



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, February 1, 2017
5:30 PM

PLEASE TURN OFF YOUR CELL PHONES UPON ENTERING THE MEETING

1. **CALL TO ORDER**

BOARD OF ARCHITECTURAL REVIEW

Toby Keller	Chair
Mitsugu Mori	Board Member
Ken Rudisill	Board Member
Kathleen Ventimiglia	Board Member
Bani Khalsa	Board Member

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

3. **REVIEW OF AGENDA**

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. **PUBLIC COMMENT**

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. **APPROVAL OF MINUTES**

A. APPROVAL OF MINUTES FROM THE JANUARY 18, 2017 REGULAR MEETING

6. **BUSINESS ITEMS**

**A. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-16-19.
DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A TWO-STORY
ADDITION TO AN EXISTING ONE-STORY SINGLE-FAMILY DWELLING
LOCATED AT 1185 SHAFER STREET IN THE RS-8 ZONING DISTRICT (APN
012-381-045). THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1,
SECTION 15301.E.2.A, FROM THE CALIFORNIA ENVIRONMENTAL
QUALITY ACT**

PURPOSE: In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code, residential design review approval is required for the construction of second story additions onto a single family dwelling.

RECOMMENDATION: Staff recommends approval of the proposed two-story addition in accordance with the Conditions of Approval provided as Attachment 1 and the project plans provided as Exhibit "A" to Attachment 1.

7. REPORTS FROM BOARD MEMBERS

8. REPORTS FROM STAFF

**A. STATUS REPORT ON THE CONSTRUCTION OF THE WEST BROADWAY
URBAN VILLAGE SPECIFIC PLAN**

PURPOSE: City Engineer will update the Board of Architectural Review and the public on the construction phasing and implementation of the West Broadway Urban Village street improvements on Broadway Avenue.

RECOMMENDATION: N/A

9. ADJOURNMENT

Next Regularly Scheduled Meeting:
February 15, 2017
Seaside City Hall
5:30 P.M.

The City of Seaside is an ADA accessible facility and is committed to include the disabled in all of its services, programs and activities. Any person who requires accommodation to be able to participate in this meeting is asked to contact the office of the City Clerk at 899-6707, no fewer than two business days prior to the meeting to allow for reasonable arrangements.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are also available.

Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Meetings are also available through live streaming at:
<http://cyp.telvue.com/player?id=T01629&video=52314&noplaylists=1&width=400&height=300> Videos of past meetings are available on demand through the City's website: <http://www.ci.seaside.ca.us>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.

FINAL MINUTES

CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
COUNCIL CHAMBER
Wednesday, January 18, 2017
5:30 PM

1. **CALL TO ORDER**

The meeting was called to order at 5:31 p.m.

BOARD OF ARCHITECTURAL REVIEW

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

Present: Keller, Mori, Ventimiglia, Khalsa, Rudisill

3. **REVIEW OF AGENDA**

No changes were requested.

4. **PUBLIC COMMENT**

There were no comments from the public.

5. **APPROVAL OF MINUTES**

A. **APPROVAL OF MINUTES FROM THE DECEMBER 7, 2016 REGULAR MEETING**

On motion by Board member Rudisill and seconded by Board member Mori and passed by the following vote the Board of Architectural Review approved the minutes from the December 7, 2016 Regular meeting with the changes requested by the Board.

RESULT: **Approved**

MOVER: Board Member Ken Rudisill

SECONDER: Board Member Mitsugu Mori

AYES: Ken Rudisill, Kathleen Ventimiglia, Mitsugu Mori, Toby Keller,
Bani Khalsa

NOES:

ABSENT:

6. **BUSINESS ITEMS**

A. **Board of Architectural Review Application No. BAR-16-09. Design review approval for the construction of a second story addition to an existing one-story single family residence located at 2090 Mariposa Street in the Single Family Residential (RS-8) Zoning District (APN 011-055-024). This project is Categorically Exempt Class 1, Section 15301.e.2.A, Existing Facilities, from the California Environmental Quality Act.**

Staff report presented by Associate Planner, Bob Larsen. Application was represented by Robert Mandurrango, applicant and owner was also present. Mr. Larsen provided an overview of the project proposal which consist of construction of a second story addition to the existing single family residence and that this was a continued hearing from December 7, 2016.. Mr. Larsen presented the existing and revised site plans, existing floor plan and elevations, revised floor plan, original floor plan, original elevations, revised elevations, revised roof plan and sections, site photographs, light fixtures, exterior colors, garage door, retaining wall engineer's letter, windows, and staff recommendation. Mr. Mandurrango, applicant was asked by Chair Keller to come forward for additional information and to answer questions from the Board. Chair Keller opened it to the public for comment. Mr. Lew Moski, who lives behind the house, expressed his concerns in regard to how the addition would block his view of Monterey Bay and lower the value of his house. Chair Keller asked if he had any issue or concern with the aesthetic part of the design which Mr. Moski stated that he does not know at this point. Board member Rudisill said that this is not the forum to discuss his concerns about the view that this is the forum to discuss the architectural design and the other concerns need to be brought up at a different forum (Planning Commission). Rob Carswell also expressed his concerns about the addition and how it affects their view and how it will affect their privacy. The applicant also spoke and wanted to point out that there are other neighbors who have decks and also look over their backyard. Patty Hubble, owner spoke and addressed the privacy issue and neighbors' concerns. Alex Carswell, who lives next to the proposed project, spoke in regards to his concern which is his privacy and issue with the deck and his backyard being in direct view from the deck. Chair Keller closed public comment and brought back to the Board. Board member Rudisill spoke in regards to the publics concerns and said that it has nothing to do with the design and since he did not hear anything in regards to the architectural design itself he has no issue approving the project if everything requested by the Board in regards to revisions was addressed and the changes were made. Chair Keller confirmed that everything requested by the Board was addressed. Board discussed among themselves. Chair Keller noted that an appeal of the Board action can be made within 7 calendar days of approval to the Planning Commission.

On motion by Board member Rudisill and seconded by Board member Mori and passed by the following vote the Board of Architectural Review approved second story addition.

RESULT:	Approved
MOVER:	Board Member Ken Rudisill
SECONDER:	Board Member Mitsugu Mori
AYES:	Ken Rudisill, Kathleen Ventimiglia, Mitsugu Mori, Toby Keller, Bani Khalsa
NOES:	
ABSENT:	

7. **REPORTS FROM BOARD MEMBERS**

Board member Ventimiglia reminded staff about having the Public Works at the next meeting to discuss timing and construction of the West Broadway Specific Plan Implementation street improvements.

8. **REPORTS FROM STAFF**

Mr. Medina announced that a schedule of the next task force meeting will be emailed to the Board. And that he will have the City Engineer, Mr. Rick Riedl at the next meeting to give the Board an update on the West Broadway Specific Plan Street Improvements.

9. ADJOURNMENT

On motion, the meeting was adjourned at 6:17 p.m.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Toby Keller, Chair



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.A.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner

DATE: February 1, 2017

SUBJECT: BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-16-19. DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF A TWO-STORY ADDITION TO AN EXISTING ONE-STORY SINGLE-FAMILY DWELLING LOCATED AT 1185 SHAFER STREET IN THE RS-8 ZONING DISTRICT (APN 012-381-045). THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.2.A, FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

PURPOSE

In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code, residential design review approval is required for the construction of second story additions onto a single family dwelling.

RECOMMENDATION

Staff recommends approval of the proposed two-story addition in accordance with the Conditions of Approval provided as Attachment 1 and the project plans provided as Exhibit "A" to Attachment 1.

BACKGROUND

The subject property is currently developed with a one-story 1,147 square-foot single family dwelling, a detached one-story 420 accessory dwelling unit, and a detached 364 square-foot garage. The existing dwelling contains three bedrooms and one bath. The applicant is proposing to construct a 651-square foot two-story addition which will consist of a 357 square-foot great room on the first floor and a 294 square-foot bedroom with a second bathroom room on the new second floor. The total floor area of the dwelling with the new addition would be 1,798 square feet. The maximum height of the proposed addition to the garage slab will be 21 feet. The maximum height allowed in the RS-8 zoning district is 24 feet. Proposed addition will comply with the following setback, height, lot coverage, and off-street parking standards:

<u>Setback</u>	<u>Proposed</u>	<u>Required</u>
Front	No Change	15 feet (Existing dwelling is at 19 feet)

Side Rear	22 feet on south side and 7 feet on north side 31 feet	5 feet on each side 15 feet 15 feet
Height	21 feet	24 feet maximum height limit
Lot Coverage	63%	68%
Parking	No change	One covered parking space and one uncovered parking space.

No changes or modifications will be made to the existing detached accessory dwelling unit or detached garage.

SITE LOCATION AND DESCRIPTION

The existing property consists of the relatively flat, rectangular lot totaling 6,360 square feet in area (60 feet wide by 106 feet deep). See Attachment 2 for a Location Map. The adjoining parcels are developed with one –story single family residences. See Figure 1 for Adjacent Land Uses. Site photographs are provided as Attachment 3.

Figure 1: Project Site Adjacent Land Uses				
NW	N			NE
W	Single-Family Residential	Single-Family Residential	Single-Family Residential	
	Single-Family Residential	Project Site	Single-Family Residential	E
	Single-Family Residential	Single-Family Residential	Single-Family Residential	
SW		S		SE

PROJECT DESCRIPTION

The proposed design will consist of the following improvements:

Removal of existing brick wainscot on first floor elevation to be replaced with a stucco finish; and

Installation of tongue and groove board horizontal siding on the new second story to match existing horizontal siding located above existing brick wainscot on the first floor; and

Installation of new white vinyl windows with divided light mullions and 2x white trim to match existing divided light windows on first floor. Three existing non-divided light windows on the north and south side of the dwelling will remain; and

Composition single Class A roof with a hip 12/3 pitch design to match existing roof material and hip roof design; and

Second story Redwood deck with 42-inch railings cantilevered four feet from the south elevation (See Sheet 04 for deck and deck railing detail)

Installation of wall mounted light fixture located at the front and rear entry doors of the house and at the entry door of the second storydeck.

