HEATING AND/OR COOLING SYSTEMS, PROVIDED TO ALL TENANTS IN THE EXISTING BUILDING WHERE WORK WILL OCCUR (AS WELL AS IN BUILDING WHERE WORK WILL NOT OCCUR).	17. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ASSOCIATED SCOPE OF WORK REQUIREMENTS.	22. CONTRACTOR TO CLEAN AND PROPERLY DISPOSE OF ALL ABANDONED EQUIPMENT AND TRASH/ DEBRIS LEFT FROM PREVIOUS TENANT. CONTRACTOR SHALL VERIFY ALL ITEMS FOR DISPOSAL WITH BUILDING OWNER PRIOR TO STARTING WORK.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO ITEMS TO REMAIN.	10. CARE SHALL BE TAKEN BY CONTRACTOR TO MINIMIZE DISRUPTION TO EXISTING TENANT/ BUSINESS OPERATIONS IN BUILDING THROUGHOUT DURATION OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH BUILDING OWNER PRIOR TO WORK.	18. CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL EXISTING FLOOR COVERINGS (I.E. CARPET, CARPET PAD AND TACK STRIP, VINYL TILES, CERAMIC TILES AND MORTAR BED, SHEET VINYL, ETC) AND ASSOCIATED BASE THROUGHOUT ENTIRE BUILDING. PREP FLOOR AND PROVIDE NEW FLOORING SUBSTRATE AS REQUIRED TO ACCOMMODATE NEW FLOOR FINISH. CONTRACTOR SHALL PATCH AND FLOAT/ PREP ALL WALLS WHERE EXISTING BASE WAS REMOVED TO ACCOMMODATE NEW BASE.	23. CONTRACTOR SHALL PROVIDE APPROPRIATE NUMBER OF 2A-10BC MINIMUM RATED TEMPORARY FIRE EXTINGUISHERS DURING CONSTRUCTION SO AS THE TRAVEL DISTANCES TO ANY ONE EXTINGUISHER IS A MAX. OF 75'-0". ALL EXTINGUISHERS SHALL MEET THE REQUIREMENTS OF NFPA PAMPHLET 10 AND SHALL BE SERVICED REGULARLY PER FIRE DEPARTMENT REQUIREMENTS.
3. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS/EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.	11. EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACT. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF DOOR FRAMES OR COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET.	19. CONTRACTOR SHALL ALLOW FOR SAW CUTTING AND PATCHING OF EXISTING CONCRETE SLAB AS REQUIRED FOR DEMOLITION OF EXISTING PLUMBING, CAPPING OF PLUMBING AND/ OR RECONFIGURATION AND EXTENSION OF PLUMBING AS REQUIRED TO ACCOMMODATE NEW WORK.	24. CONTRACTOR SHALL PROVIDE APPROPRIATE NUMBER AND LOCATED TEMPORARY EXIT SIGNS DURING CONSTRUCTION.
4. CONTRACTOR SHALL IMPLEMENT CONSTRUCTION DUST / DEBRIS CONTROL MEASURES THROUGHOUT THE DURATION OF CONSTRUCTION.	12. CONTRACTOR SHALL PREP, FLOAT AND FINISH WALLS AFFECTED BY WORK AS REQUIRED TO MATCH EXISTING ADJACENT WALLS.	- FOR ALL EXISTING PLUMBING SYSTEM PIPING IN EXISTING WALLS TO REMAIN FED FROM BELOW SLAB, PIPING SHALL BE CAPPED AT LOWEST EXISTING JOINT ABOVE THE SLAB. ALL REMAINING ABANDONED PIPING TO BE REMOVED AND LEGALLY DISPOSED OF. - FOR ALL EXISTING PLUMBING SYSTEM PIPING IN EXISTING WALLS TO REMAIN SUPPLIED FROM ABOVE CEILING, PIPING SHALL BE CAPPED ABOVE CEILING. ALL REMAINING ABANDONED PIPING TO BE REMOVED AND LEGALLY DISPOSED OF. - FOR ALL EXISTING PLUMBING SYSTEM PIPING AND DRAIN LINES IN SLAB AREAS (NOT IN WALLS), CONTRACTOR SHALL REMOVE PORTION OF EXISTING CONCRETE SURROUNDING THE PIPING SUFFICIENT FOR CAPPING, CAP PIPING AT A POINT TO ALLOW FOR A MINIMUM OF 1" CONCRETE COVERAGE ABOVE CAP TO HEIGHT OF FINISHED SLAB. REPLACE SURROUNDING CONCRETE TO HEIGHT OF FINISHED SLAB. - FOR ALL EXISTING PLUMBING SYSTEM PIPING TO BE UTILIZED, EXTENDED AND/OR TIED INTO FOR NEW PLUMBING, CONTRACTOR SHALL TEMPORARILY CAP AND STUB PIPING VISIBLE FOR FUTURE WORK.	
5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.	13. CONTRACTOR SHALL REMOVE ALL WALL MOUNTED SIGNAGE THROUGHOUT AREAS OF FROM PREVIOUS TENANT.		
6. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.	14. CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING SURFACE MOUNTED TEL/DATA/POWER OUTLETS/ SWITCHES THROUGHOUT BUILDING, PATCH AND REPAIR WALLS AS REQUIRED TO MATCH ADJACENT GYP. BOARD SURFACE.		
7. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, DUCTWORK, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.	15. CONTRACTOR SHALL ALLOW FOR ALL PATCHING AND / OR MODIFICATION OF EXISTING WALLS / GYP. BD. AS REQUIRED DUE TO NEW AND / OR REMOVAL OF SWITCHES, OUTLETS AND OTHER WALL MOUNTED DEVICES.		
8. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.	16. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE ON CONSTRUCTION SCHEDULE AND HOURS OF CONSTRUCTION.		

DEMOLITION NOTES		SET ISSUED:
THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.		2014-12-02: SCHEMATIC DESIGN / PLANNING SUBMITTAL
D1	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING FLOOR COVERINGS (I.E. CARPET, CARPET PAD AND TACK STRIP, VINYL TILES, CERAMIC TILES AND MORTAR BED, SHEET VINYL, ETC) AND ASSOCIATED BASE THROUGHOUT AREA OF IMPROVEMENTS. PREP FLOOR AND PROVIDE NEW SUBSTRATE AS REQUIRED TO ACCOMMODATE NEW FLOOR FINISH.	
D2	CONTRACTOR SHALL ALLOW FOR SAW CUTTING AND PATCHING OF EXISTING CONCRETE SLAB AS REQUIRED FOR THE RECONFIGURATION AN/OR EXTENSION OF NEW CONDUIT AND POWER AND TEL/DATA BOXES AS REQUIRED TO ACCOMMODATE NEW WORK. REFER TO ELECTRICAL DRAWINGS FOR REQUIREMENTS.	
D3	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CLEAR MILL FINISH INTERIOR ALUMINUM STOREFRONT ASSEMBLY IN ITS ENTIRETY. PREP OPENINGS AS REQUIRED FOR NEW OFFICE GLAZING CONFIGURATION.	
D4	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR ALUMINUM STOREFRONT ASSEMBLY IN ITS ENTIRETY TO ACCOMMODATE NEW WORK.	
D5	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR ALUMINUM STOREFRONT DOOR ASSEMBLY AND THRESHOLD IN ITS ENTIRETY TO ACCOMMODATE NEW WORK.	
D6	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING SLUMPED CMU WALL HEADER/STRUCTURE ABOVE STOREFRONT ASSEMBLY TO ACCOMMODATE NEW WORK. REFER TO STRUCTURAL DRAWINGS.	
D7	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING TOILET.	
D8	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING WALL MOUNTED MIRROR.	
D9	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING COUNTERTOP AND SINK INCLUDING BUT NOT LIMITED TO SINK, FAUCET, AND ASSOCIATED PLUMBING.	
D10	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING FULL HEIGHT WALL TILE AND SUBSTRATES DOWN TO BARE STUDS.	
D11	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR.	
D12	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL EXISTING BATHROOM ACCESSORIES INCLUDING BUT NOT LIMITED TO GRAB BARS, TOILET PAPER DISPENSER, WASTE/TOWEL DISPENSER, ETC.	
D13	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING NONBEARING INTERIOR WALL IN ITS ENTIRETY.	
D14	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING DOOR.	
D15	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING WALL FURRING.	
D16	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING RECEPTION DESK IN IN ITS ENTIRETY.	
D17	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING MILLWORK (LOWER AND UPPER CABINETS WERE OCCUR) IN ITS ENTIRETY.	
D18	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING SEMI-RECESSED WALL MOUNTED FIRE EXTINGUISHER.	
D19	CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING EXTERIOR DOOR AND DOOR FRAME IN ITS ENTIRETY. PREP OPENING AS REQUIRED TO ACCOMMODATE NEW WINDOW.	
D20	CONTRACTOR SHALL GRIND DOWN EXISTING CONCRETE SLAB EDGE AT EXISTING, NEW/PROPOSED DOOR LOCATIONS AS REQUIRED TO CREATE AN ACCESSIBLE COMPLIANT PATH OF TRAVEL.	
KEY NOTES		
THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.		
1	EXISTING INTERIOR WALL TO REMAIN INTACT. CONTRACTOR SHALL PROTECT FROM DAMAGE. PATCH, FLOAT AND PREP WALLS AS REQUIRED TO ACCEPT NEW WALL FINISHES AS SCHEDULED.	
2	EXISTING EXTERIOR WINDOW TO REMAIN INTACT - PROTECT FROM DAMAGE. CONTRACTOR SHALL CLEAN EXISTING WINDOW AND FRAME PRIOR TO OWNER OCCUPANCY.	
3	EXISTING EXTERIOR SLUMPED CMU WALL WITH CEMENT PLASTER WALL FINISH TO REMAIN INTACT - PROTECT FROM DAMAGE.	
4	EXISTING INTERIOR SLUMPED CMU WALL TO REMAIN INTACT - PROTECT FROM DAMAGE. PATCH, FLOAT AND PREP WALLS AS REQUIRED TO ACCEPT NEW WALL FINISH AS SCHEDULED.	
5	EXISTING ELECTRICAL PANEL. SEE ELECTRICAL DRAWINGS.	
6	SHADED AREA INDICATES AREA NOT IN TENANT IMPROVEMENT SCOPE OF WORK. PROTECT FROM DAMAGE. NO WORK U.O.N.	
7	EXISTING CLEAR MILL FINISH ALUMINUM STOREFRONT DOOR ASSEMBLY TO REMAIN INTACT. PROTECT FROM DAMAGE. NO WORK U.O.N.	
8	EXISTING CLEAR MILL FINISH ALUMINUM STOREFRONT ASSEMBLY TO REMAIN INTACT. PROTECT FROM DAMAGE. NO WORK U.O.N.	
9	EXISTING DOOR TO REMAIN INTACT. PROJECT FROM DAMAGE.	
10	DASH LINE INDICATES EXISTING SOFFIT ABOVE TO REMAIN INTACT. PROTECT FROM DAMAGE.	
11	EXISTING SEMI-RECESSED WALL MOUNTED 2A-10BC FIRE EXTINGUISHER AS INDICATED ON PLAN. HORIZONTAL DISTANCE FROM ANY SPOT WITHIN BUILDING TO EXTINGUISHER SHALL NOT EXCEED 75'-0".	
12	EXISTING ACCESSIBLE COMPLIANT BATHROOM TO REMAIN INTACT. PROTECT FROM DAMAGE. NO WORK U.O.N.	
13	(E) SLUMPED CMU WALL HEADER / STRUCTURE ABOVE TO REMAIN INTACT. PROTECT FROM DAMAGE.	
14	(E) STRUCTURAL COLUMN TO REMAIN INTACT. PROTECT FROM DAMAGE.	
15	(E) ACCESSIBLE COMPLIANT UNDERCOUNTER REFRIGERATOR WITH FREE BOTTLED WATER (IN LIEU OF PROVIDING AN ACCESSIBLE HI-LOW DRINKING FOUNTAIN).	
LEGEND		
	EXISTING WALL TO REMAIN.	
	EXISTING DOOR TO REMAIN.	
	EXISTING WINDOW TO REMAIN.	
	EXISTING WALL TO BE REMOVED	
	EXISTING DOOR AND FRAME TO BE REMOVED.	
	EXISTING WINDOW TO BE REMOVED.	
JOB NO.: 2014-007		
SHEET NAME: DEMOLITION FLOOR PLAN		
SHEET NO.: A200		
FILE NAME: 4-007 Maserati-Volvo A200		

