



AGENDA

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, February 8, 2017
7:00 PM

PLEASE TURN OFF YOUR CELL PHONES UPON ENTERING THE MEETING

1. **CALL TO ORDER**

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

John Owens	Chair
Michael Lechman	Vice Chair
Keith Dodson	Commissioner
Denise Ross	Commissioner
Arlington La Mica	Commissioner
Michael Spalletta	Commissioner
Ian Oglesby	Commissioner

3. **REVIEW OF AGENDA**

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. **PUBLIC COMMENT**

Members of the public wishing to address the City Council on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. **APPROVAL OF MINUTES**

A. **APPROVE THE MINUTES FROM JANUARY 11, 2017**

6. **BUSINESS ITEMS**

A. USE PERMIT APPLICATION NO. UP-16-08: EARLY DEVELOPMENT SERVICES, APPLICANT AND CITY OF SEASIDE, PROPERTY OWNER, ARE REQUESTING THE APPROVAL OF A USE PERMIT TO ALLOW FOR THE ESTABLISHMENT OF A CHILD DAY CARE CENTER FOR UP TO A MAXIMUM OF 60 STUDENTS LOCATED AT 1274-80 BROADWAY AVENUE IN THE COMMERCIAL MIXED USE (CMX) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

PURPOSE: In accordance with Section 17.14.030.B, Table 2-4 (allowed land uses and use permit requirements for Commercial zones) of the Seaside Municipal Code (SMC), daycare centers with 15 or more children are permitted in the CMX zoning district subject to receiving use permit approval from the Planning Commission.

RECOMMENDATION: City staff recommends that the Planning Commission approve the requested use permit in accordance with the conditions of approval and project floor plan contained in the Draft Resolution.

B. USE PERMIT APPLICATION NO. UP-16-05. CARLOS CASTRO, PROPERTY OWNER AND APPLICANT, IS REQUESTING THE APPROVAL OF A USE PERMIT TO ALLOW AN INCREASE OF FIVE –BEDS FOR AN EXISTING 10-BED RESIDENTIAL CARE FACILITY LOCATED AT 1201 LA SALLE AVENUE IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.

PURPOSE: In accordance with Section 17.14.030.B (Table 2-4 – Allowed Land Uses and Permit Requirements for Commercial Zones), applicant is seeking use permit approval to allow for an increase of five-beds within an existing 10-beds residential care facility.

RECOMMENDATION: City staff recommends that the Planning Commission approve the requested use permit in accordance with the conditions of approval and project floor plan contained in the Draft Resolution.

7. REPORTS FROM COMMISSIONERS

8. REPORTS FROM STAFF

A. WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN INFRASTRUCTURE IMPROVEMENT PLAN: CITY STAFF WILL PROVIDE UPDATE ON THE IMPLEMENTATION OF THE INFRASTRUCTURE IMPROVEMENT PLAN FOR THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN.

PURPOSE: The Public Works Department will provide presentation on the on the status of the implementation of the infrastructure improvement plan for the West Broadway Urban Village Specific Plan and the phasing schedule for the project in 2017.

RECOMMENDATION: Receive presentation and address City staff with questions and comments related the infrastructure improvement plans for the West Broadway Urban Village Specific Plan.

9. **ADJOURNMENT**

Next Regularly Scheduled Meeting:
February 22, 2017
Seaside City Hall
7:00 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, they are asked to contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings.

City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Meetings are also available through live streaming at:
<http://cyp.telvue.com/player?id=T01629&video=52314&noplaylists=1&width=400&height=300>
Videos of past meetings are available on demand through the City's website: <http://www.ci.seaside.ca.us>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER

Wednesday, January 11, 2017
7:00 PM

1. **CALL TO ORDER**

Vice Chair Dodson called the meeting to order at 7:03 PM.

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

PLANNING COMMISSION

PRESENT: Dodson, La Mica, Spalletta, Ross

ABSENT: Lechman, Owens, Oglesby

3. **REVIEW OF AGENDA**

4. **PUBLIC COMMENT**

Vice Chair Dodson invited comments from the public and had no requests to speak.