STAFF ANALYSIS

The surrounding structures consist primarily of older one-story, single family residential units constructed in the late 1950's to early 1960's. This neighborhood is comprised of various floor plans and elevations that utilize floor plans and elevations unique to each site. The design of the proposed addition offers a building design that maintains the existing California ranch style building style and incorporates varying building setbacks and a second story addition that is in proportion to the existing dwelling and other houses in the neighborhood.

Design Criteria

Seaside Zoning Code Section 17.62.030.E.1 states that Architectural Review approval shall consider the character, quality, scale of design, architectural relationships with the site, building materials, lighting, and other applicable aspects of the design. The proposed plans present a match with the existing house and will create its own character while respecting the scale and materials of the neighborhood.

The City of Seaside Single Family, Residential Design Guidelines (SFRDG) are to assist staff, the public, and decision-makers through the architectural review process. The BAR will utilize the design guidelines in their review of the project. This project complies with the SFRDG through the following design elements:

I.A.iii.

Policy: Entry walkways should extend to the sidewalk, rather than the driveway.

Evidence: *The applicant will continue to maintain an existing walkway system parallel to the driveway from the entry to the sidewalk.*

II.A.i.

Policy: The physical size and mass of the project should be proportional to the lot size.

Evidence: *The proposed Floor Area Ratio (FAR) is 32.2%. The allowed FAR is 45%*

II.A.iii.

Policy: Architectural elements should be designed to eliminate the appearance of box

like buildings.

Evidence: *The proposed second story addition will be located over the new first floor addition to the rear and will have a 12/3 hip roof to match the existing structure. The positioning of the addition approximately 40 feet from the front façade combined with the modulations of the east façade of the second story addition, the balcony projection on the south side, and the roof line projections between the first and second floor on the north side and rear west elevations will eliminate a box-like appearance and provide visual interest on all four sides.*

II.B.ii.a.

Policy: A second story addition should fit the existing architectural style.

Evidence: *The architectural style is reinforced by the use of a consistent hip roof, divided light windows, and Horizontal siding on the new second floor to reinforce the consistency of the architectural design between the first and second floor.*

II.C.i&ii.

Policy: The second story front setback should average 5 feet more than the first floor setback; the second story side setback should average 3 feet more than the first floor setback

Evidence: *The second story element will be set back 40 feet from the front façade, two feet from the south side, and four feet from the north side. The proposed offsets are consistent with the requested building off-sets and will provide visual interest from all four sides.*

III.A.iv.

Policy: The exterior treatment and overall design of additions to existing homes should respect the features of the original structure.

Evidence *The proposed addition will continue with the California Ranch style design and materials (e.g. Doors, Siding, and Windows) of the original structure.*

III.A.v.

Policy: To the extent feasible, the architectural character established for the street facing elevations should continue on all elevations.

Evidence: *The street facing elevations continue on all four elevations.*

III.A.viii.

Policy: The boundary between each floor of the dwelling structure should be delineated through cornice lines, balconies, or similar architectural detailing.

Evidence: *The boundary between the first and second floor will be delineated with roof projections on the north side elevation and western rear elevation and with a cantilevered balcony on the south side elevation.*

III.D.i.

Policy: Consistent and harmonious use of high quality, durable materials is encouraged

Evidence: *The applicant is proposing the use of stucco, horizontal tongue and groove wood siding, wood fascia, and vinyl windows.*

FINDINGS

1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of the Zoning Ordinance and the Municipal Code;
Evidence: *The proposed addition complies with all applicable standards of development and provisions of the Zoning Ordinance and the Municipal Code. This Design Review Permit will allow the addition of a 651 square-foot two story addition to an existing one-story single family dwelling.*
2. The proposed use is consistent with the General Plan and any applicable specific plan;
Evidence: *The project site is designated as Low Density Single-Family Residential (RLS) in the General Plan Land Use Element. This designation is applied to areas with existing detached single-family dwellings with a maximum density of 8 dwelling units per acre. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use Goal and Policy:*
 - **Goal LU-4** – Ensure that new development compliments existing land uses and enhances the character of the community and its neighbors.
 - **Policy LU-4.1** – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.**Evidence:** *The project proposal is compatible with the surrounding low density single family residential land uses. The construction of a two--story addition to an existing one-story single-family residence will not detract from the character of the neighborhood due to the design of the addition, use of materials, and available infrastructure. The proposed addition will comply with all standards of development associated with the RS-8 zoning district.*
Evidence: *The applicant has incorporated design features and architectural rhythms of the existing structure to have a contextual relationship with the existing neighborhood. As a result of the location of the second story addition to the single family dwelling, the residence has been designed to respect the existing residential patterns and scale in the neighborhood.*
4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.
Evidence: *The site is an existing residence in the RS-8 zoning district. Access would be provided from Mariposa Street by a two car driveway. Extension of public utilities is not required for the proposed project. The completion of a second-story addition will not alter the location of existing utilities or access from the public right-of-way.*
5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.
Evidence: *The City of Seaside's Fire Department, Building Department and Public Works Department have reviewed the conceptual project proposal. The Fire Department, Building Department and Public Works Department had general comments that are included as conditions of approval.*

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301.e.2.A, Existing Facilities: Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet if the area in which the project is located is not environmentally sensitive.

Evidence: *The proposed addition to the existing structure is less than 10,000 square feet and is not located in an environmentally sensitive area.*

FISCAL IMPACT

ATTACHMENTS

1. Attachment 1 - Conditions of Approval
 2. Attachment 1 - Exhibit A Project Plans and Materials
 3. Attachment 2 - Location Map
 4. Attachment 3 - Site Photos
-

Conditions of Approval
File No. BAR-16-19
February 1, 2017

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as "Early Development Services." stamped as received on "January 12, 2017" and approved on February 1, 2017. The project plans are attached as Exhibit "A".

Building:

2. The applicant shall comply with the 2013 California Building Code.

Fire Department:

3. Applicant shall comply with the 2013 Fire Department Code.

Standard:

4. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
5. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.54.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
6. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.54.090.C.
7. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
8. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.

9. The installation of new water fixtures and landscape irrigation equipment water fixtures for the proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District. Based on the existence of an Accessory Dwelling Unit on the parcel, the second bathroom protocol ordinance would not be available. The applicant must secure water credits from on-site retrofitting of existing water fixtures within the main dwelling unit and the accessory dwelling unit in order to be able to obtain a water permit for the proposed second bathroom and bar sink in the two-story addition of the main dwelling unit.
10. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
11. Water conservation fixtures shall be provided in the proposed project.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-16-19

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant's Signature

Date

Property Owner's Signature

Date

1185 SHAFER STREET SEASIDE, CALIFORNIA



1185 Shafer Street
Seaside, California
APN: 012-381-045-000

REVISIONS:

1 PLANNER COMMENTS
REVISED 01/11/17

1 PLANNER COMMENTS
REVISED 01/11/17

Project shall comply with the 2013 California Building Code, California Residential Code, California Green Building Standards, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code.

6890 SF	LOT SIZE
1147 SF	EXISTING RESIDENCE
420 SF	EXISTING ACCESSORY UNIT
396 SF	EXISTING GARAGE (NOT COUNTED IN FAR)
1567 SF	TOTAL EXISTING LIVING AREA
22.7%	EXISTING FLOOR AREA RATIO (1567 SF / 6890 SF)
1567 SF	EXISTING LIVING AREA
651 SF	ADDITIONS TO EXISTING RESIDENCE
2218 SF	PROPOSED TOTAL LIVING SPACE (1567 + 651)
33.2%	PROPOSED FLOOR AREA RATIO (2218 SF / 6890 SF)
128 SF	AREA OF REMODEL (HALLWAY AND PORCH)
48 SF	NEW CANTILEVERED PERMEABLE WOOD DECK
53 SF	NEW PERMEABLE PAVER PATIO

1931 SF	EXISTING BUILDING FOOTPRINTS
2818 SF	EXISTING IMPERMEABLE COVERAGE
4749 SF	TOTAL EXISTING IMPERMEABLE COVERAGE
66.9%	EXISTING IMPERMEABLE COVERAGE PERCENTAGE
827 SF	DEMO IMPERMEABLE COVERAGE
2327 SF	PROPOSED BUILDING FOOTPRINTS
2036 SF	PROPOSED IMPERMEABLE COVERAGE
4363 SF	TOTAL PROPOSED IMPERMEABLE COVERAGE
63.3%	PROPOSED IMPERMEABLE COVERAGE PERCENTAGE

OWNER JOSE FERNANDEZ

DESIGNER Steven C. Krebs & Erin C. Rose
KREBS DESIGN GROUP LLC
PO Box 223325 Carmel, CA 93922
T: (831) 626-8082
www.krebsdesigngroup.com
E: steven@krebsdesigngroup.com

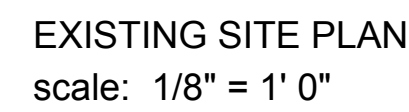
Code, California Energy Code.