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DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

SAM LINDER AUTO GROUP
MASERATI / VOLVO MONTEREY SHOWROOM REMODEL
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SEASIDE, CA. 93955
A.P.N. NO.: 011-541-006



1 TRUE NORTH
PLAN NORTH
NEW FLOOR DIMENSION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED WALLS. PRIME AND PAINT ALL EXISTING AND NEW WALLS. CONTRACTOR SHALL COORDINATE PAINT COLOR SELECTION WITH FINISH SCHEDULE & OWNER (PAINT COLORS TO COMPLY TO VEHICLE BRAND STANDARD ARCHITECTURAL FINISHES).
- CONTRACTOR SHALL FIELD VERIFY ALL (E) CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS & FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, U.O.N. ALIGN ALL NEW WALLS WITH EXISTING AS INDICATED AND/OR SHOWN ON FLOOR PLAN. NEW WALLS SHALL MATCH EXISTING WALL ASSEMBLY THICKNESS SO FINISH SURFACES ON BOTH SIDES ALIGN - TYPICAL THROUGHOUT IMPROVEMENT AREA.
- EXISTING WALLS WERE CONSTRUCTED WITH OTHER PERMITS AND/OR CONTRACTS. FIELD VERIFY CONSTRUCTION AND WIDTH PRIOR TO FABRICATION OF DOOR FRAMES OR COMPONENTS WHICH REQUIRE THE WIDTH OF THE WALL TO BE SET.
- PROTECT FROM DAMAGE ALL EXISTING ITEMS NOT SCHEDULED FOR REMOVAL.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S FURNITURE AND EQUIPMENT VENDOR FOR LAYOUT, POWER / DATA / TEL. REQUIREMENTS AND CONNECTIONS AND INSTALLATION OF ALL MODULAR FURNITURE, EQUIPMENT, KIOSKS, INFORMATION TOWERS, INFORMATION DESKS, AND SIGNAGE.
- CONTRACTOR SHALL ALLOW FOR ALL PATCHING AND / OR MODIFICATION OF EXISTING WALLS / GYP. BD. AS REQUIRED DUE TO NEW AND / OR REMOVAL OF SWITCHES, OUTLETS AND OTHER WALL MOUNTED DEVICES.

SET ISSUED:

2014-12-02:
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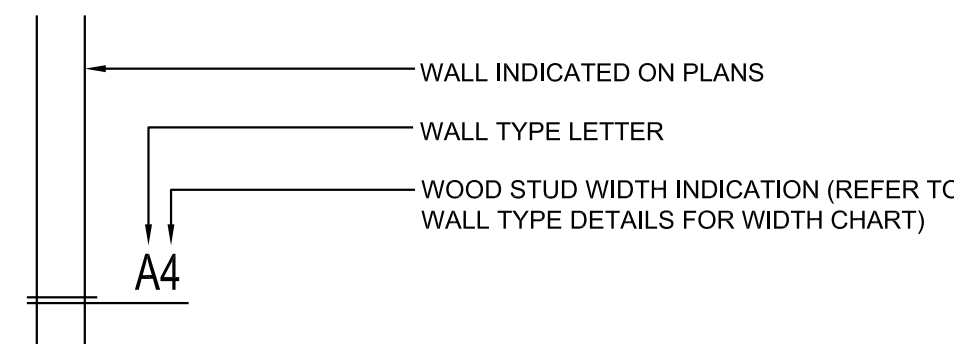
WALL SCHEDULE

SYMBOL TYPE	DESCRIPTION	DETAIL
	WALL TYPE 'A' : NON-RATED FULL HT. WALL (INTERIOR WALL)	-
	WALL TYPE 'B' : NON-RATED WALL FURRING (INTERIOR WALL)	-

WALL TYPE NOTES

WALL TYPE SYMBOL:

THE SYMBOL ILLUSTRATED BELOW REPRESENTS THE TYPE OF EACH WALL INDICATED BY THE SYMBOL ON THE DRAWINGS. DETAILS OF EACH WALL TYPE ARE REFERENCED BY THE "WALL TYPE LETTER" INDICATED FIRST WITHIN EACH SYMBOL. THE DIGIT AFTER THE WALL TYPE INDICATES THE WALL STUD WIDTH.



- REFER TO GENERAL WALL NOTES DETAIL 1/A900 FOR ALL INTERIOR WALLS.
- REFER TO GENERAL WALL NOTES DETAIL 1/A800 FOR ALL EXTERIOR WALLS.

LEGEND

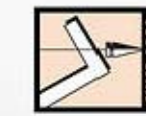
- EXISTING WALL TO REMAIN INTACT.
- EXISTING DOOR TO REMAIN.
- EXISTING WINDOW TO REMAIN.
- NEW WALL AS SCHEDULED.
- NEW DOOR AS SCHEDULED.
- NEW WINDOW AS SCHEDULED.

KEY NOTES

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- SHADED AREA INDICATES AREA NOT IN TENANT IMPROVEMENT SCOPE OF WORK. PROTECT FROM DAMAGE. NO WORK U.O.N.

AUSONIO



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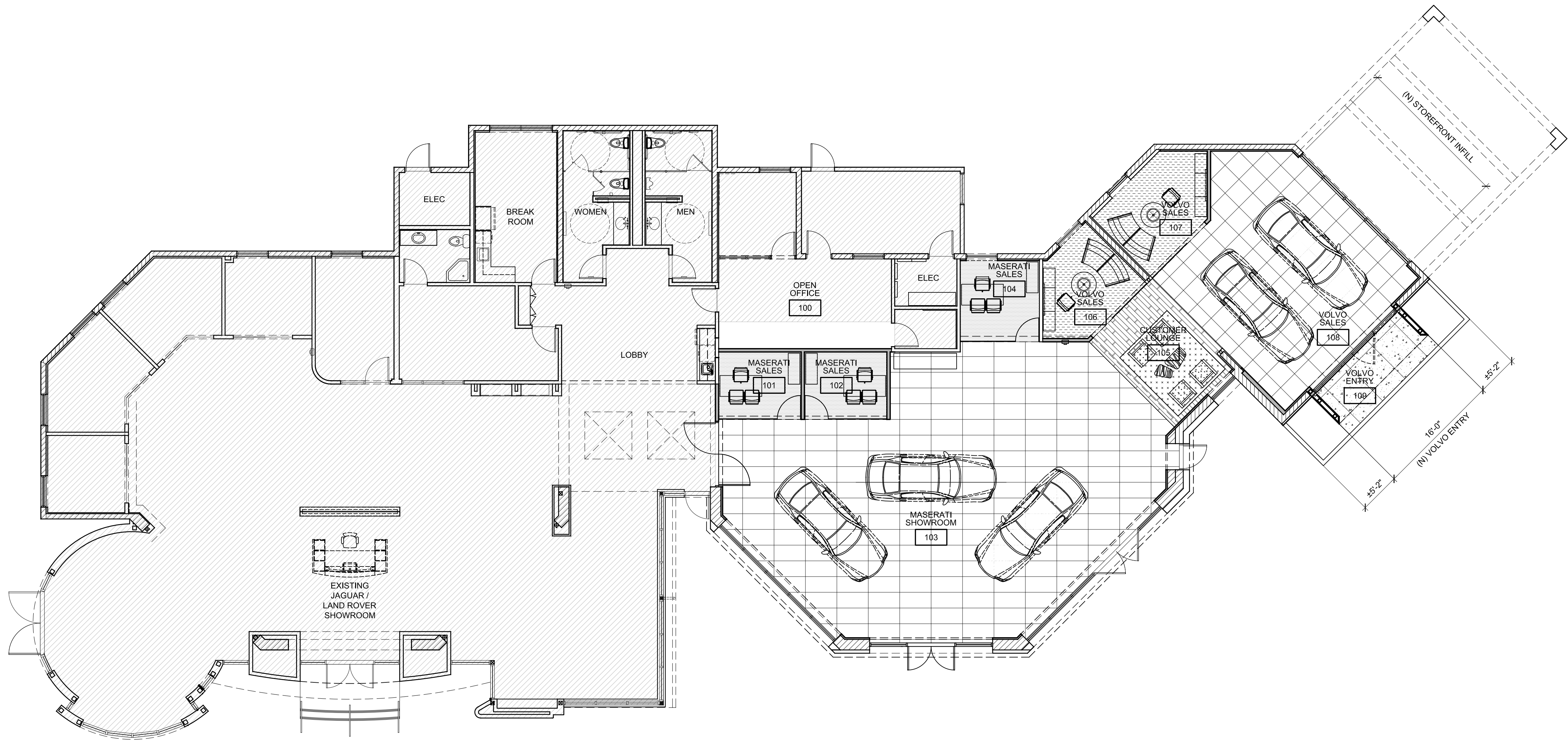
SHEET NAME:

NEW FLOOR
DIMENSION
PLAN

SHEET NO.:

A201

FILE NAME: 14-007 Maserati-Volvo A201



1 TRUE NORTH
PLAN NORTH
NEW FLOOR NOTED PLAN
SCALE: 1/8" = 1'-0"

SET ISSUED:
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PLANNING SUBMITTAL

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DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.