5. **APPROVAL OF MINUTES**

On motion by Commissioner Spalletta and seconded by Commissioner Ross and passed by the following vote, the Planning Commission approved the minutes as presented.

RESULT:	Approved
MOVER:	Commissioner Michael Spalletta
SECONDER:	Commissioner Arlington La Mica
AYES:	Denise Ross, Keith Dodson, Arlington La Mica, Michael Spalletta
NOES:	None
ABSENT:	Mike Lechman, John Owens

A. **APPROVE THE MINUTES FROM THE DECEMBER 14, 2016 MEETING**

6. **BUSINESS ITEMS**

- A. **FENCE EXCEPTION APPLICATION NO. FE-16-01. FENCE EXCEPTION APPROVAL FOR THE INSTALLATION OF A TWO FOOT EXTENSION ONTO THE TOP OF AN EXISTING 16-FOOT TALL CONCRETE BLOCK WALL LOCATED ALONG THE SOUTHERLY PROPERTY LINE OF THE PROJECT SITE LOCATED AT 1755 DEL MONTE BOULEVARD IN THE HEAVY COMMERCIAL (CH) ZONING DISTRICT. PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT GUIDELINES, THE PROJECT IS CATEGORICALLY EXEMPT, CLASS 3, SECTION 15303(E), NEW**

**CONSTRUCTION OF SMALL STRUCTURES. (ITEM CONTINUED FROM THE
DECEMBER 14, 2016 PLANNING COMMISSION MEETING)**

Senior Planner Medina spoke to the continued item that was before the Commission on December 14, 2016 explaining the project requests consists of adding a two foot extension to the existing retaining wall at the project site. He noted that in 2005 the perimeter walls were constructed to allow for an expansion of the showroom, warehouse, exterior building supply and materials bins. The applicant is seeking two foot extension on southern boundary, for the loose materials that are currently leaking over onto the adjacent property site and the public right of way. The project has been modified to include the Cortin steel design consideration, angled at a 45 degree angle as requested to minimize the mass of the wall. Mr. Medina detailed the project plans of the revised design. He also reported that the project engineer submitted structural designs which indicated that the wall and footing can sustain the extension as proposed with the Cortin. Mr. Medina displayed historical photographs from prior to the rebuild of the wall. The findings that staff presented, do not have any effects on health safety or welfare, do not create a traffic safety hazards, won't obstruct vision and is compatible with the surrounding neighborhood. Mr. Medina invited questions from the Commission.

Vice Chair invited comments from the public. Mr. Addlemeyer, representing the applicant, spoke to the recommendation from December 14th Planning commission meeting acknowledging that he modified the request incorporating the Commission's suggestion.

There were no further questions from the Commission.

On motion by Commissioner Spalletta, Seconded by Commissioner Ross and passed by the following vote the Planning Commission approved Fence exception application no. Fe-16-01 approving the installation of a two foot extension onto the top of an existing 16-foot tall concrete block wall located along the southerly property line of the project site located at 1755 del monte boulevard in the heavy commercial (ch) zoning district.

RESULT:	Approved
MOVER:	Vice Chair Michael Spalletta
SECONDER:	Commissioner Denise Ross
AYES:	Denise Ross, Keith Dodson, Arlinton La Mica, Michael Spalletta
NOES:	None
ABSENT:	Mike Lechman, John Owens

7. REPORTS FROM COMMISSIONERS

No reports.

8. REPORTS FROM STAFF

9. ADJOURNMENT

On motion the meeting was adjourned at 7:17 PM.

Respectfully submitted,

Lesley Milton-Rerig, City Clerk

John Owens, Chair



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.A.

TO: Planning Commission

BY: Rick Medina, Senior Planner

DATE: February 8, 2017

SUBJECT: USE PERMIT APPLICATION NO. UP-16-08: EARLY DEVELOPMENT SERVICES, APPLICANT AND CITY OF SEASIDE, PROPERTY OWNER, ARE REQUESTING THE APPROVAL OF A USE PERMIT TO ALLOW FOR THE ESTABLISHMENT OF A CHILD DAY CARE CENTER FOR UP TO A MAXIMUM OF 60 STUDENTS LOCATED AT 1274-80 BROADWAY AVENUE IN THE COMMERCIAL MIXED USE (CMX) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

PURPOSE

In accordance with Section 17.14.030.B, Table 2-4 (allowed land uses and use permit requirements for Commercial zones) of the Seaside Municipal Code (SMC), daycare centers with 15 or more children are permitted in the CMX zoning district subject to receiving use permit approval from the Planning Commission.