PROJECT SITE: -
1185 Shafer Street
Seaside, California

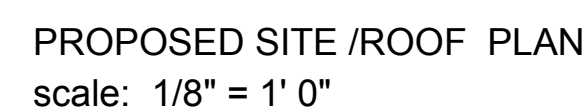
01 PROJECT DATA, (E) SITE PLAN, (P) ROOF PLAN
02 EXISTING & PROPOSED FLOOR PLANS
03 & 04 EXISTING & PROPOSED ELEVATIONS, DECK SECTION

Steven C. Krebs - Principal KDG Date _____
© 2017 KREBS DESIGN GROUP, LLC
ALL RIGHTS RESERVED

01



NO CHANGE TO EXISTING LANDSCAPING PLANTINGS, TREES OR LIGHTING.
ONLY CHANGE IS ADDITION OF PERMEABLE PAVER PATIO AT ADDITION
AND CONVERSION OF IMPERMEABLE CONCRETE PATIO TO SOIL/MULCH
NO IRRIGATION SYSTEM IN USE
ALL EXISTING LANDSCAPING IS DROUGHT RESISTANT



The Designer's Drawings, Specifications Or Other Documents Shall Not Be Used By the Owner Or Others Except By Agreement in Writing And With Appropriate Compensation To The Designer.

DEMOLITION GENERAL NOTES

1. CONTRACTOR TO REMOVE ABANDONED H.V.A.C. EQUIPMENT, DUCTWORK, ELECTRICAL AND PLUMBING LINES, IF ENCOUNTERED. CAP AND IDENTIFY EXPOSED UTILITIES. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION.NOTIFY LANDLORD AND THE AFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
2. CONTRACTOR TO REMOVE ALL ABANDONED ELECTRICAL WIRE AND CONDUIT BACK TO PANEL AND ALL ABANDONED COMMUNICATION WIRE AND CONDUIT BACK TO NEAREST JUNCTION BOX.
3. THE DESIGNER HAS NO KNOWLEDGE OF AND SHALL NOT BE LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE JOB SITE. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ISOLATE THE AFFECTED AREA AND CONTACT THE LANDLORD FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
4. CONTRACTOR TO COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
5. DO NOT INTERFERE WITH USE OF TENANT AREAS AND ADJACENT BUILDINGS. MAINTAIN FREE AND SAFE PASSAGE TO SUCH AREAS.
6. CONTRACTOR TO ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FUMES, SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
7. CONTRACTOR TO REPAIR ALL DEMOLITION PERFORMED, IN EXCESS OF THAT REQUIRED, AT NO COST TO THE OWNER.
8. CONTRACTOR TO REMOVE FROM SITE, AND LEGALLY DISPOSE OF DAILY, ALL REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF DEBRIS ON SITE SHALL NOT BE PERMITTED.
9. CONTRACTOR TO REMOVE TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE CONTRACT AREAS AND SITE CLEAN, ORDERLY AND IN A CONDITION ACCEPTABLE FOR NEW OR OTHER CONSTRUCTION.
10. CONTRACTOR TO NOTIFY OWNER OF ANY INTENDED CORING OR TRENCHING OF THE FLOOR SLAB OR OTHER STRUCTURAL MEMBERS.

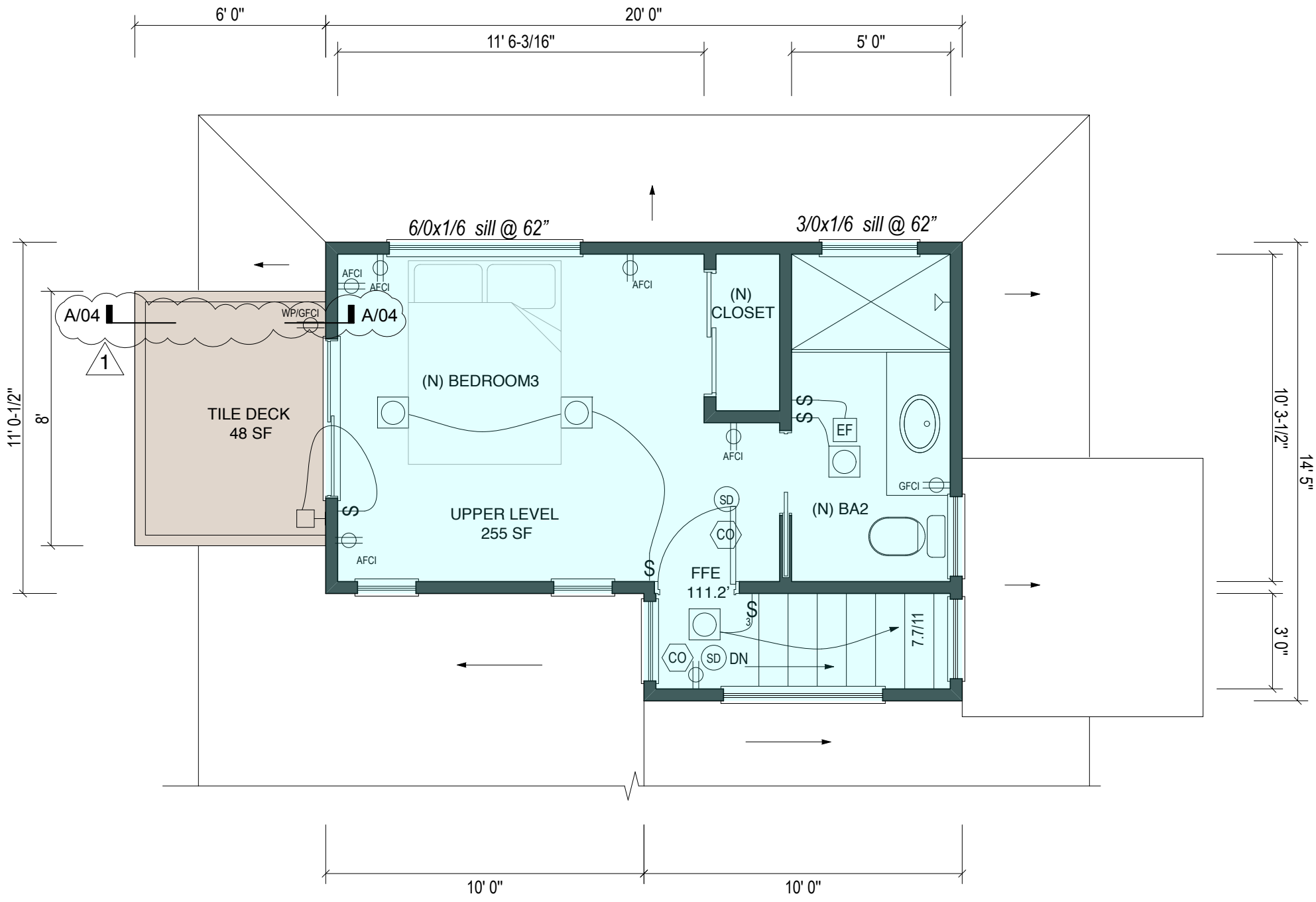
DEMOLITION NOTES

NOTES IN THIS SECTION ARE SPECIFIC TO THIS PROJECT

1. Contractor to remove doors and exterior lighting fixtures for re-use during addition phase. Doors and light fixturesto be stored in manner which protects them from damage or breakage.