AUSONIO
ARCHITECTS

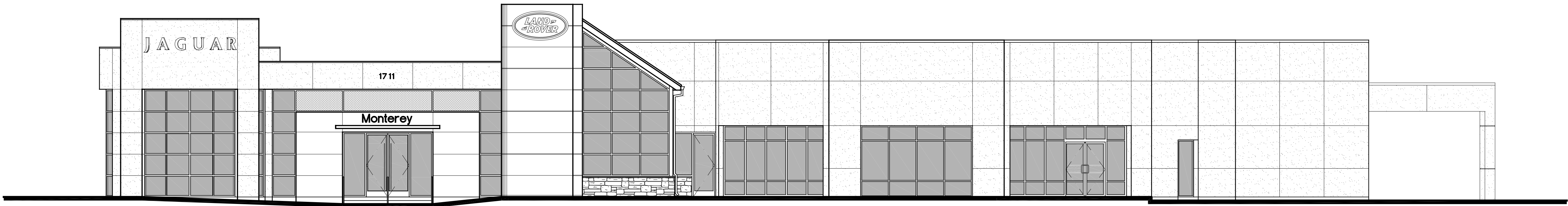
SAM LINDER AUTO GROUP
MASERATI / VOLVO MONTEREY SHOWROOM REMODEL
1711 DEL MONTE BOULEVARD
SEASIDE, CA. 93956
A.P.N. NO.: 011-541-006

JOB NO.:
2014-007

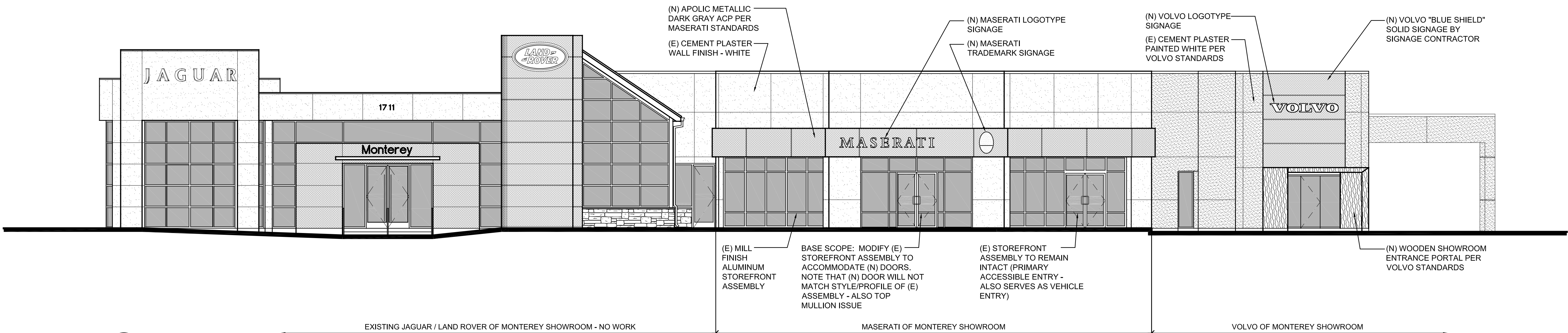
SHEET NAME:
NEW FLOOR
NOTED
PLAN

SHEET NO.:
A202

FILE NAME: 14-007 Maserati-Volvo A202



1 **EXISTING EAST EXTERIOR ELEVATION**
SCALE: 1/8"=1'-0"



2 **PROPOSED EAST EXTERIOR ELEVATION**
SCALE: 1/8"=1'-0"

SET ISSUED:

2014-12-02:
SCHEMATIC DESIGN /
PLANNING SUBMITTAL

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THESE DRAWINGS ARE OWNED BY, AND THE PROPERTY OF, NOW DESIGN. THE USE OF THESE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH NOW DESIGN, AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.



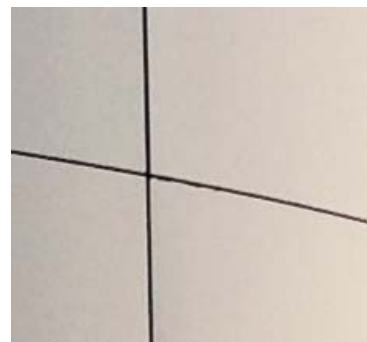
SAM LINDER AUTO GROUP
MASERATI / VOLVO MONTEREY SHOWROOM REMODEL
1711 DEL MONTE BOULEVARD
SEASIDE, CA. 93956
A.P.N. NO.: 011-541-006

JOB NO.:
2014-007

SHEET NAME:
EXTERIOR
ELEVATIONS

SHEET NO.:
A300

FILE NAME: 14-007 Maserati-Volvo A300

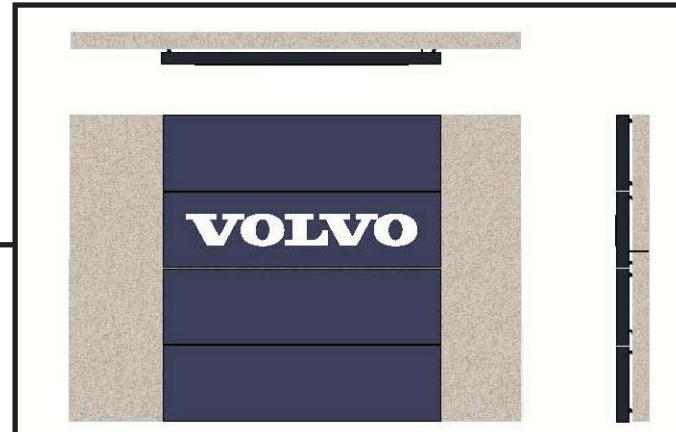


ALUMINUM COMPOSITE MATERIAL (ACM)
MFR: APOLIC
COLOR: MICA MFS GRAY
FINISH: 30% GLOSS



MASERATI ALUMINUM COMPOSITE MATERIAL (ACM) BAND IN MICA MFS GRAY w/ 30% GLOSS FINISH. MASERATI LOGOTYPE LETTERS CONTOUR SHALL BE MADE OF STAINLESS STEEL LIGHT BOX WITH CHROME FINISH. MASERATI TRADEMARK SIGNAGE SHAL BE MADE OF ALUMINUM LIGHT BOX WITH METHYL METHACRYLATE FACE AND CHARCOAL GREY EDGES RAL 7022.

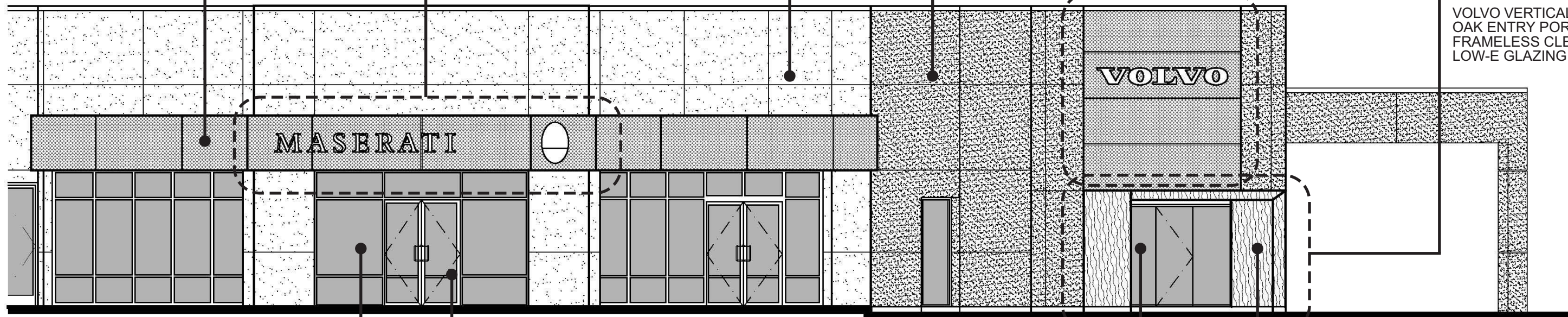
PAINTED CEMENT PLASTER
MFR: SHERWIN WILLIAMS OR EQUAL
COLOR: WHITE
FINISH: SATIN



VOLVO "EXTERIOR SHIELD" WITH VOLVO WORD MARK MODULE LED INTERNALLY ILLUMINATED PUSH THRU ACRYLIC COPY



VOLVO VERTICAL GRAIN OAK ENTRY PORTAL w/ FRAMELESS CLEAR LOW-E GLAZING



CLEAR GLAZING
MFR: PPG INDUSTRIES OR EQ.
TYPE: SOLARBAN "CLEAR"
LOW-E GLASS

STOREFRONT ASSEMBLY
MFR: KAWNEER OR EQ.
MATERIAL: ALUMINUM
COLOR: CLEAR ANODIZED ALUMINUM (MATCH EXISTING)

CLEAR GLAZING
MFR: PPG INDUSTRIES OR EQ.
TYPE: SOLARBAN "CLEAR"
LOW-E GLASS

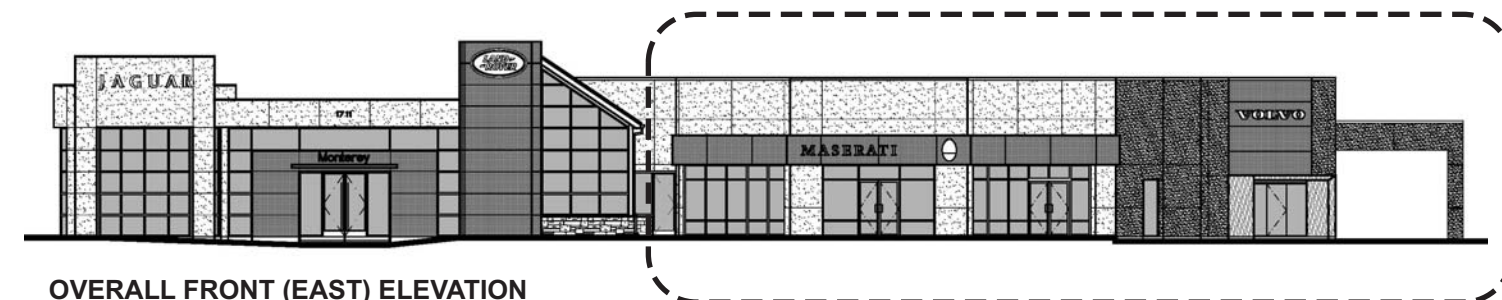
OAK ENTRY PORTAL
MFR: TBD
TYPE: OAK - VERTICAL GRAIN