RECOMMENDATION

City staff recommends that the Planning Commission approve the requested use permit in accordance with the conditions of approval and project floor plan contained in the Draft Resolution.

BACKGROUND

The 1274-1284 Broadway Avenue site is comprised of four parcels totaling 24,000 square feet in area (240 feet by 100 feet). The site is currently developed with a single-story 1,920 square-foot office building and a two-story 4,806 square-foot, mixed use building, which together contain a net leasable area of 4,806 square feet. Three off-street parking areas existing on the west and east sides with access from Broadway Avenue through to the public alley at the rear of the site and on the rear south side with direct access from the public alley. The second floor of the office building of the two-story building includes two residential units, approximately 395

square feet each, and a storage area.

The existing structures and off-street parking areas were constructed in 1986 as a medical clinic known as the Seaside Community Clinic (Clinic) through financial assistance by the City of Seaside using Community Development Block Grant Funding. In 1995, the clinic released its interest in the property to the Troia Group, a general partnership, which proceeded to lease the site to Monterey County for office space. The full fee and leasehold interest was ultimately transferred to the former Redevelopment Agency (RDA) in 2005. The former RDA proceeded to make additional improvements to the site in 2005 when County vacated the buildings and the City established a police substation on the site which was vacated in 2011. As part of the Long-Term Property Management Plan for the disposal of former RDA properties, in December of 2016 the City Council has entered into an agreement with the applicant for the purchase of the site pending the approval of a use permit for the child day care center.

The adjacent land uses consist of a retail bakery and Office Building to the north, a convenience store to the east, a multi-tenant commercial building to the west, and single-family dwellings to the south. A location map is provided as Attachment 2. Site Photographs are provided as Attachment 3. Aerial Photo is provided as Attachment 4.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to Class 1, Section 15301(a) (Existing Facilities). Class 1 consists of minor interior alterations involving such things as interior partitions, plumbing and electrical conveyances.

Evidence: The proposed project would involve remodeling the interior of two existing commercial tenant spaces and the renovation of existing off-street parking lots to operate a child day care center. Interior improvements will include minor wall, plumbing and electrical improvements to set-up the reception area, office, classrooms and kitchen. Exterior improvements will be limited to installation of landscaping, small play structures, and installation of disable ramp and accessible paths of travel from the parking lots to the commercial buildings/paly structures. The proposed improvements would be exempt from further CEQA review.

PROJECT DESCRIPTION

The applicant is proposing to complete the following renovations to establish the new child daycare center on the project site:

1. Recondition the interior of the existing one-story building on the west side to provide administrative offices; and
2. Recondition the interior of the existing two-story building on the east side to provide classrooms, a kitchen, disable accessible bathrooms, a registration area, and an assembly area as needed to conform to latest code requirements per the State of California Department of Social Services for the operation of a 60 student child daycare center. The daycare center will serve

children from pre-school age to 5th grade.

3. Elimination of residential units on the second floor of the two-story building to provide additional storage space; and
4. The conversion of the rear parking lot abutting the alley and the open-air courtyard between the existing buildings into open space recreation areas.
5. Construction of a new six-foot tall cinder block wall to enclose the rear play/recreation area from the alley and the front open-air patio area from the public right-of-way on Broadway Avenue.
6. Stripe parking lots on the west and east sides to provide 20 standard parking stalls and two disable parking stalls.
7. Replacement of all windows with energy efficient windows.
8. New stucco exterior stucco siding.

The daycare center would be open from 7 AM and to 5:30 PM Monday-Friday. A maximum of eight staff will be on-site. The operation of the daycare center will typically provide care for a maximum of 60 pre-school age children. A kitchen facility will be provided for snacks and hot meals.