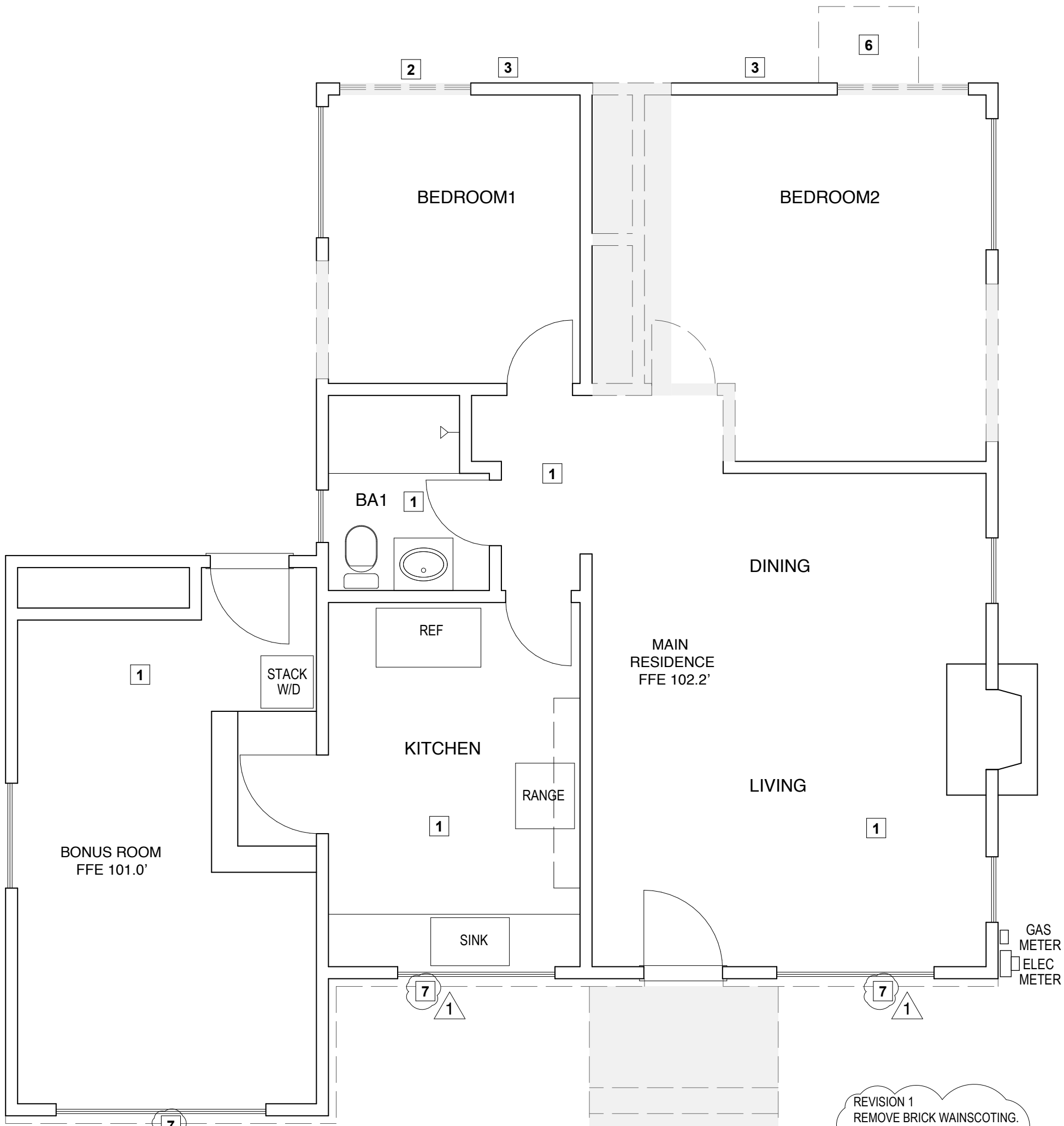
EXTERIOR LIGHTING NOTES

1. ALL EXTERIOR LIGHTING ATTACHED TO THE MAIN BUILDING OR ANY ACCESSORY BUILDING SHALL BE NO HIGHER THAN 10 FEET ABOVE THE GROUND, AND MUST BE DOWNLIGHTING, AND MUST NOT EXCEED 25 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 375 LUMENS) IN POWER PER FIXTURE.
2. LANDSCAPE LIGHTING SHALL NOT EXCEED 18 INCHES ABOVE THE GROUND NOR MORE THAN 15 WATTS (INCANDESCENT EQUIVALENT; I.E., APPROXIMATELY 225 LUMENS) PER FIXTURE AND SHALL BE SPACED NO CLOSER THAN 10 FEET APART. LANDSCAPE LIGHTING SHALL NOT BE USED FOR TREE, WALL, FENCE OR ACCENT LIGHTING OF ANY TYPE. THE PURPOSE OF LANDSCAPE LIGHTING IS TO SAFELY ILLUMINATE WALKWAYS AND ENTRANCES TO THE SUBJECT PROPERTY.
3. NO EXTERIOR LIGHTING WILL BE DIRECTED TOWARD MUNICIPAL PROPERTY.
4. FLOOD-TYPE LIGHTING WILL NOT BE USED.



PROPOSED UPPER FLOOR PLAN
scale: 1/4" = 1' 0"

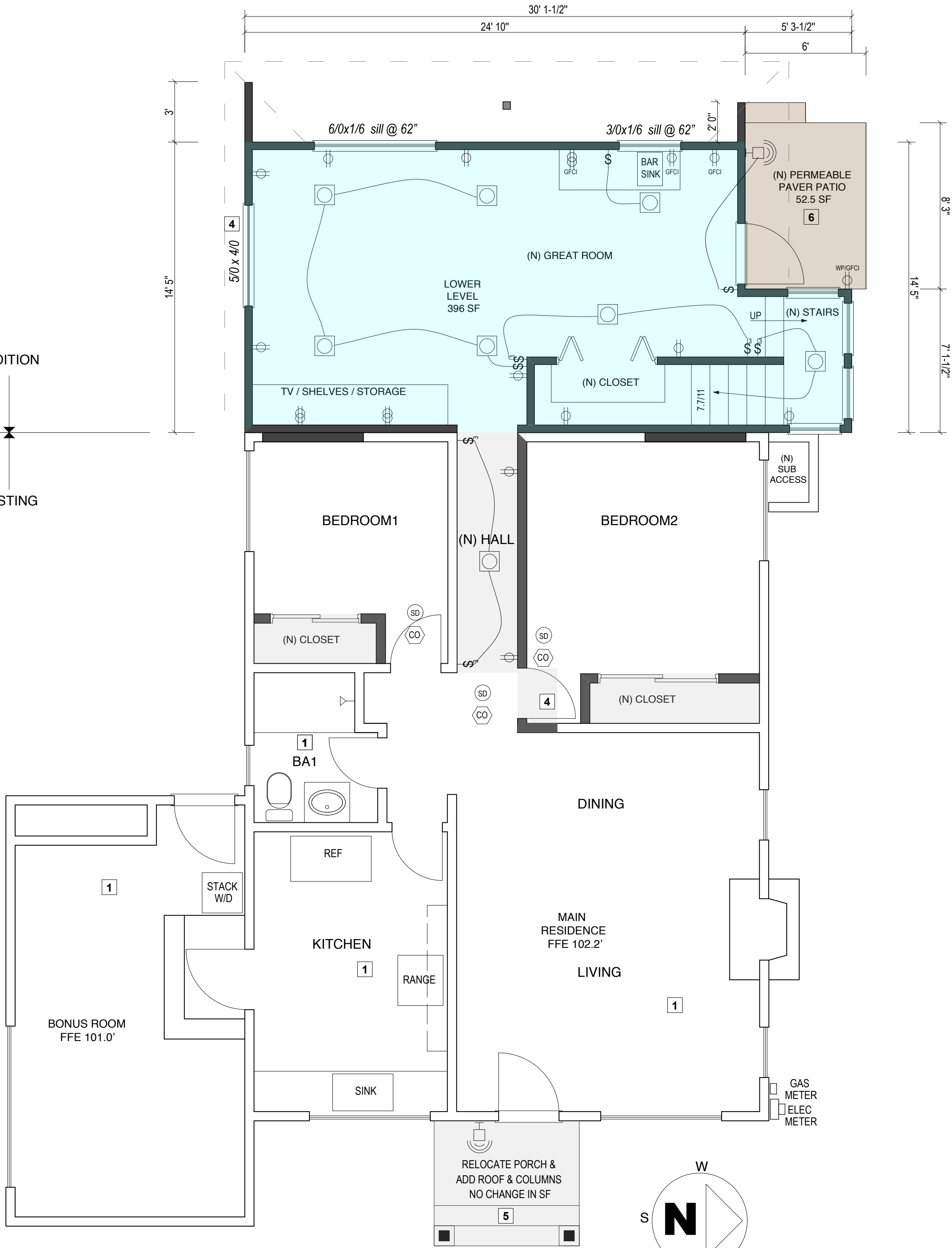
* West-facing Addition windows are 62" sill to preserve privacy to the (E) Accessory Unit. Optional obscure glazing if required.



EXISTING FLOOR PLAN
scale: 1/4" = 1' 0"

ADDITION

EXISTING



PROPOSED FLOOR PLAN
scale: 1/4" = 1' 0"

* West-facing Addition windows are 62" sill to preserve privacy to the (E) Accessory Unit. Optional obscure glazing if required.

FLOOR PLAN LEGEND

- DEMO
- EXISTING WALL (TO REMAIN)
- NEW WALL
- AREA OF REMODEL
- AREA OF ADDITION
- NEW DECK OR PATIO

SCOPE OF WORK KEY NOTES

1. No work in this area
2. Existing door or window to be removed, save for re-use in addition
3. Demo exterior lighting, outlets & hose bibs at location of new addition. Save exterior lighting for re-use. All new exterior lighting to match existing. Re-claimed / re-use door or window from demolition phase
4. New permeable paver patio or wood deck
5. Demo sub area access
7. Demo Brick Wainscoting

ELECTRICAL LEGEND

- recessed can
- ext wall mount, motion sensor LED maximum 25 lumens (To Match Existing)
- ext wall mount, LED maximum 25 lumens (To Match Existing)
- exhaust fan
- switch (D=dimmer, 3=3way, 4=4way)
- 110v duplex (2) outlet
- 110v quad (4) outlet
- smoke detector
- carbon monoxide (CO) alarms



ADDITION
**FERNANDEZ
RESIDENCE**

1185 Shafer Street
Seaside, California
APN: 012-381-045-000

ISSUE: 01/11/17

REVISIONS:

1. PLANNER COMMENTS
REVISED 01/11/17

Project Codes

Project shall comply with the 2013 California Building Code, California Residential Code, California Green Building Standards, California Electrical Code, California Mechanical Code, California Plumbing Code, California Fire Code, California Energy Code.

DESIGN REVIEW
PLANS

Steven C. Krebs - Principal KDG Date
© 2017 KREBS DESIGN GROUP, LLC ALL RIGHTS RESERVED

Existing Floor Plan
Proposed First Floor Plan
Proposed Second Floor Plan

The Designer's Drawings, Specifications or Other Documents Shall Not Be Used By the Owner or Others Except By Agreement in Writing And With Appropriate Compensation To the Designer.

REVISION 1 
INDICATED ALL INSTANCES OF BRICK AND HORIZONTAL SIDING ON EXISTING AND PROPOSED ELEVATIONS FOR CLARITY.
UPDATED EXTERIOR MATERIALS KEYS TO REFLECT MATERIALS CHANGES.
ADDED WINDOW MULLIONS TO EXISTING AND PROPOSED ELEVATIONS
NO REVISION CLOUDS

REVISION 2 
ADDITION OF CORNER TRIM TO AREAS OF HORIZONTAL SIDING
NO REVISION CLOUDS.

EXTERIOR MATERIALS

- 1 Stucco, painted Light Warm Yellow
- 2 Horizontal Siding, painted Light Warm Yellow
- 3 Shingle Class-A Roof
- 4 White vinyl windows. Wood trim painted White
- 5 Wood doors, painted White. Wood trim painted White
- 6 Vinyl sliding glass door. Wood trim painted White
- 7 Treated Redwood Decking w/42" High Railing
- 8 (E) Brick Facing 
- 9 (E) 4' High Wood Fence

ELEVATION NOTES

Demo existing brick wainscoting. Replace with horizontal wood siding to match existing.

Remove any exterior lighting, vents, hose bibs, outlets, etc that interfere with area of remodel / addition.