ENLARGED PARTIAL FRONT (EAST) ELEVATION (AREA OF IMPROVEMENTS)

MASERATI / VOLVO SHOWROOM REMODEL

EXTERIOR COLOR /MATERIAL BOARD

1711 DEL MONTE BLVD.
SEASIDE, CA 93955



OVERALL FRONT (EAST) ELEVATION



	MATERIALS
DEALER NAME	ARIAL FONT; STAINLESS STEEL LIGHT BOX WITH CHROME FINISH
LOGOTYPE	BEMBO FONT; STAINLESS STEEL LIGHT BOX WITH CHROME FINISH
TRADEMARK	LUMINIUM LIGHT BOX WITH METHYL METHACRYLATE FACE AND CHARCOAL GREY EDGES RAL 7022

SIZE:	CHARACTERS (X)	TRADEMARKS (Y)
	300 mm [11 3/4"]	450 mm [1'-5 3/4"]
	400 mm [1' 3 3/4"]	680 mm [2'-2 3/4"]
	600 mm [1'-11 5/8"]	900 mm [2'-11 3/8"]
	800 mm [2'-7 1/2"]	1200 mm [3'-11 1/4"]

01
ES03.00

FRONT ELEVATION
SCALE 1:20

02
ES03.00

SECTION
SCALE 1:20

03
ES03.00

SIDE
SCALE 1:20

ALL THE EXTERIOR SIGNAGE WILL BE SUPPLIED BY PFG .

09
ES03.00

EXTERNAL SIGNAGE ON
ALPOLIC SYSTEM

04
ES03.00

FRONT ELEVATION
SCALE 1:20

05
ES03.00

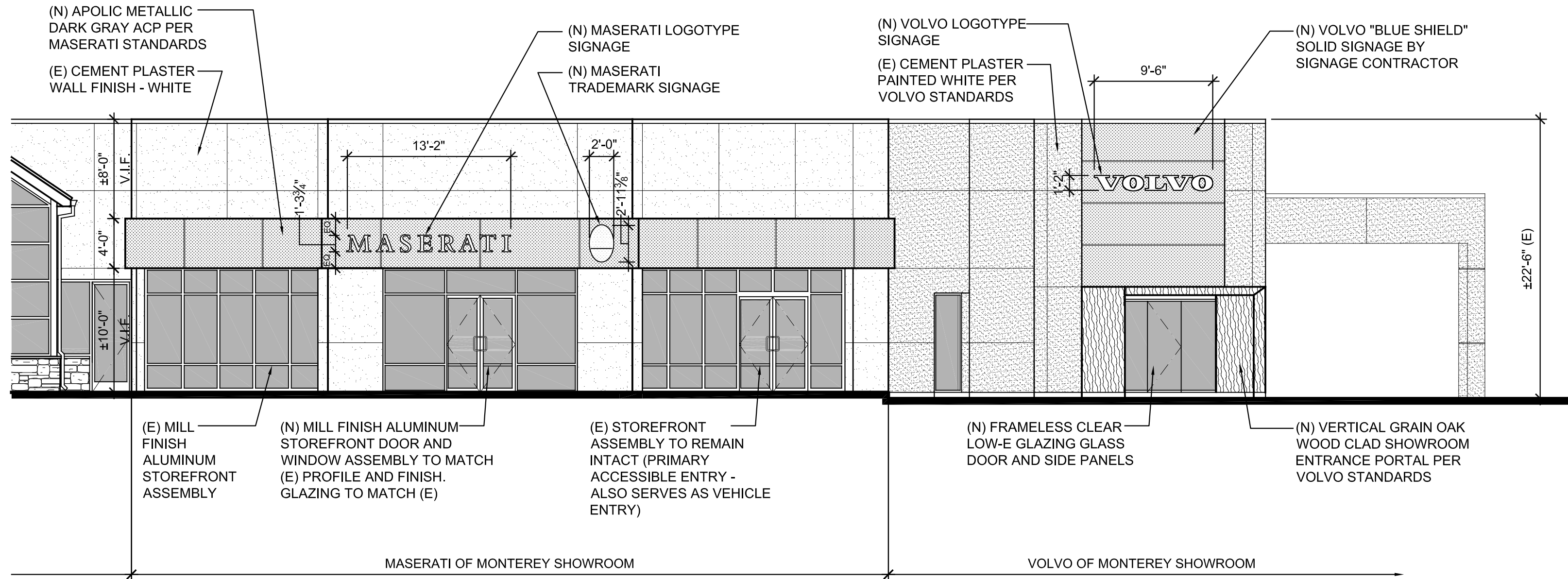
SECTION
SCALE 1:20

06
ES03.00

SIDE ELEVATION
SCALE 1:20

10
ES03.00

EXTERNAL SIGNAGE ON GLASS
OPT.1



EXTERNAL SIGNAGE

5.3.

BLUE SHIELD

The Blue Shield is a solid signage and should only be used on solid walls and never on glass facades.

The placement of the Blue Shield must start from the top of the eave. The height must be adjusted so the bottom of the shield meets the upper window frame or if there is a horizontal divider in the facade with appropriate distance to the top.

The Blue Shield can also go down to ground level in cases when the facade is low in height. And again, the size of sign should be chosen depending on the height of the building and the distance from which the sign needs to be seen.

The Blue Shield has a flat front and comes with white work mark.

Refer to Signage Catalog for further information and under what circumstances this sign is to be used.

Consists of:

- Solid metal sheet panels
- Lighting fixtures

For more information contact VRE External Signage Partner (Federal Heath).



Elevation and Plan

EXTERNAL SIGNAGE

5.4.

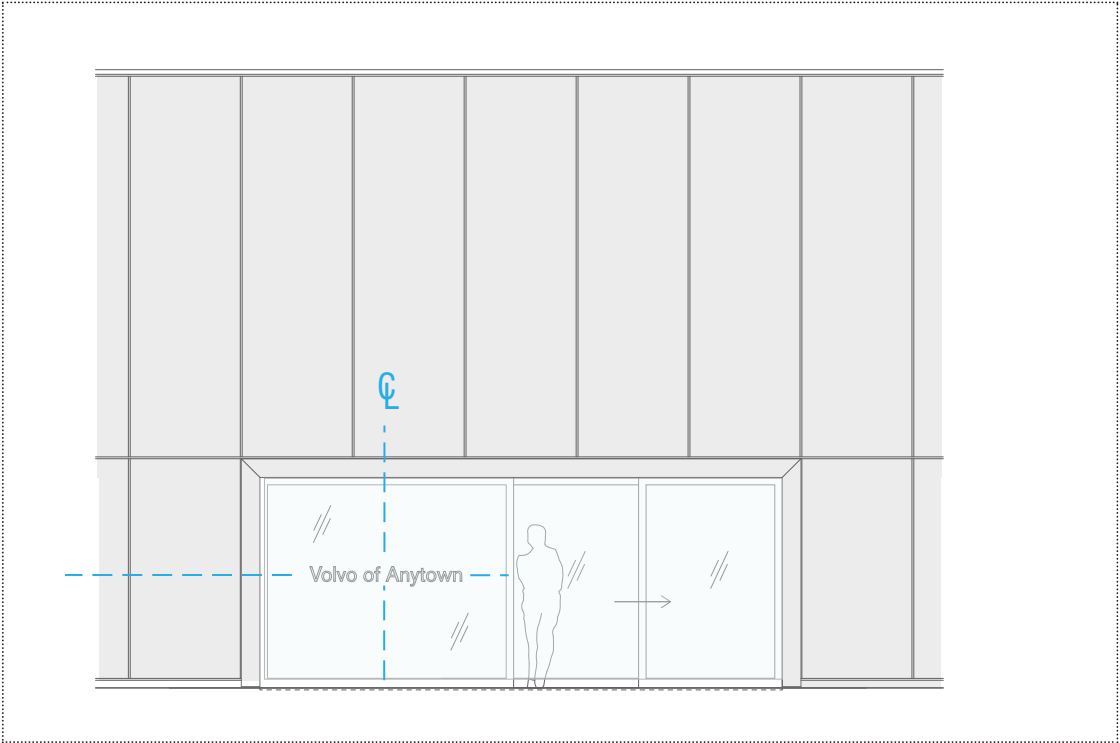
DEALER NAME
1. ON ENTRANCE GLASS
PARTITION

Your Dealer Name sign is located on the glass partition next to the Showroom Entrance door. The letters typeface is Volvo Sans and must be located on the glass partition as illustrated in the elevation.

The second option is to use white opaque film.

Consists of:

- Vinyl film letters applied to the interior surface by Vendor of Record



Elevation - Dealer Name Placement in Relation to Showroom Entrance

EXTERNAL FEATURES

5.5.

BUSINESS HOURS SIGN

The Business Hours Sign is where information about the Dealer is gathered.

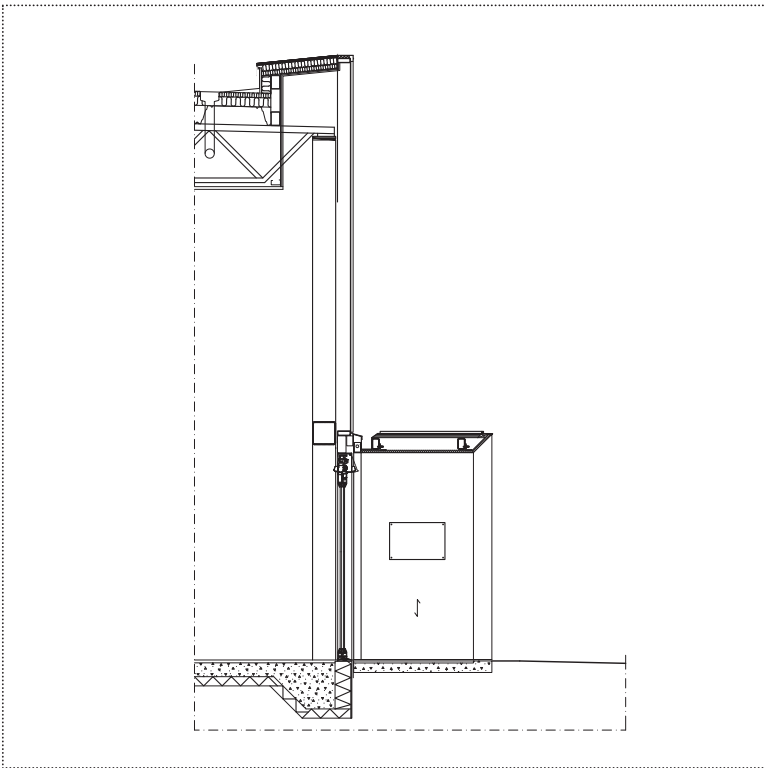
It measures 15-3/4"x 23-5/8" and is made of etched glass. It is mounted on the inside of the Showroom Entrance portal. The included Iron Mark has a high-end finish with concealed mounting. Dealership information will be shown in cropped letters on adhesive dark grey film for outdoor use and mounted on the glass front. The etched side facing outwards.