STAFF ANALYSIS AND FINDINGS

Use Permit Findings

In accordance with S.M.C. Section 17.14.030.B (Table 2-4 Commercial Zone Land Use and Requirements), an application for a daycare center shall be filed under the use permit process to determine whether the following findings prescribed under S.M.C Section 17.52.070.F can be made concerning the proposed project:

- 1) The proposed use is consistent with the General Plan and any applicable specific plan.
Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Commercial Mixed Use. The land use classification is intended to promote pedestrian oriented activity centers in the community with a mix of residential, commercial, office and civic uses with more specific development standards identified in the Zoning Code. A day care center is a specific land use that is allowed with a use permit per the defined development standards listed under Section 17.52.050 of the SMC. The project would be consistent with the following General Plan Goals and Policies:

Land Use Element

Goal LU-2: Revitalize existing commercial areas.

Policy LU-2.1: Encourage consolidation of under performing and under utilized commercial properties:

Evidence: The proposed project will result in the merger of the four separate parcels into a single parcel for the establishment of a child day care center that will include exterior and interior improvements to fully utilize the parcel for the indoor educational and exterior recreation needs of the child day care center. The establishment of a new employment center will also encourage pedestrian activity and provide additional customers for convenience stores and restaurant uses.

Goal LU-4: Ensure that new development compliments existing land uses and enhances the character of the community and neighborhoods.

Policy LU-4.1: Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: The project site consists of a parcel with adequate interior building square footage and exterior play area square footage to adequately accommodate a licensed daycare center for 60 children.

Evidence: The proposed project will include new exterior façade improvements that will include doors, windows, and paint on the building and new fencing, play equipment and landscaping within the open space area to improve the physical appearance of the site and adjoining properties.

Evidence: A new concrete block wall fence will be constructed on the south side adjacent to the alley to screen the outdoor play areas and provide sound attenuation of the play area from the single family dwellings bordering the south side of the alley.

Evidence: The project will allow for the efficient use of an existing infrastructure system with minor improvements in order to accommodate a new daycare center for pre-school and school age children.

Evidence: The Zoning Code requires a minimum of one space per each employee during the busiest shift and one space per 10 children. A minimum of 14 parking spaces shall be provided. The project will provide a total of 21 parking spaces.

Urban Design

Goal UD-2: Create and preserve distinct neighborhoods and districts.

Policy UD-2.2: Minimize potential light and sound impacts of new development and redevelopment on surrounding areas.

Evidence: The proposed project will include the installation of down lit light features at the entrance/exits to the site from the public right-of-way and within the interior of the site to ensure light sources are mainlined on-site and the installation of a new concrete block wall to reduce sound impacts from children playing outside within the recreation hours on the residential neighborhood to the west.

Economic Element

Goal ED-1: Establish a diverse and balanced mix of businesses that will generate a stable, long-term stream of revenue to fund city services.

Policy ED-1.2: Encourage the full and efficient use of vacant and underutilized parcels in appropriately designated areas to support the development and expansion of targeted commercial facilities.

Evidence: The conversion of the existing office buildings into a child day care center would allow for the full and efficient use of the entire site on a vacant commercial property facing a primary arterial roadway and would diversify the city's childcare services and childcare job opportunities for both pre-school and school age children.

2) The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Zoning Ordinance Conformance

This project is located within the RS-8 (Single Family Residential) Zoning District. In accordance with Seaside Municipal Code Section 17.52.050.D, the following standards are used to assess the establishment of day care centers that include more than 15 children.

Parking

In accordance with Section 17.52.080.C.1 of the SMC, a minimum of one space per employee on largest shift plus one space for each 10 children authorized by the state license is required. The applicant has indicated that she would have eight staff members on-site during busiest shift.

Evidence: Per the Zoning Code 14 parking spaces are required. A total of 21 parking spaces will be provided

Evidence: The parking lots will be accessed from Broadway Avenue which is classified as an arterial street. The City staff has determined that the set-up of the parking lot will provide the necessary drop-off and pick-up locations for students and that the depth of the driveway aisle from the drive approach to the front entrance of the building will provide the necessary stacking for vehicles queuing on-site during the peak AM and peak PM loading/unloading periods to avoid any back-ups onto Broadway Avenue. Furthermore, the on-site circulation and parking is

sufficient to allow for the loading/unloading of children completely on-site in order to avoid any impacts with traffic circulation and on-street parking on the adjoining collector street (Noche Buena Street) to the east and local street (Palm Avenue) to the south.

3) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

The proposed improvements for the use will consist of minor interior improvements and exterior improvements consisting of new fencing, new outdoor play equipment, parking lot striping, and pedestrian access requirements. The size of the project site will be in compliance with the maximum limits set by the State of California of one student per 35 square feet of net building area (Net building area excludes bathrooms, hallways, storage rooms and offices) and 75 square feet per student for net exterior play area. The net building area for classroom instruction is 4,035 square feet which will meet the minimum threshold of 2,100 square feet for a maximum of 60 students. The net play area is 4,900 square feet which would meet the minimum threshold of 4,500 square feet of open space of 60 students.

Evidence: The project site would be designed to meet maximum occupancy requirements as required for the interior education standards and exterior recreation standards for the establishment of a licensed 60 student child day care center.

4) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.

Evidence: No additional utilities will be required.

5) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

The granting of a use permit will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

Evidence: The project site is developed with the minimum interior and exterior square footage requirements standards necessary for a 60 student child day care center; the site will include the construction of a concrete block wall to safely enclose the outdoor play areas and entrances to the site from Broadway Avenue and provide sound attenuation for the surrounding land uses; the necessary off-street parking and proper queuing areas for the drop-off and pick-up of children at peak AM and PM periods will be provided.

CONCLUSION

Based on staff's analysis of the application, all of the findings prescribed by S.M.C Section 17.52.070.F can be made. As such, staff recommends that the Planning Commission approve the application based on the findings and subject to the conditions of approval contained in the Draft Resolution provided as Attachment 1.

FISCAL IMPACT

ATTACHMENTS

1. Resolution
 2. Exhibit A 1
 3. Exhibit A 2
 4. Location Map
 5. Photos
 6. Aerial Photo
-

RESOLUTION NO. 17-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A USE PERMIT TO ALLOW A CHILD DAY CARE CENTER AT 1274-1284 BROADWAY AVENUE IN THE COMMERCIAL MIXED USE ZONING DISTRICT.

WHEREAS, Early Development Services, applicant, and City of Seaside, Property Owner, have applied for a Use Permit to allow:

1. The establishment of a 60 student child day care center within an existing commercial development site located at 1274-1284 Broadway Avenue.

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed amendment at a duly noticed public hearing held on February 8, 2017; and

WHEREAS, the project is a Categorically Exempt, Class 1, Section 15301(a) meeting the following conditions:

***Evidence:** The proposed project would involve remodeling the interior of two existing commercial tenant spaces and the renovation of existing off-street parking lots to operate a child day care center. Interior improvements will include minor wall, plumbing and electrical improvements to set-up the reception area, office, classrooms and kitchen. Exterior improvements will be limited to installation of landscaping, small play structures and installation of disable ramp and accessible paths of travel from the parking lots to the commercial buildings/paly structures. The proposed improvements would be exempt from further CEQA review.*

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. UP-16-08:

1) The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Commercial Mixed Use. The land use classification is intended to promote pedestrian oriented activity centers in the community with a mix of residential, commercial, office and civic uses with more specific development standards identified in the Zoning Code. A day care center is a specific land use that is allowed with a use permit per the defined development standards listed under

Section 17.52.050 of the SMC. The project would be consistent with the following General Plan Goals and Policies:

Land Use Element

Goal LU-2: Revitalize existing commercial areas.

Policy LU-2.1: Encourage consolidation of underperforming and under-utilized commercial properties:

***Evidence:** The proposed project will result in the merger of the four separate parcels into a single parcel for the establishment of a child day care center that will include exterior and interior improvements to fully utilize the parcel for the indoor educational and exterior recreation needs of the child day care center. The establishment of a new employment center will also encourage pedestrian activity and provide additional customers for convenience stores and restaurant uses.*

Goal LU-4: Ensure that new development compliments existing land uses and enhances the character of the community and neighborhoods.