New roof material, fascia, paint, gutters, downspouts to match existing

All exterior finish materials, siding, paint, trim to match existing

ELEVATIONS LEGEND

 New Roof

KREBS
DESIGN
GROUP
■ LLC ■

RESIDENTIAL DESIGN
REMODEL • ADDITIONS • REMODELS
WWW.KREBSDESIGNGROUP.COM
8 3 1 • 6 2 6 • 8 0 8 2

ADDITION
**FERNANDEZ
RESIDENCE**
1185 Shafer Street
Seaside, California
APN: 012-381-045-000

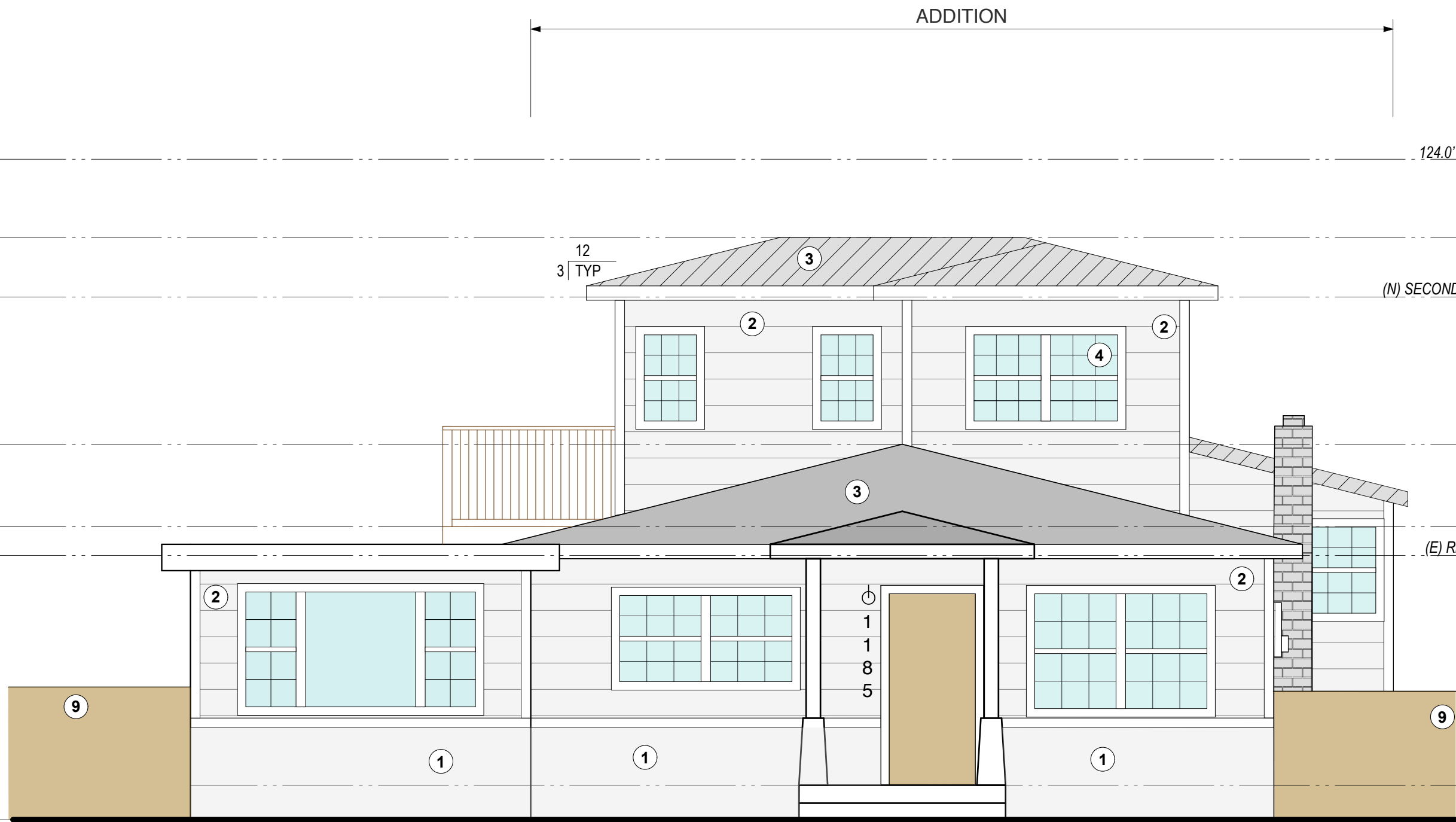
ISSUE: 01/24/17

REVISIONS:

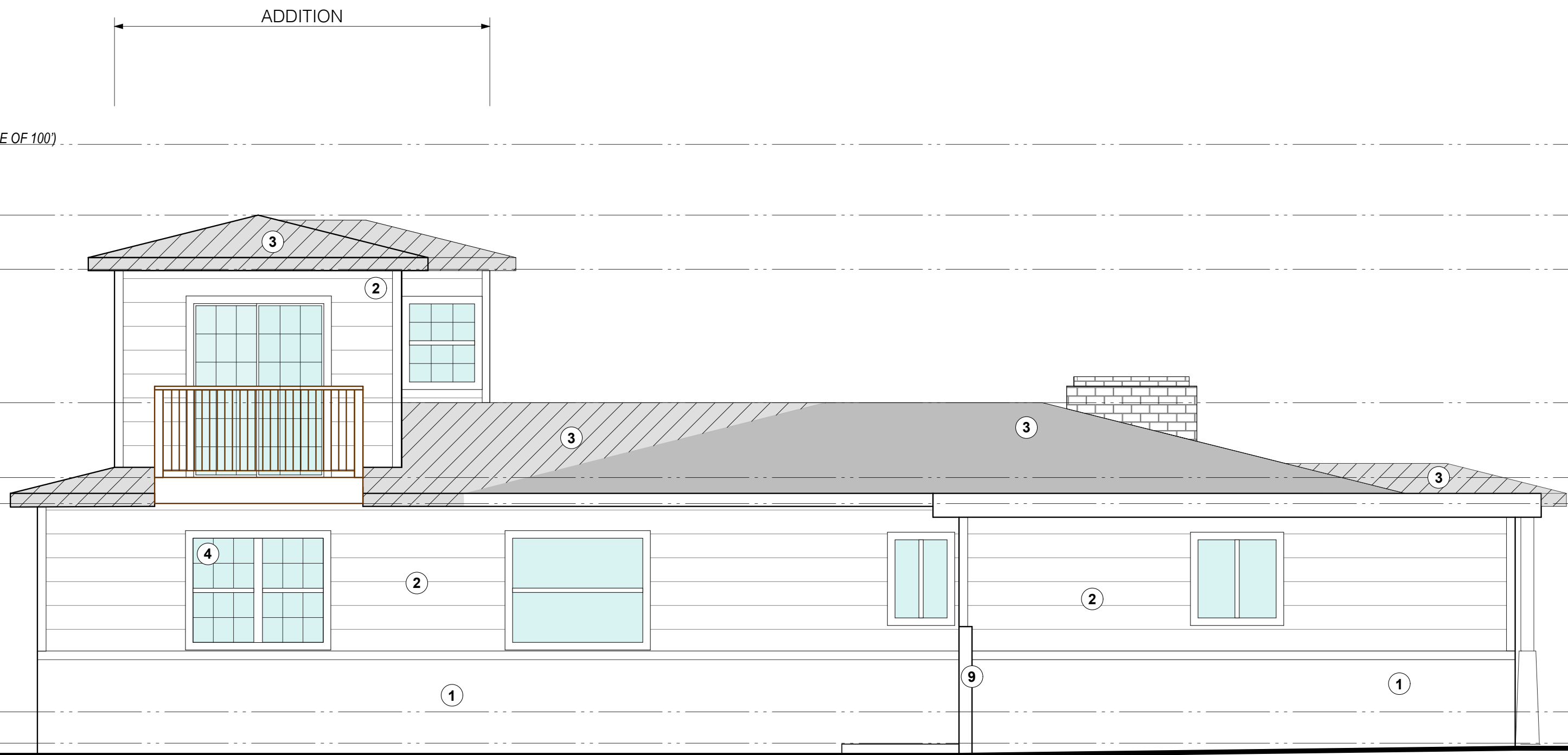
 1 PLANNER COMMENTS
REVISED 01/11/17

 2 PLANNER VOICEMAIL
REVISED 01/24/17

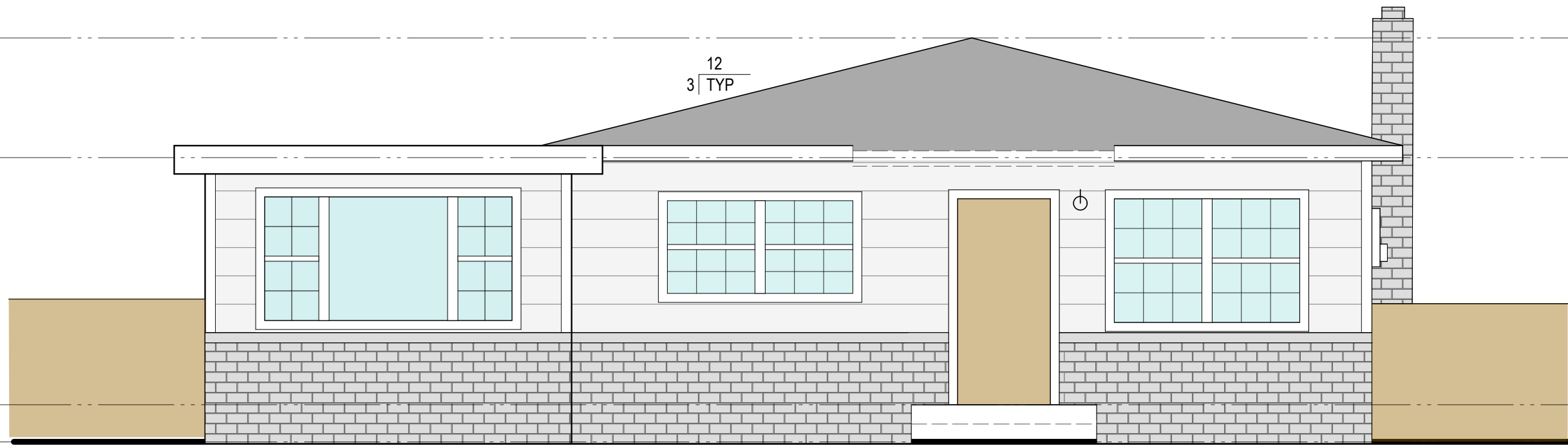
Project Codes
Project shall comply with the
2013 California Building Code,
California Residential Code,
California Green Building
Standards, California Electrical
Code, California Mechanical
Code, California Plumbing Code,
California Fire Code, California
Energy Code.