Consists of:

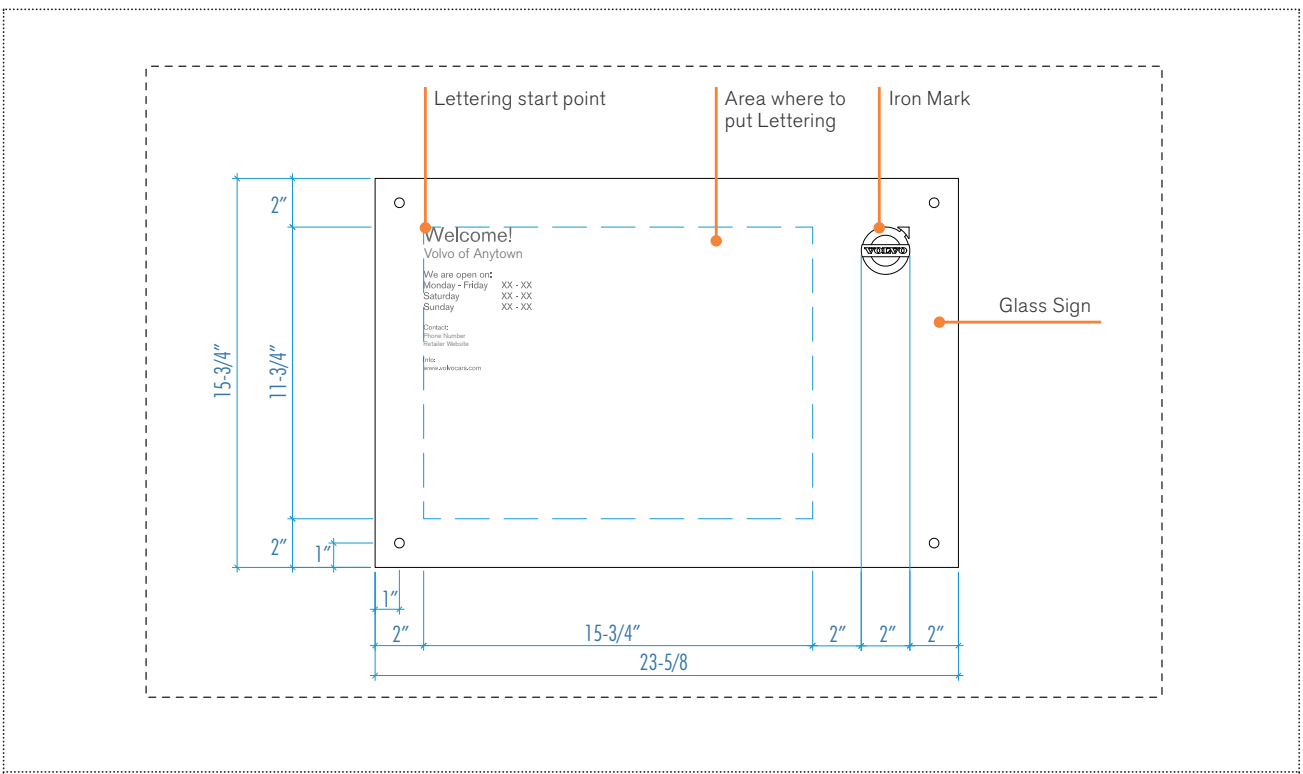
- Etched glass
- Cropped letters in film
- Dealership information
- Iron Mark



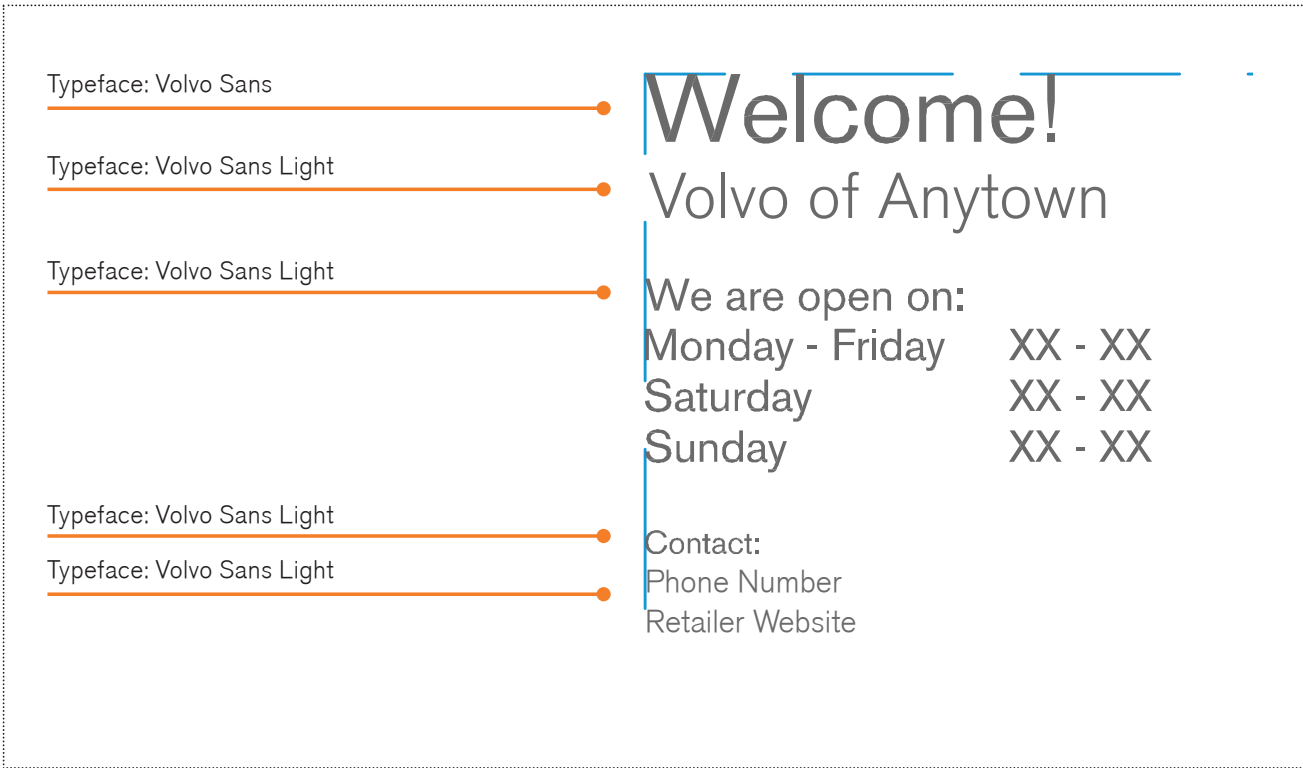
Perspective - The Business Hours Sign on the Gable to the Right by the Showroom Entrance Doors



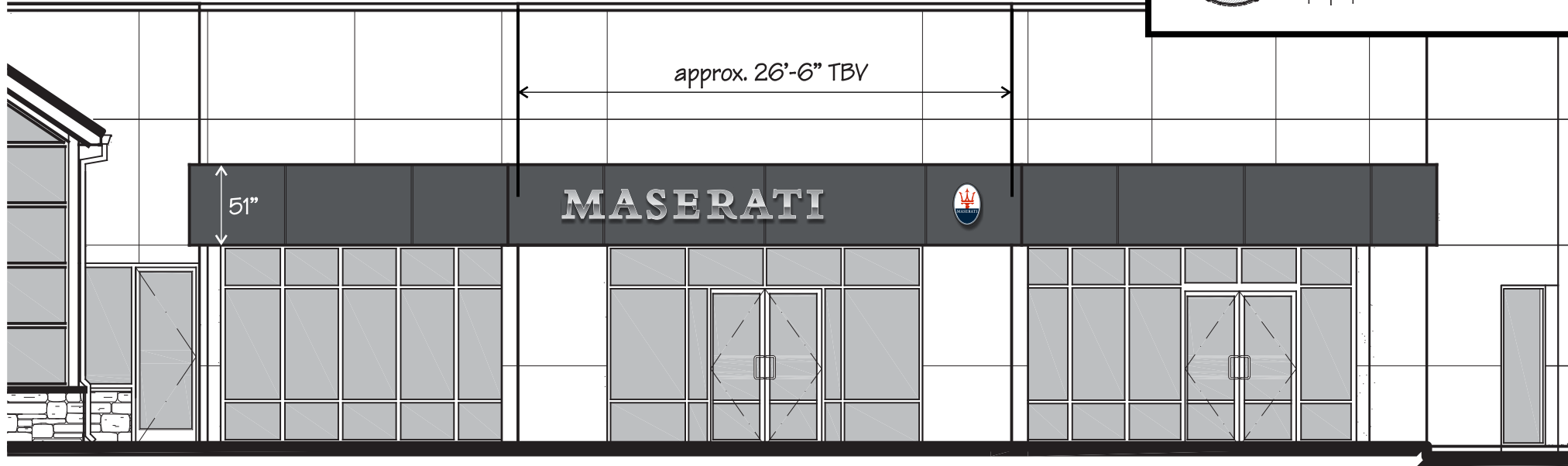
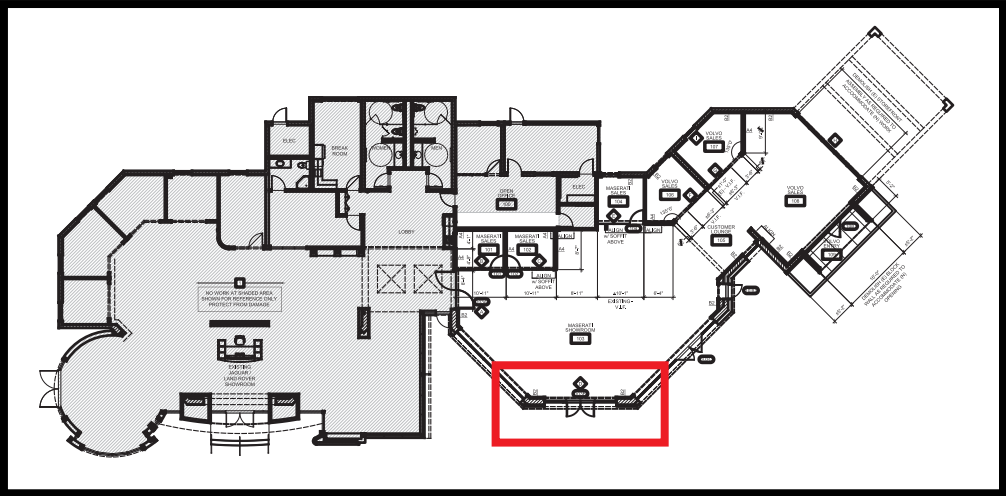
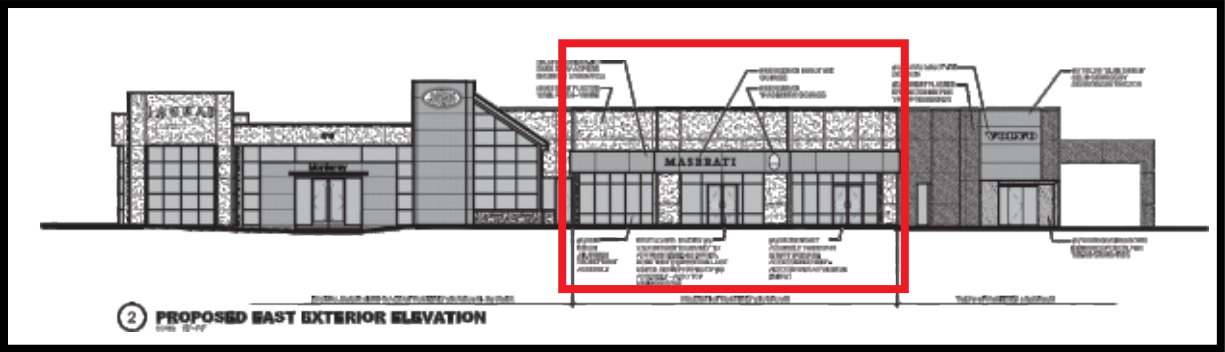
Vertical section - Showroom Entrance with Business Hours Sign