Policy LU-4.1: Require that all new development is compatible with surrounding uses, the site, and available infrastructure

***Evidence:** The project site consists of a parcel over 1 acre in size which includes an enclosed building and outdoor open space to adequately accommodate a licensed daycare center for 160 children.*

***Evidence:** The proposed project will include new exterior façade improvements that will include doors, windows, and paint on the building and new fencing, play equipment and landscaping within the open space area to improve the physical appearance of the site and adjoining properties.*

***Evidence:** A new concrete block wall fence will be constructed on the south side adjacent to the alley to screen the outdoor play areas and provide sound attenuation of the play area from the single family dwellings bordering the south side of the alley.*

***Evidence:** The project will allow for the efficient use of an existing infrastructure system with minor improvements in order to accommodate a new daycare center for pre-school and school age children.*

***Evidence:** The Zoning Code requires a minimum of one space per each employee during the busiest shift and one space per 10 children. A*

minimum of 14 parking spaces shall be provided. The project will provide a total of 21 parking spaces.

Urban Design

Goal UD-2: Create and preserve distinct neighborhoods and districts.

Policy UD-2.2: Minimize potential light and sound impacts of new development and redevelopment on surrounding areas.

Evidence: *The proposed project will include the installation of down lit light features at the entrance/exits to the site from the public right-of-way and within the interior of the site to ensure light sources are mainlined on-site and the installation of a new concrete block wall to reduce sound impacts from children playing outside within the recreation hours on the residential neighborhood to the west.*

Economic Element

Goal ED-1: Establish a diverse and balanced mix of businesses that will generate a stable, long-term stream of revenue to fund city services.

Policy ED-1.2: Encourage the full and efficient use of vacant and underutilized parcels in appropriately designated areas to support the development and expansion of targeted commercial facilities.

Evidence: *The conversion of the existing office buildings into a child day care center would allow for the full and efficient use of the entire site on a vacant commercial property facing a primary arterial roadway and would diversify the city's childcare services and childcare job opportunities for both pre-school and school age children.*

- 2) The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

Zoning Ordinance Conformance

This project is located within the RS-8 (Single Family Residential) Zoning District. In accordance with Seaside Municipal Code Section 17.52.050.D, the following standards are used to assess the establishment of day care centers that include more than 15 children.

Parking

In accordance with Section 17.52.080.C.1 of the SMC, a minimum of one space per employee on largest shift plus one space for each 10 children authorized by the state license

is required. The applicant has indicated that she would have eight staff members on-site during busiest shift.

***Evidence:** Per the Zoning Code 14 parking spaces are required. A total of 21 parking spaces will be provided*

***Evidence:** The parking lots will be accessed from Broadway Avenue which is classified as an arterial street. The City staff has determined that the set-up of the parking lot will provide the necessary drop-off and pick-up locations for students and that the depth of the driveway aisle from the drive approach to the front entrance of the building will provide the necessary stacking for vehicles queuing on-site during the peak AM and peak PM loading/unloading periods to avoid any back-ups onto Broadway Avenue. Furthermore, the on-site circulation and parking is sufficient to allow for the loading/unloading of children completely on-site in order to avoid any impacts with traffic circulation and on-street parking on the adjoining collector street (Noche Buena Street) to the east and local street (Palm Avenue) to the south.*

3) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

The proposed improvements for the use will consist of minor interior improvements and exterior improvements consisting of new fencing, new outdoor play equipment, parking lot striping, and pedestrian access requirements. The size of the project site will be in compliance with the maximum limits set by the State of California of one student per 35 square feet of net building area (Net building area excludes bathrooms, hallways, storage rooms and offices) and 75 square feet per student for net exterior play area. The net building area for classroom instruction is 4,035 square feet which will meet the minimum threshold of 2,100 square feet for a maximum of 60 students. The net play area is 4,900 square feet which would meet the minimum threshold of 4,500 square feet of open space of 60 students.

***Evidence:** The project site would be designed to meet maximum occupancy requirements as required for the interior education standards and exterior recreation standards for the establishment of a licensed 60 student child day care center.*

4) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.