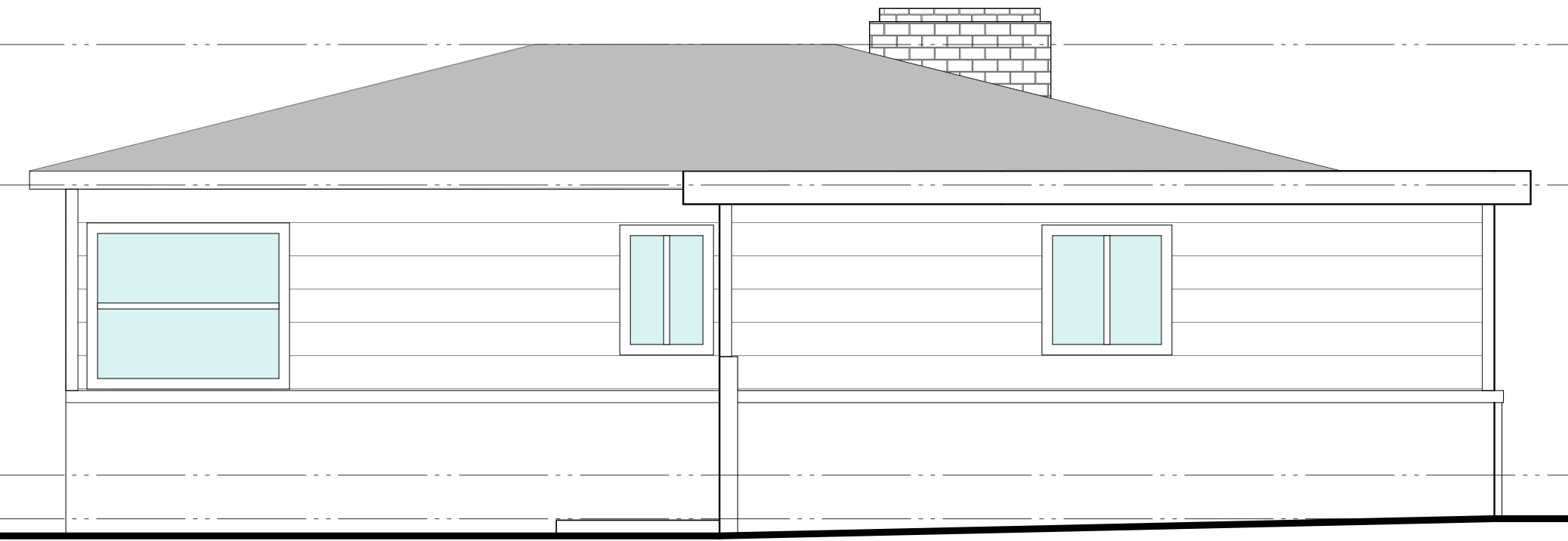
PROPOSED EAST (FRONT) ELEVATION
scale: 1/4" = 1' 0"



PROPOSED SOUTH ELEVATION
scale: 3/16" = 1' 0"



EXISTING EAST (FRONT) ELEVATION
scale: 1/4" = 1' 0"



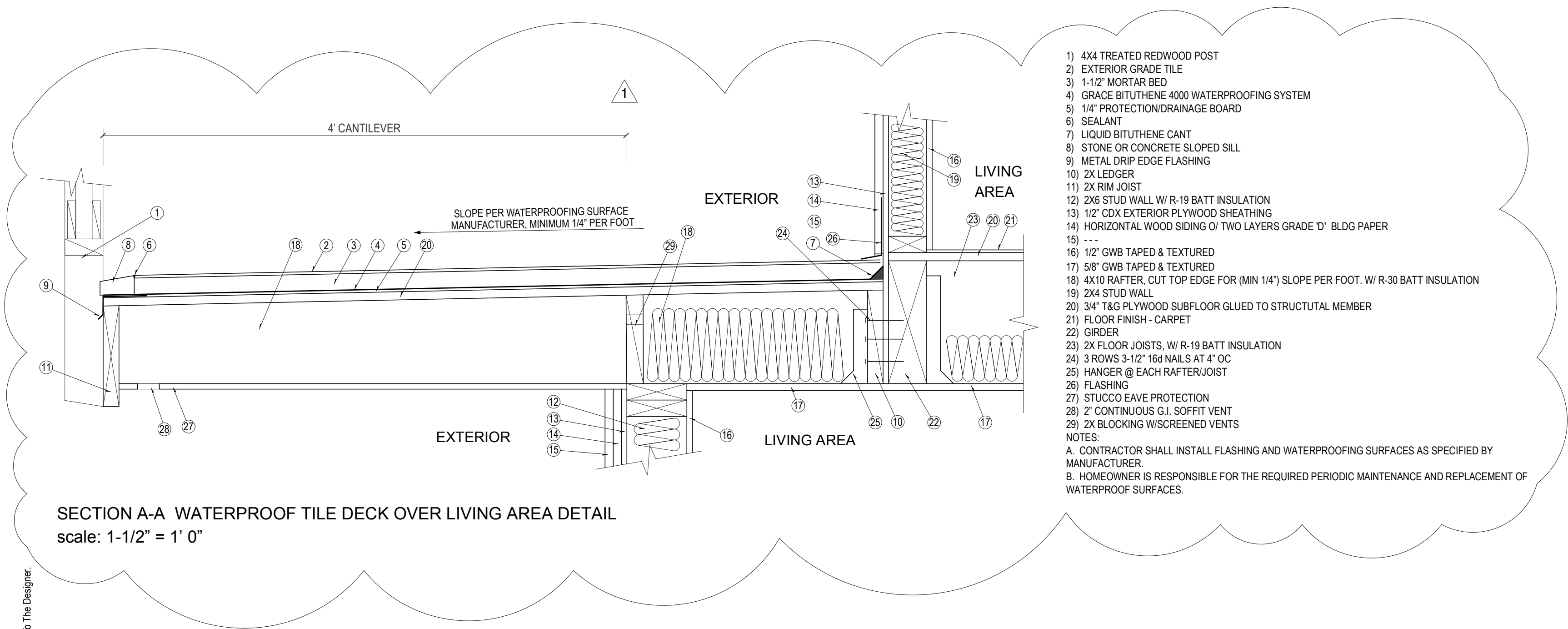
EXISTING SOUTH ELEVATION
scale: 3/16" = 1' 0"

DESIGN REVIEW
PLANS

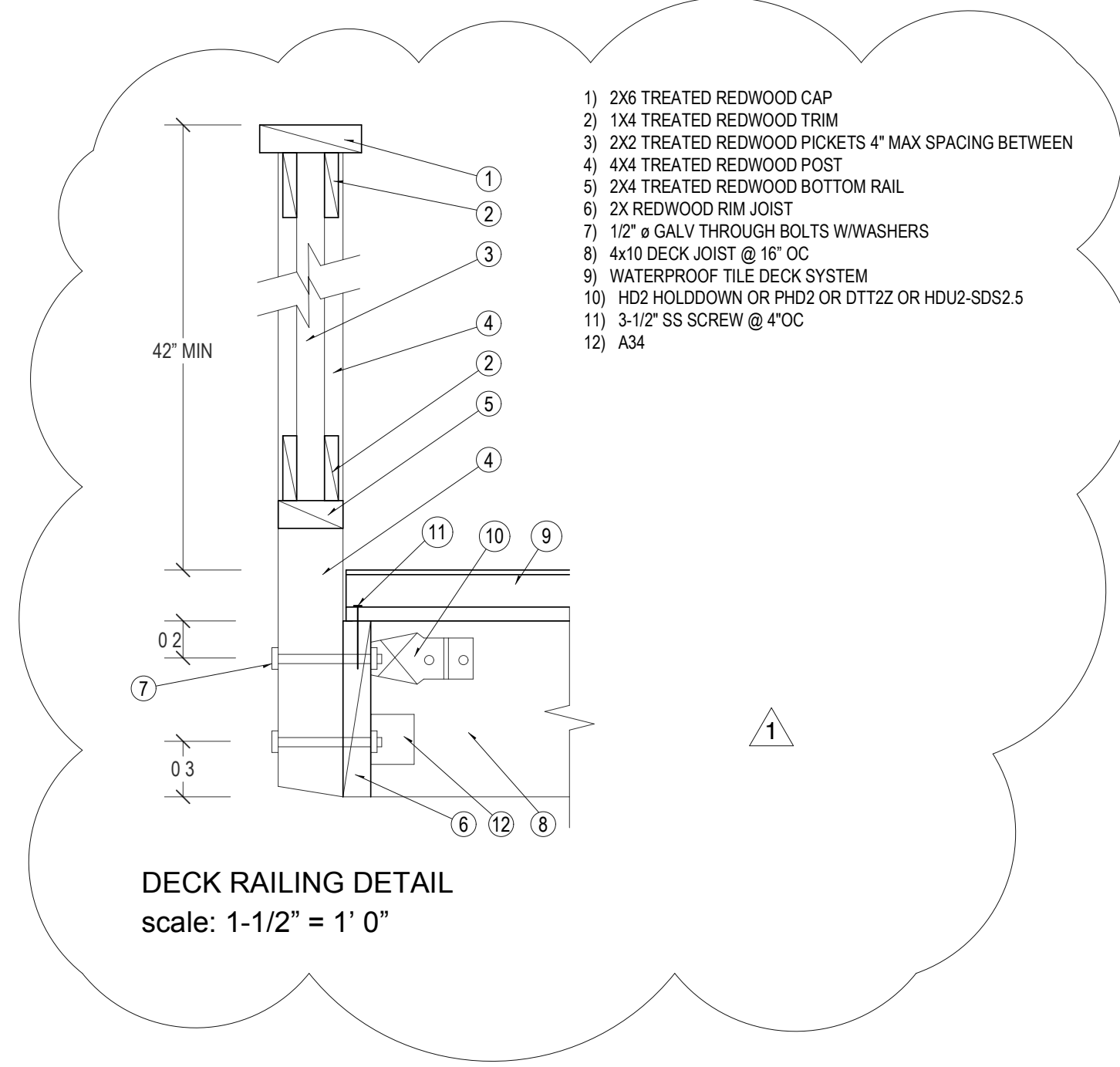
Steven C. Krebs - Principal KDG Date
© 2017 KREBS DESIGN GROUP, LLC
ALL RIGHTS RESERVED