Elevation - Business Hours Sign



Lettering Layout Principle



SCALE: 1/8"=1'



SCALE: 3/8"=1'

LETTER COLORS:

- MIRROR POLISHED STEEL FACES
- WHITE RETURNS

TRADEMARK COLORS:

- PMS #485c VINYL COLOR SPEC 3M #33 RED
- PMS #289c VINYL COLOR SPEC 3M #36 DARK BLUE
- TRANS. WHITE/CLEAR ACRYLIC/70 DIFFUSER

GENERAL NOTES:

LETTERS:

- * 2" DEEP ACRYLIC LETTERS WITH MIRROR POLISHED STAINLESS STEEL FACES
- * WHITE LED INTERNALLY ILLUMINATED LETTERS WITH REMOTE POWER SUPPLY
- * 3/4" SPACERS (PAINTED COLOR OF BACKGROUND)
- TRADEMARK:**
- * 3" DEEP TRADEMARK ALUMINUM SIGN ENCLOSURE w/ACRYLIC FACE WITH VINYL GRAPHICS
- * WHITE LED ILLUMINATION WITH REMOTE POWER SUPPLY (UNLESS SPECIFIED FOR SELF-ENCLOSED)
- * 3/8" SPACERS (PAINTED COLOR OF BACKGROUND)

INSTALLATION:

- * INSTALLATION METHOD TO BE DETERMINED
- * ALL MEASUREMENTS TO BE VERIFIED

POWER REQUIREMENTS:

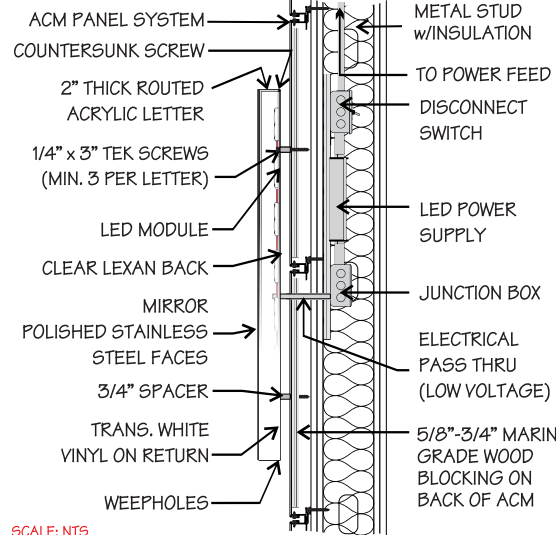
- > (1) 20 AMP-120 VOLT CIRCUITS

SIGN CALCULATIONS:

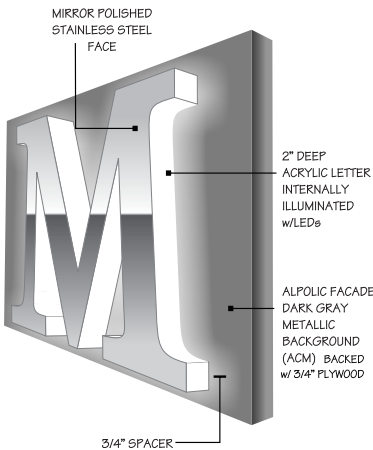
- 18" MASERATI LOGOTYPE 21 sq. ft.
- 30" TRADEMARK 4.17 sq. ft.

Total sq. ft.= 25.17 sq. ft.

ACRYLIC LETTERS

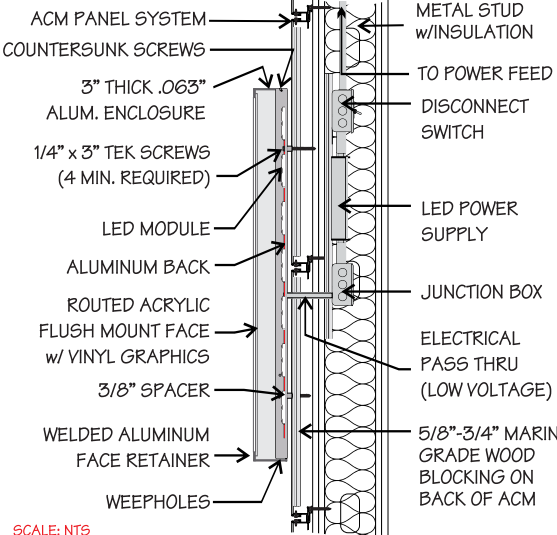


SCALE: NTS

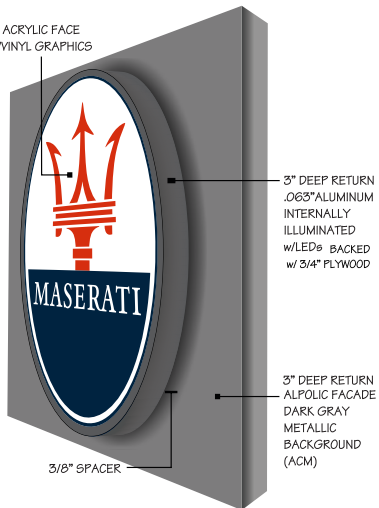


SCALE: NTS

TRADEMARK



SCALE: NTS



SCALE: NTS

CONNECTICUT

780 FOUR ROD RD.
BERLIN, CT
PHONE (860) 829-9060

MASSACHUSETTS

195 JOHN DIETSCH SQUARE
NORTH ATTLEBORO, MA
PHONE (508) 809-4638

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ARE RESERVED BY NATIONAL SIGN CORP.

CLIENT/PROJECT



LOCATION:

MONTEREY, CA

FILE NAME:

MASERATI
MONTEREY, CA

DRAWING NO.

47378-01

SCALE

SCALE AS MARKED

DRAWN BY:

DDD

DATE:

01/22/15

PROJECT MANAGER

TOM BAKER

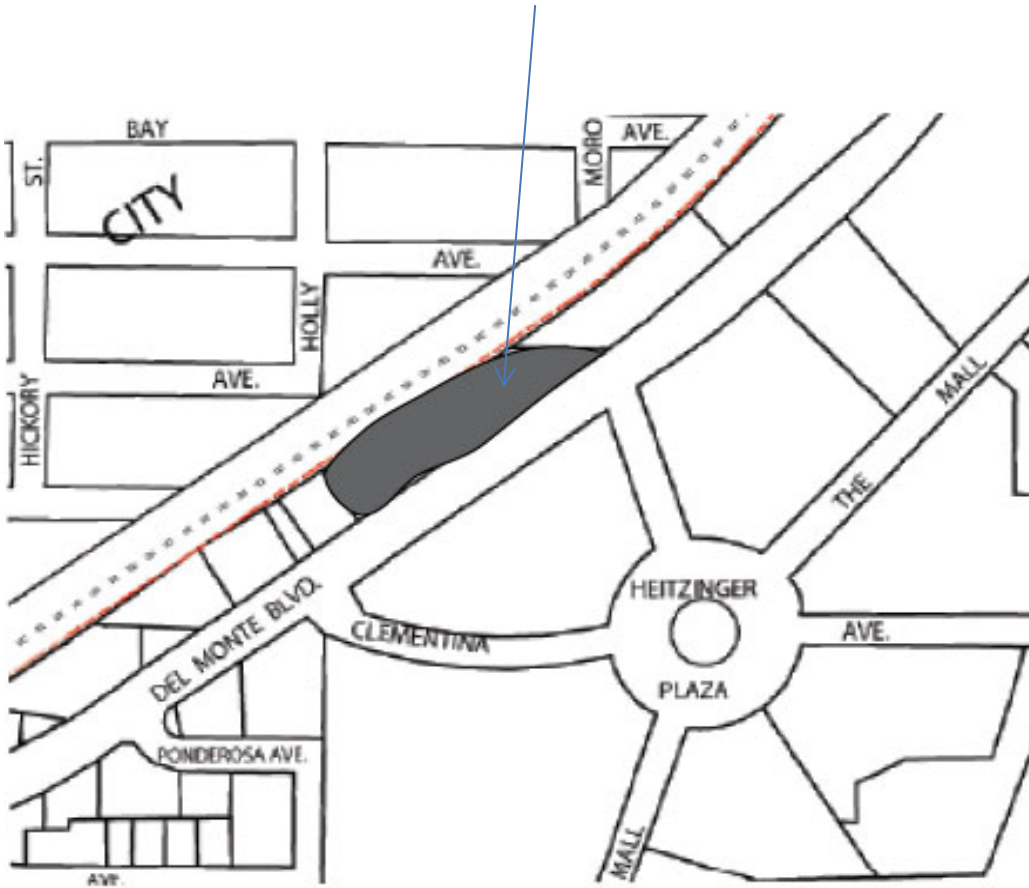
REVISIONS

REV. 1: 00/00/00

REV. 2: 00/00/00

LOCATION MAP

1711 DEL MONTE BOULEVARD



PROJECT PHOTOGRAPHS



View of Maserati/Volvo showroom from Del Monte Blvd.