***Evidence:** No additional utilities will be required.*

5) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

The granting of a use permit will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

Evidence: *The project site is developed with the minimum interior and exterior square footage requirements standards necessary for a 60 student child day care center; the site will include the construction of a concrete block wall to safely enclose the outdoor play areas and entrances to the site from Broadway Avenue and provide sound attenuation for the surrounding land uses; the necessary off-street parking and proper queuing areas for the drop-off and pick-up of children at peak AM and PM periods will be provided.*

BE IT FURTHER RESOLVED, that the Planning Commission approves Use Permit Application No. UP-16-08 subject to the following conditions:

Project Specific

Planning:

1. Except as modified by required conditions of approval, plans submitted for Architectural Review approval (if applicable) shall substantially conform to the plans identified as “12274-84 Broadway Avenue Early Development Services” stamped as received on “January 5, 2017” and approved on February 8, 2017. Project plans are attached as Exhibit “A”
2. Prior to the issuance of a Building Permit, the exterior design, outdoor lighting, landscaping, and signage improvements shall be reviewed and approved by the Board of Architectural Review. Additional design information shall be provided including, but not limited to, landscaping plans, colors and materials sample, roof plans and detailed elevations.

Public Works:

1. Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Work Department.
2. Proposed project must implement stormwater best management practices (BMPs) during construction.(SMC 8.46)
 - a. Complete and submit the Stormwater Compliance Tracking Form, with signature with building permit application.
 - b. Depending upon the land disturbance proposed, a project specific Erosion and Sediment Control Plan (ESCP) may be required of the applicant prior to building permit issuance.
3. Post-development peak storm water runoff rates shall not exceed predevelopment rate. A pro rata share of the cost of offsite erosion sediment, and flood control

improvements and/or for maintenance to the principal drainage way may be required by the city engineer to handle the increase peak runoff and/or sediment generated by the project.(SMC 15.32.170).

- a. Site plans to clearly show direction of stormwater drainage from new or redeveloped impervious surfaces.
 - b. Proposed site plans to show location of new and existing downspouts.
 - c. New Downspouts and/or overflow from new rain barrels to be directed to permeable surface.
 - d. Drainage shall not be directed to adjacent properties.
4. If the sum of new and redeveloped impervious site coverage area exceeds 2,500 square feet, the project must comply with Resolution R3-2013-0032 Post-Construction Stormwater Management Requirements promulgated by the Central Coast Regional Water Quality Control Board, as required by the City of Seaside's National Pollutant Discharge Elimination System Permit.(SMC 8.46.130)
 - a. On the building permit plans, include a summary of pre and post project impervious site coverage in table format.
5. Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Work Department.
6. Prior to paving or resurfacing the parking lot, the applicant must contact the Planning Division to determine if the improvements must comply with the State of California Low Impact Development Standards.

Fire Department:

1. The interior and exterior improvements shall be installed in accordance with the 2016 California Fire Code.

Building Department:

1. The interior and exterior improvements shall be installed in accordance with the 2016 California Building Code.

Standard:

1. Use Permit approval is subject to revocation procedures contained in S.M.C.S. 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.

2. This Use Permit is subject to procedures and requirements of Chapter 17.54 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Municipal.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
5. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
6. The project shall comply with the requirements and the applicable ordinances of the Transportation Agency of Monterey County (TAMC) for the change in land use from the previous office use.
7. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
8. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
9. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.54.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.
10. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on the 8th of February, 2017, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

John Owens Chairperson

ATTEST:

Planning Commission Secretary

USE PERMIT APPLICATION NO. UP-16-08

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

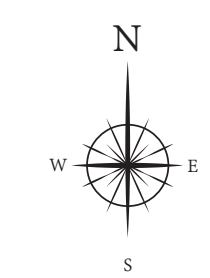
Date

Property Owner's Signature (*if different from above*)

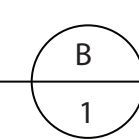
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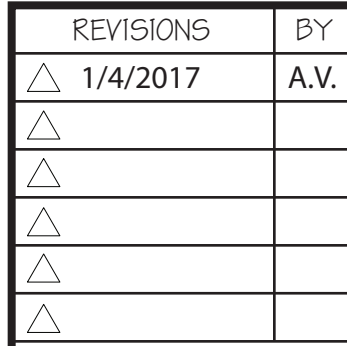
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SCALE: $1/4" = 1' - 0"$