East and South
Existing & Proposed Elevations

The Designer's Drawings, Specifications or Other Documents Shall Not Be Used By the Owner or Others Except By Agreement in Writing And With Appropriate Compensation To The Designer.



SECTION A-A WATERPROOF TILE DECK OVER LIVING AREA DETAIL
scale: 1-1/2" = 1' 0"



DECK RAILING DETAIL
scale: 1-1/2" = 1' 0"

ELEVATION NOTES

Demo existing brick wainscoting. Replace with horizontal wood siding to match existing.

Remove any exterior lighting, vents, hose bibs, outlets, etc that interfere with area of remodel / addition.

New roof material, fascia, paint, gutters, downspouts to match existing

All exterior finish materials, siding, paint, trim to match existing

ELEVATIONS LEGEND

New Roof

EXTERIOR MATERIALS

- 1) Stucco, painted Light Warm Yellow
- 2) Horizontal Siding, painted Light Warm Yellow
- 3) Shingle Class-A Roof
- 4) White vinyl windows. Wood trim painted White
- 5) Wood doors, painted White. Wood trim painted White
- 6) Vinyl sliding glass door. Wood trim painted White
- 7) Treated Redwood Decking w/42" High Railing
- 8) (E) Brick Facing
- 9) (E) 4" High Wood Fence

REVISION 1

INDICATED ALL INSTANCES OF BRICK AND HORIZONTAL SIDING ON EXISTING AND PROPOSED ELEVATIONS FOR CLARITY.

UPDATED EXTERIOR MATERIALS KEYS TO REFLECT MATERIALS CHANGES.

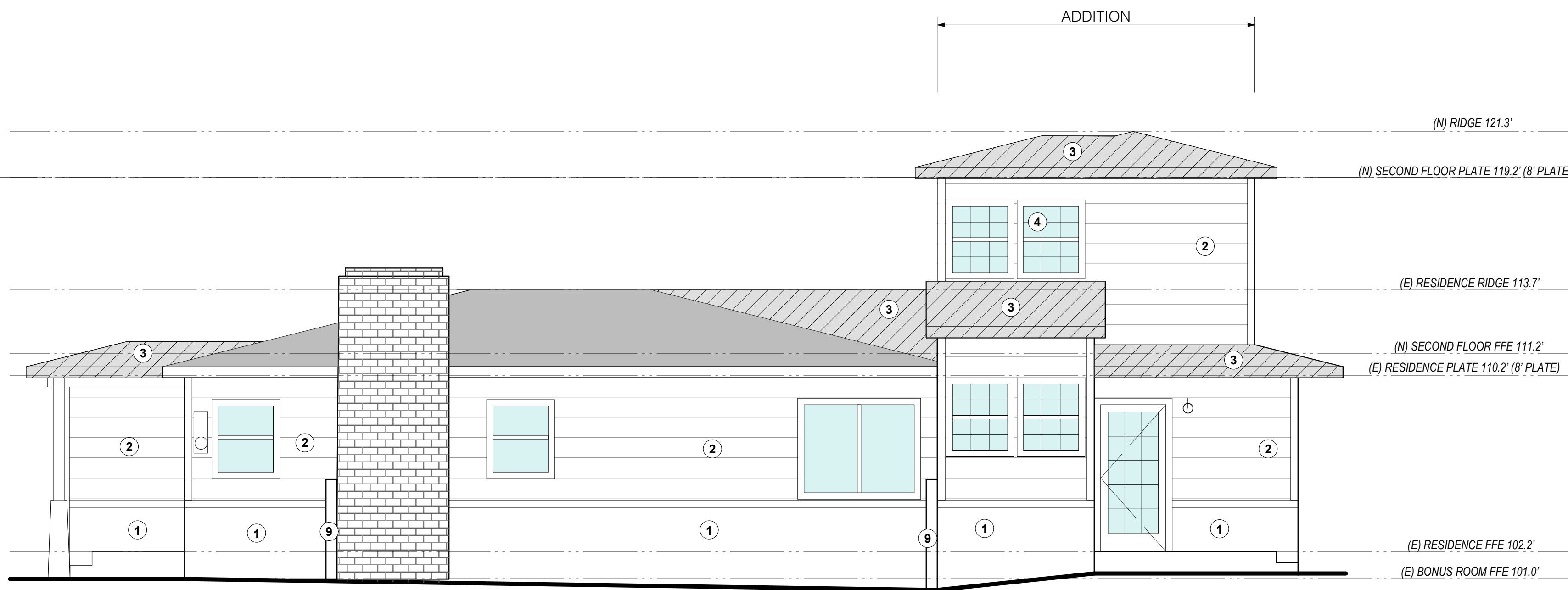
ADDED WINDOW MULLIONS TO EXISTING AND PROPOSED ELEVATIONS