View of Jaguar/Range Rover showroom from Del Monte Blvd.

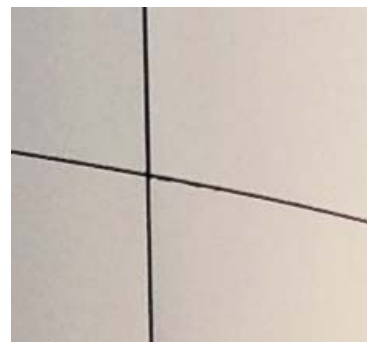










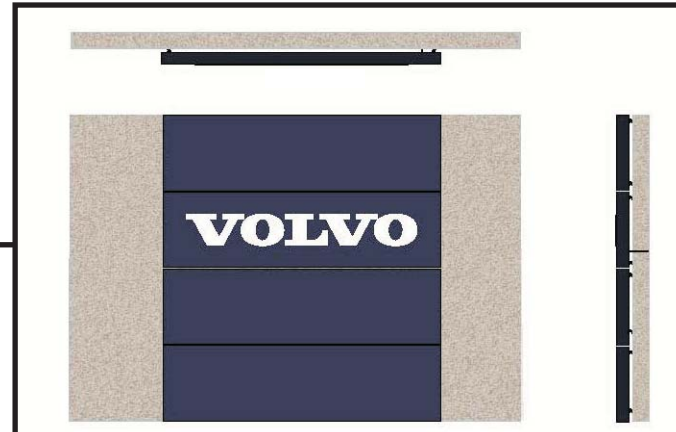


ALUMINUM COMPOSITE MATERIAL (ACM)
MFR: APOLIC
COLOR: MICA MFS GRAY
FINISH: 30% GLOSS



MASERATI ALUMINUM COMPOSITE MATERIAL (ACM) BAND IN MICA MFS GRAY w/ 30% GLOSS FINISH. MASERATI LOGOTYPE LETTERS CONTOUR SHALL BE MADE OF STAINLESS STEEL LIGHT BOX WITH CHROME FINISH. MASERATI TRADEMARK SIGNAGE SHAL BE MADE OF ALUMINUM LIGHT BOX WITH METHYL METHACRYLATE FACE AND CHARCOAL GREY EDGES RAL 7022.

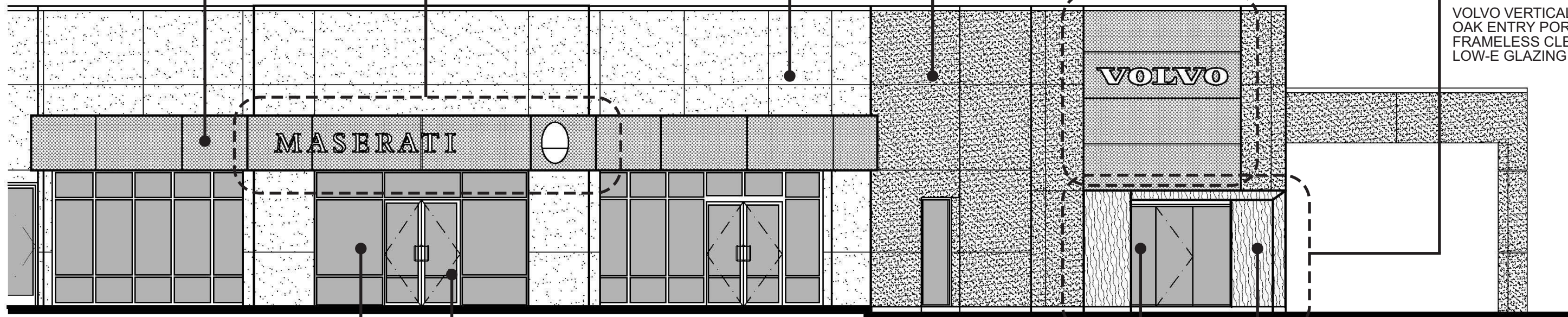
PAINTED CEMENT PLASTER
MFR: SHERWIN WILLIAMS OR EQUAL
COLOR: WHITE
FINISH: SATIN



VOLVO "EXTERIOR SHIELD" WITH VOLVO WORD MARK MODULE LED INTERNALLY ILLUMINATED PUSH THRU ACRYLIC COPY



VOLVO VERTICAL GRAIN OAK ENTRY PORTAL w/ FRAMELESS CLEAR LOW-E GLAZING



CLEAR GLAZING
MFR: PPG INDUSTRIES OR EQ.
TYPE: SOLARBAN "CLEAR"
LOW-E GLASS

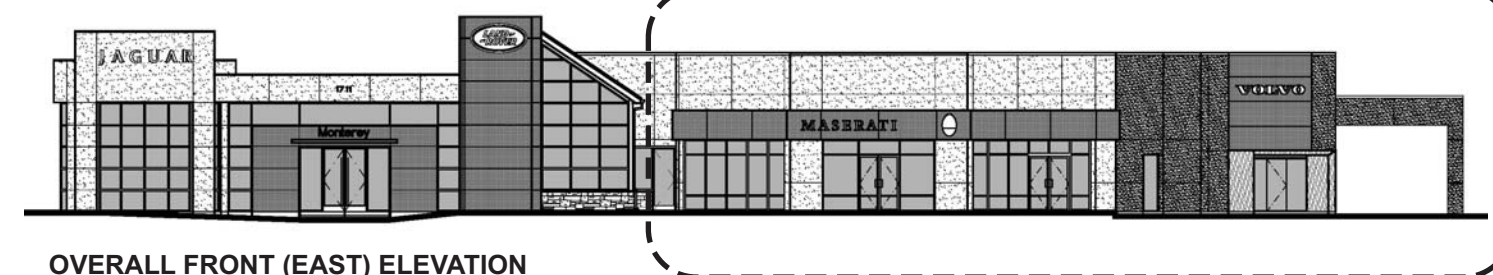
STOREFRONT ASSEMBLY
MFR: KAWNEER OR EQ.
MATERIAL: ALUMINUM
COLOR: CLEAR ANODIZED ALUMINUM (MATCH EXISTING)

CLEAR GLAZING
MFR: PPG INDUSTRIES OR EQ.
TYPE: SOLARBAN "CLEAR"
LOW-E GLASS

OAK ENTRY PORTAL
MFR: TBD
TYPE: OAK - VERTICAL GRAIN

ENLARGED PARTIAL FRONT (EAST) ELEVATION (AREA OF IMPROVEMENTS) MASERATI / VOLVO SHOWROOM REMODEL EXTERIOR COLOR / MATERIAL BOARD

1711 DEL MONTE BLVD.
SEASIDE, CA 93955



OVERALL FRONT (EAST) ELEVATION



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 4.B.

TO: Board of Architectural Review

BY: Lisa Brinton, Community and Economic Development Services Manager
Diana Ingersoll, Deputy City Manager Resource Management Services
Rick Medina, Senior Planner

DATE: March 4, 2015

SUBJECT: **Board of Architectural Review Application No. BAR-12-21. City of Seaside, Property Owner and Applicant, is requesting design review approval of a landscape plan for the planting of four shrubs at Mescal - Neil Park located in the Open Space-Recreation (OSR) Zoning District. The project is exempt Class 4, Section 15304(b) from the California Environmental Quality Act (CEQA).**

PURPOSE

In accordance with Section 17.62.030.B.3 of the Seaside Municipal Code, the City of Seaside is requesting design review approval of a landscape plan for the installation of four Polygala Myrtifolia Grandiflora shrubs at Mescal - Neil Park.

RECOMMENDATION

Staff recommends approval of the proposed landscaping plan subject to the conditions of approval provided as Attachment 1 and the project site plan provide as Exhibit "A" to Attachment 1 – Project Plans.

BACKGROUND

BACKGROUND

On February 18, 2015, the Board of Architectural Review considered a proposal by the City of Seaside to plant four Toyon trees within a circular open space area on the east side of Mescal Neil Park. The planting would be positioned around a raised concrete play structure that has been filled with dirt in 2012.

At the February 18, 2015, Ms. Charlotte Olmo, property owner at 1500 Mescal Street, stated that she had concerns with the planting of trees within the circular open space because they would block her existing views of the Monterey Bay when full grown. Ms. Olmo also stated that she had concerns regarding whether the grouping of the planting would create a security concern for persons loitering within the park area after hours. Based on these comments the Board acted to continue the hearing to the March 4, 2015 BAR meeting in order for City staff to stake and flag the location of the proposed planting so as to provide the public and the Board

SITE LOCATION AND DESCRIPTION

The site is developed with a Neighborhood Park identified as Mescal - Neil Park and is 2.22 acres in size. The park is located between Costa Street to the west and Mescal Street to the east within the 1500 block of the City. The surrounding land uses consist of single family dwellings (See Figure 1). Vicinity map is provided as Attachment 2.

Figure 1: Project Site Adjacent Land Uses

NW		N		NE	
W	Single Family Dwelling	Single Family Dwelling	Single Family Dwelling	E	
	Single Family Dwelling	Project Site	Single Family Dwelling		
	Single Family Dwelling	Single Family Dwelling	Single Family Dwelling		
SW		S		SE	

PROJECT DESCRIPTION

Based on the comments received at the February 18, 2015 BAR meeting regarding potential view blockage from the residential properties on Mescal Street to the east of the project site, the City of Seaside has modified the planting plan to replace the Toyon trees with a Polygala Myrtifolia Grandiflora shrub. The location of each shrub is designated on the project site plan provided as Attachment 1 to Exhibit "A". The shrubs would be positioned in a circular pattern approximately 6-8 feet apart from each other. The shrubs would be planted from five gallon containers. The shrubs would be hand watered by the adjoining neighbors who have coordinated with the City to take on the responsibility for this task until the shrubs become established. There is no permanent irrigation proposed with this landscape plan. At maturity, this shrub would be approximately four feet in width by five feet in height.

A picture of a mature Polygala Myrtifolia Grandiflora is provided as Attachment 3. Photographs showing the staking and flagging of the project site as seen from within the park and the adjoining neighborhood are provided as Attachment 4.

STAFF ANALYSIS

City staff finds that proposed shrubs are compatible with the Coastal environment for the

Meeting Date: March 4, 2015

Monterey Peninsula and would qualify as drought tolerant species once established. Additionally, staff finds that the purple color provided by the shrub would serve to beautify and fill a void within a large open space of the park.

The staking and flagging of the site shows that at maturity the proposed planting would not result in any blockage of views from the surrounding residential properties. The Seaside Police Department has informed City staff that the placement of the shrubs would not hinder their ability to adequately see into the park from Mescal Street or create a security issue related to loitering based on the spacing of the shrubs.

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act pursuant to Class 4, Section 15304(b): Minor Alterations to Land. A Class 4 categorical exemption consists of minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature scenic trees except for forestry and agricultural purposes.

Evidence: The proposed replanting will result in an improved condition of the environment through the installation of four (4). Furthermore, the public park is located within a heavily urbanized area of the community which does not include any designated scenic vista.

FINDINGS

1. The proposed improvements conform to good design and in general contribute to the open space character of the public open space.

Evidence: The installation of Polygala Myrtifolia Grandiflora is consistent and compatible with the active recreation uses planned for the public park and the image of the public open space.

2. The proposed improvements will not have a substantial adverse effect on neighboring properties or the community or establish an unsuitable circumstance that would be detrimental to the public health, safety or welfare.

Evidence: The proposed project will result in improving the overall character of the public open space and provide the surrounding neighborhood with a beautification of the public park that would serve to improve the quality of life and increase property values.

FISCAL IMPACT

ATTACHMENTS

Meeting Date: March 4, 2015

1. Attachment 1 - Conditions of Approval
 2. Attachment 1 - Exhibit "A" - Project Site Plan
 3. Attachment 2 - Location Map
 4. Attachment 3 - Image of Proposed Shrub
 5. Attachment 4 - Site Photographs
-

Conditions of Approval
File No. BAR-12-21
March 4, 2015

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “Mescal – Neil Park Planting Plan” stamped as received on February 27, 2014, as and approved on March 4, 2015. The planting plan shall consist of four (4) Polygala Myrtifolia Grandiflora as shown on Exhibit “A”.
2. The size of the Polygala Myrtifolia Grandiflora shrubs shall be maintained to not exceed a maximum height of six feet and width of five feet.
3. The shrubs shall be maintained to provide adequate spacing between each shrub so that visibility is maintained from Mescal Street for public safety purposes.

Standard:

1. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.54.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
2. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.54.090.C.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

5. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
6. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
7. All storm water runoff shall be contained and disposed of on site and the storm water retention system shall be reviewed and approved by the Public Works Department.
8. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
9. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
10. Water conservation fixtures shall be provided in the proposed project.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-12-21

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

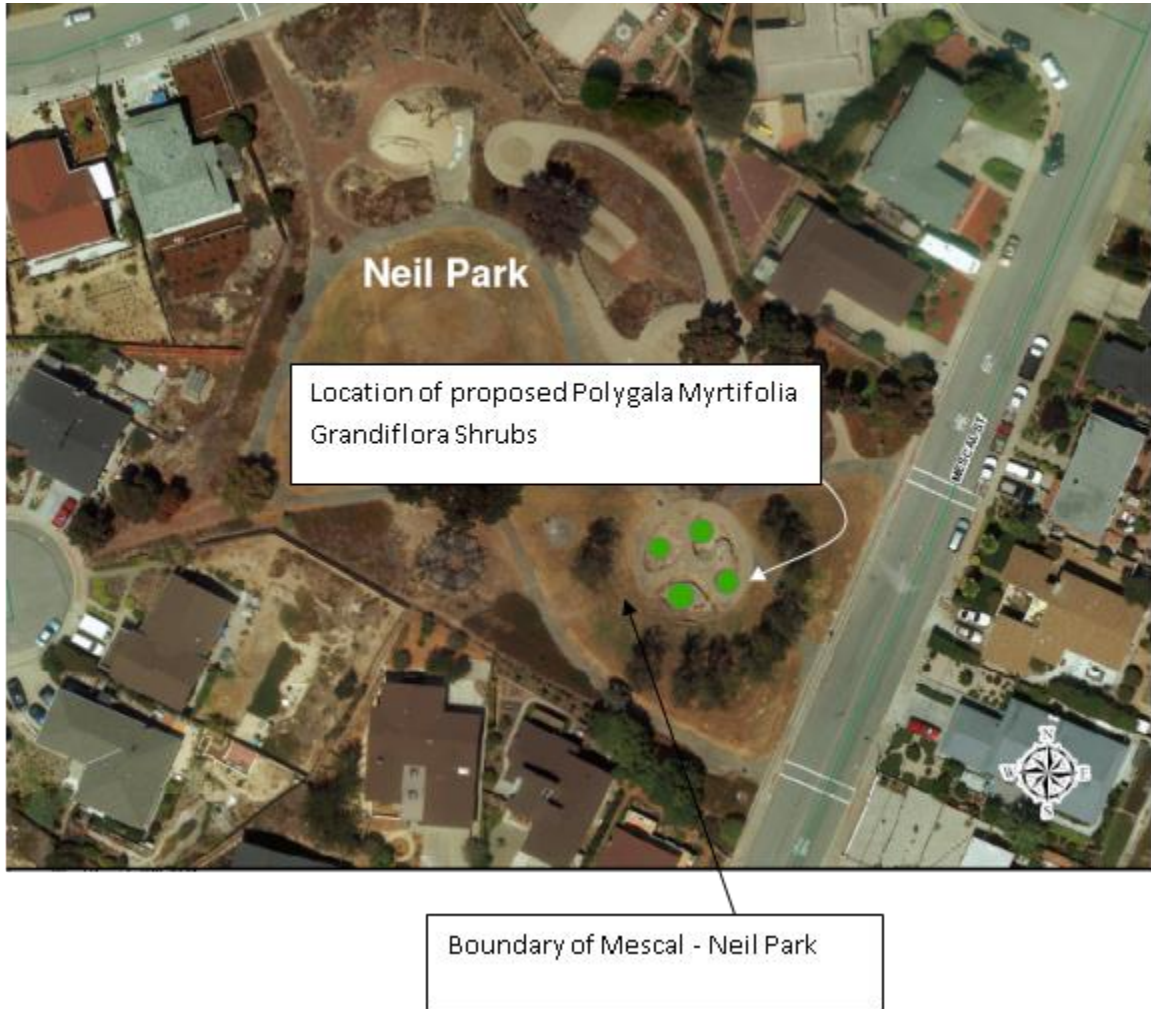
Applicant's Signature

Date

Property Owner's Signature

Date

Project Site Plan



Project Location: Mescal – Neil Park

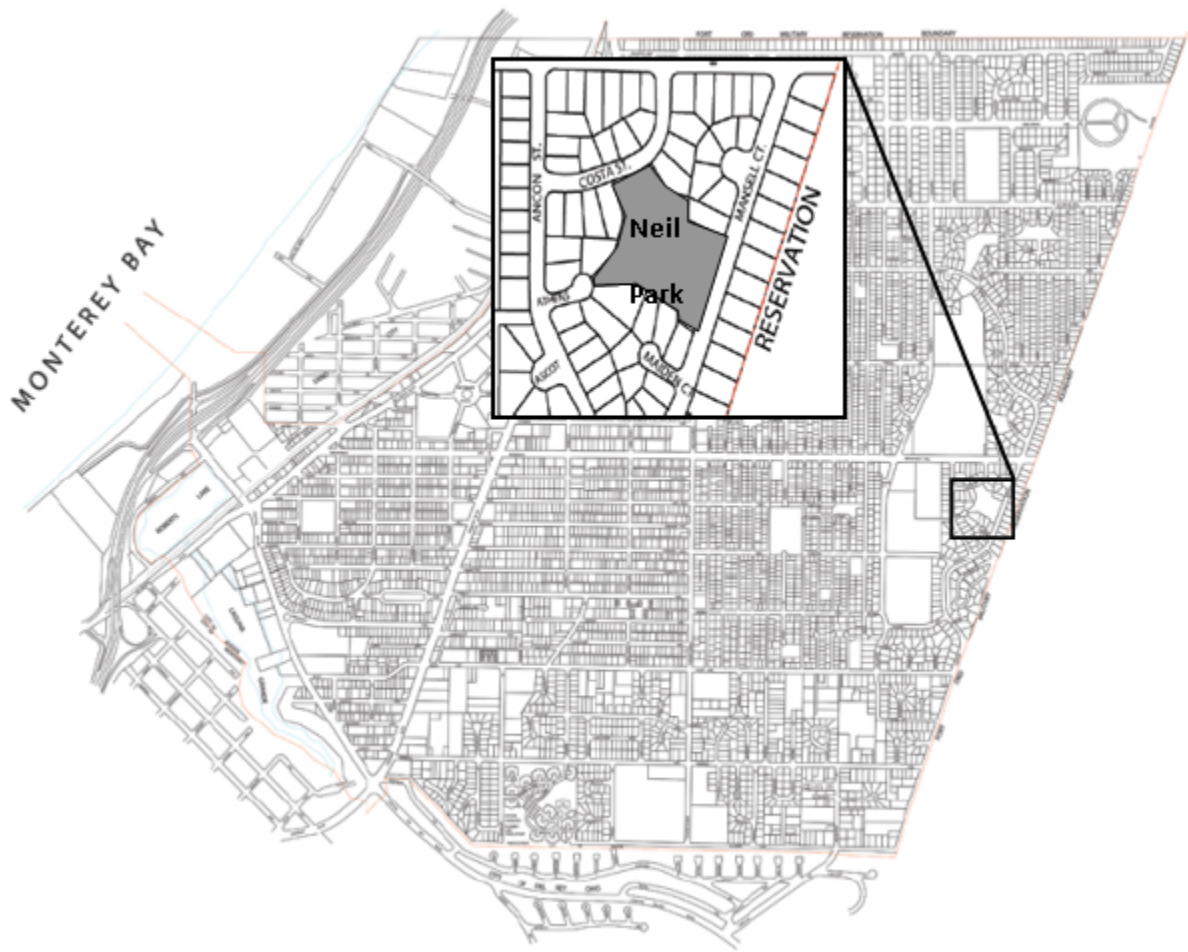


Image of Polygala Myrtifolia Grandiflora Shrub



Site Photographs



View of project site looking east



View of project site looking north



View of project site from front yard at 1500 Mescal Street looking west



View of project site from front yard at 1510 Mescal Street