NO REVISION CLOUDS

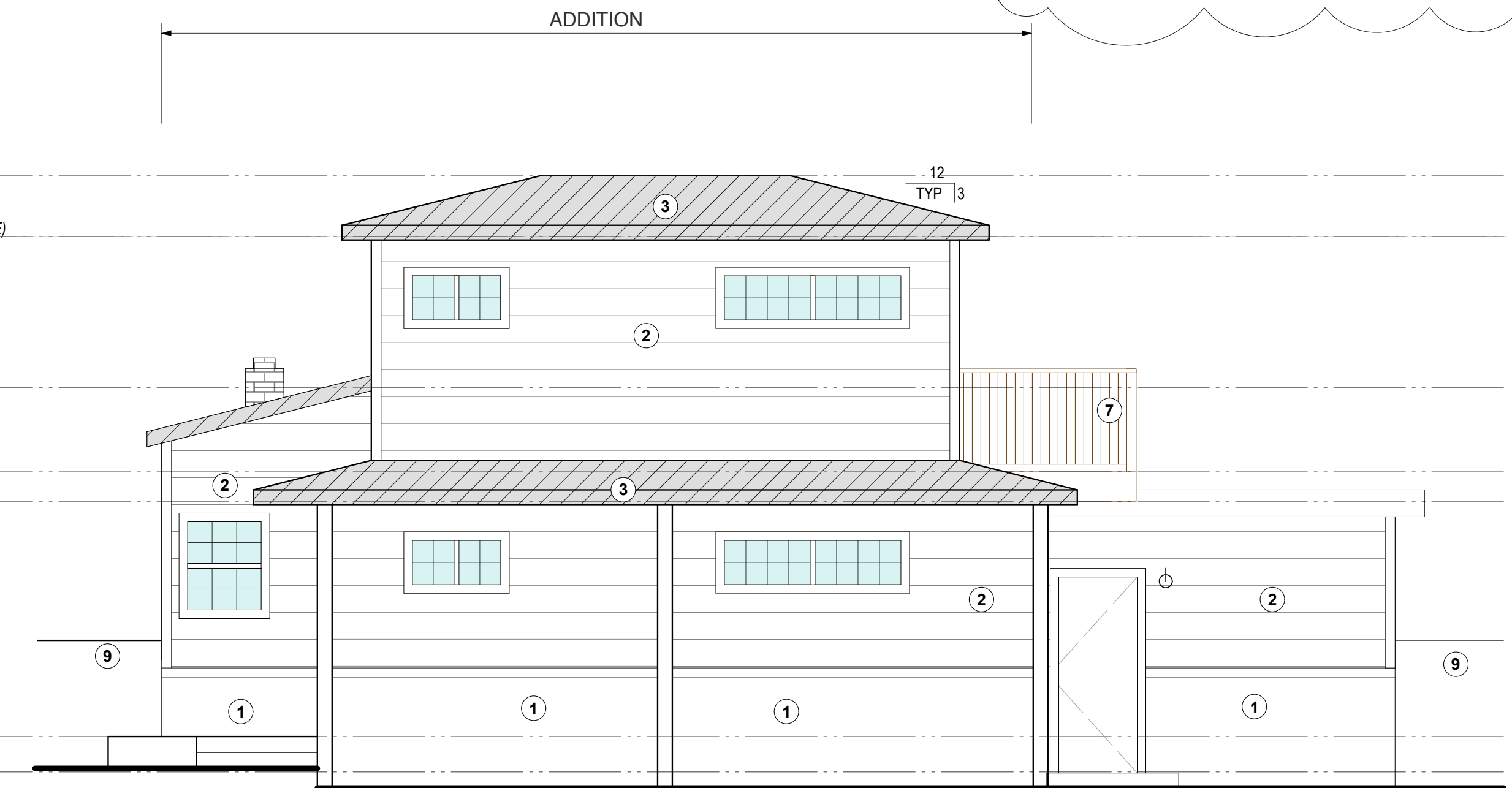
REVISION 2

ADDITION OF CORNER TRIM TO AREAS OF HORIZONTAL SIDING

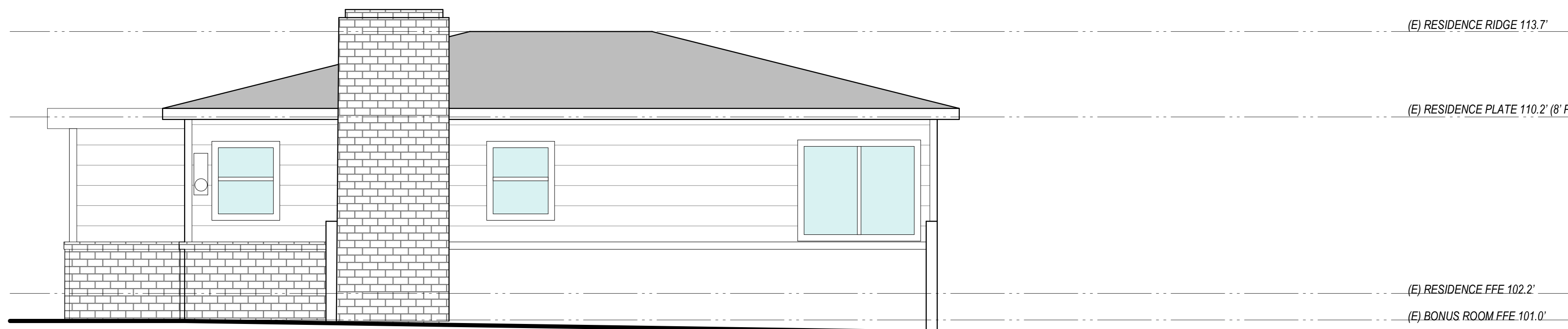
NO REVISION CLOUDS.



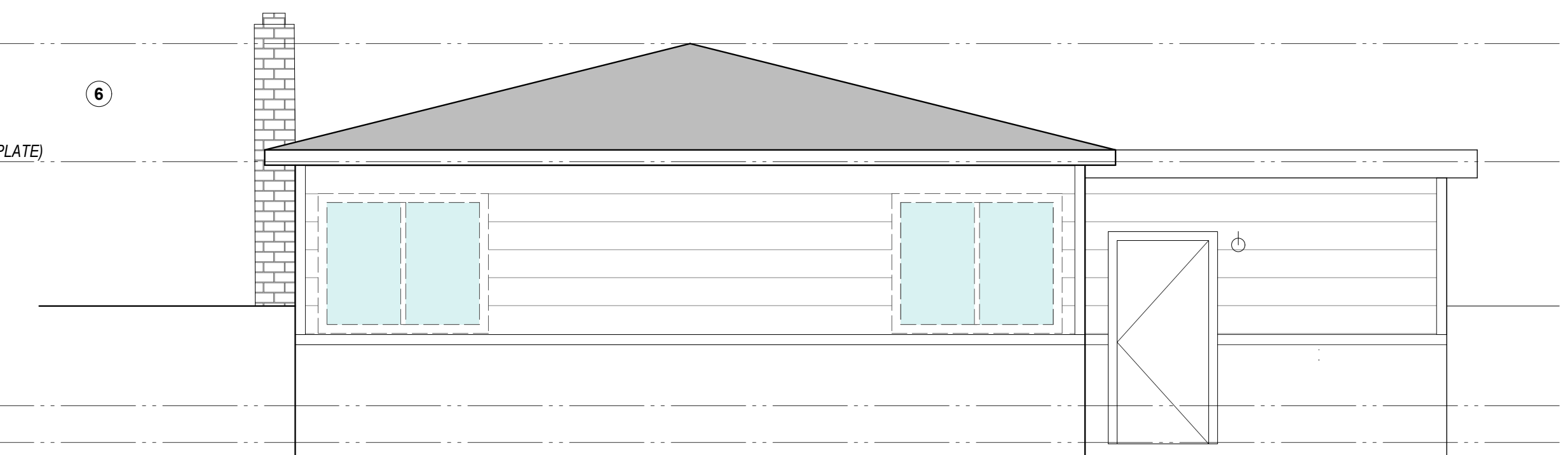
PROPOSED NORTH ELEVATION
scale: 3/16" = 1' 0"



PROPOSED WEST ELEVATION
scale: 3/16" = 1' 0"



EXISTING NORTH ELEVATION
scale: 3/16" = 1' 0"



EXISTING WEST ELEVATION
scale: 3/16" = 1' 0"



ADDITION
**FERNANDEZ
RESIDENCE**
1185 Shafer Street
Seaside, California
APN: 012-381-045-000

ISSUE: 01/24/17

REVISIONS:

1) PLANNER COMMENTS
REVISED 01/11/17

2) PLANNER VOICEMAIL
REVISED 01/24/17

Project Codes

Project shall comply with the
2013 California Building Code,
California Residential Code,
California Green Building
Standards, California Electrical
Code, California Mechanical
Code, California Plumbing Code,
California Fire Code, California
Energy Code.

DESIGN REVIEW PLANS

Steven C. Krebs - Principal KDG Date
© 2017 KREBS DESIGN GROUP, LLC
ALL RIGHTS RESERVED

North and West
Existing & Proposed Elevations
Deck Section & Rail Detail

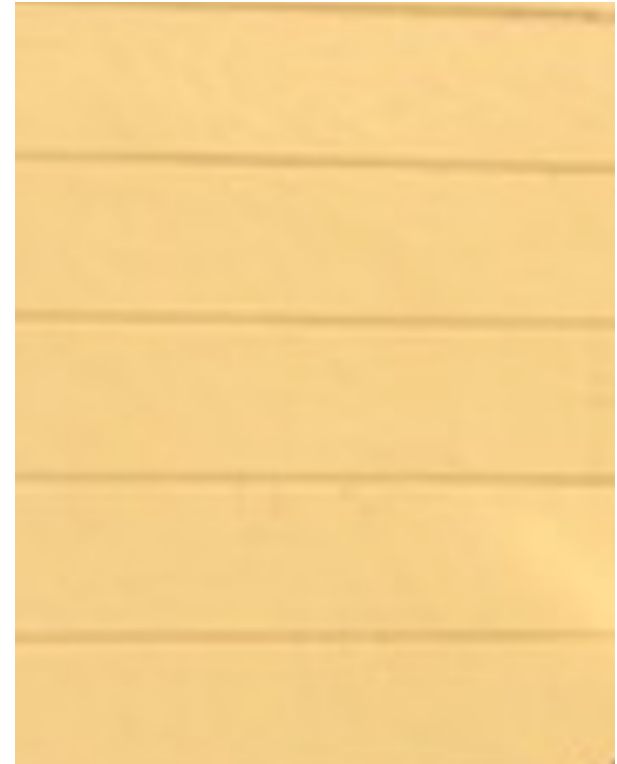
1



AMERICAN CRAFTSMAN
70 Series
Double Hung Window
White Vinyl
Double Pane Glass
Energy Star Qualified



JELD-WEN V-4500
Sliding French
10 Lite Patio Door
White Vinyl
Low-E-366 Glass
Energy Star Qualified



HORIZONTAL WOOD SIDING
Match Existing, 9" Reveal
Painted Yellow to Match Existing



FERNANDEZ RESIDENCE
1185 Shafer Street Seaside, CA APN: 012-381-045

SKYLINE EXTERIOR LED DOWNLIGHT



This modern outdoor LED downlight is a sleek and simple metal cylinder attached to a rectangular back plate. Deep, rich Dorian Bronze finish adds a warm touch to this chic, sophisticated outdoor wall light. A beautiful addition to your home from Minka lighting.

- Cylinder style downlight design.
- Skyline LED outdoor wall light.
- Dorian Bronze finish.
- Metal construction.
- ADA compliant.
- Dark Sky compliant.
- CA Title 24 compliant.
- Light output 320 lumens.
- Light output comparable to 35W incandescent bulb.
- 2700K color temperature; 81 CRI.
- LED averages 30,000 hours at 3 hours per day.
- Non-dimmable.
- Measures 7 3/4-inches high, 5-inches wide.
- Extends 4-inches from the wall.
- Backplate is 5-inches wide, 5-inches high.
- Integrated 11W LED.

MIDLAND EXTERIOR LED DOWNLIGHT DAWN TO DUSK & MOTION SENSOR



Add safety and security to outdoor garage areas, walkways and more with the Midland outdoor LED wall light. It comes in black finish and is outfitted with both a motion sensor and a dusk-to-dawn photocell sensor. The sensors control the energy efficient, built-in LED array that offers a light output comparable to a 60 watt incandescent bulb. The sensors ensure added security for your outdoor lighting. From John Timberland.

- Midland outdoor LED wall light in black finish.
- Built-in LED array.
- 3000K color temperature.
- Light output of 750 lumens.
- Light output comparable to a 60W incandescent bulb.
- 80 CRI.
- Extends 10 1/4-inches from the wall.
- 9 1/4-inches wide.
- 9-inches high.
- Backplate is 4 3/4-inches wide.
- Uses only 10W of energy.

FERNANDEZ RESIDENCE

1185 Shafer Street Seaside, CA APN: 012-381-045

Location Map

Project Location: 1185 Shafer Street



Site Photos



Street View looking north



Street View looking south