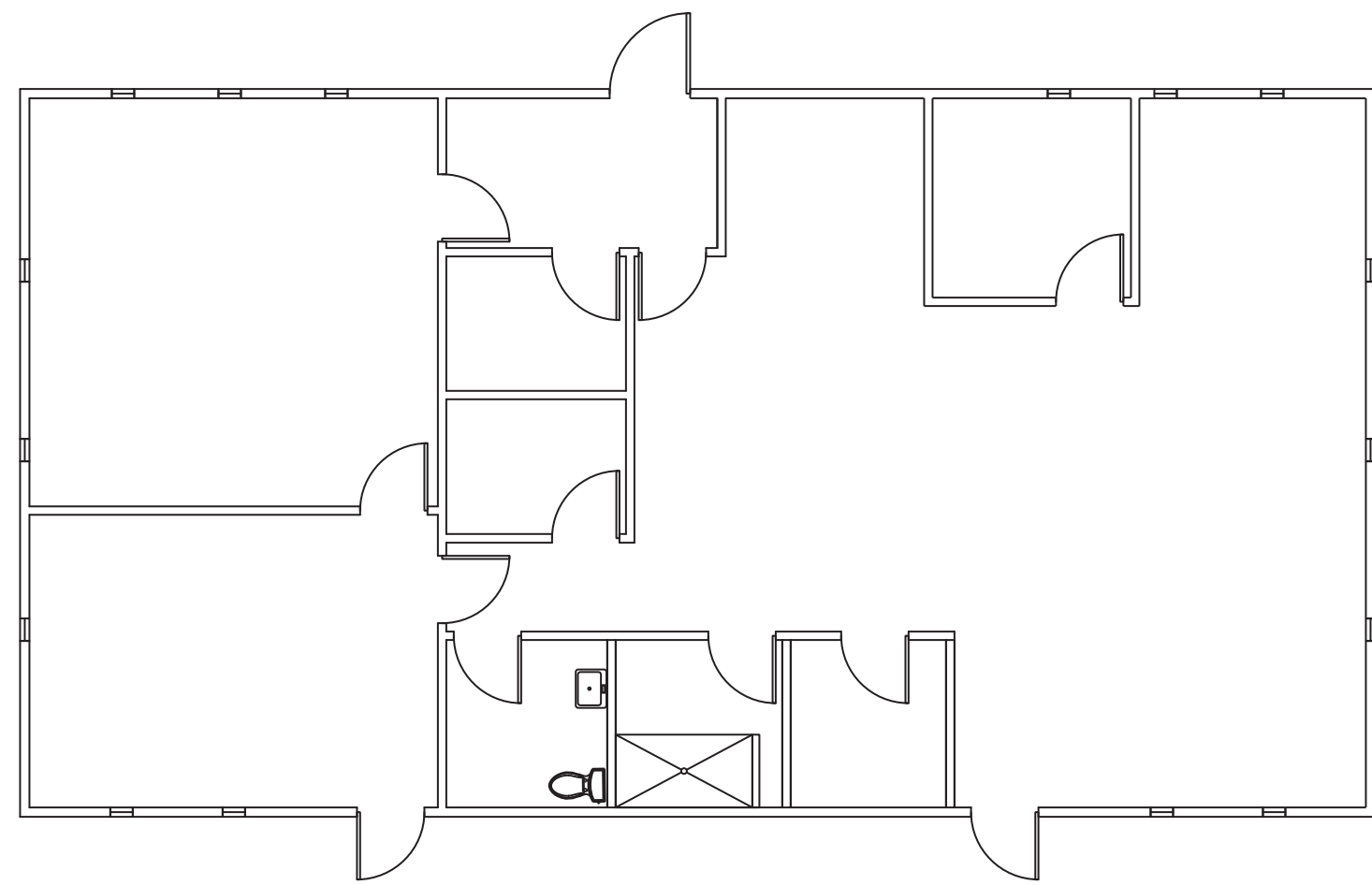
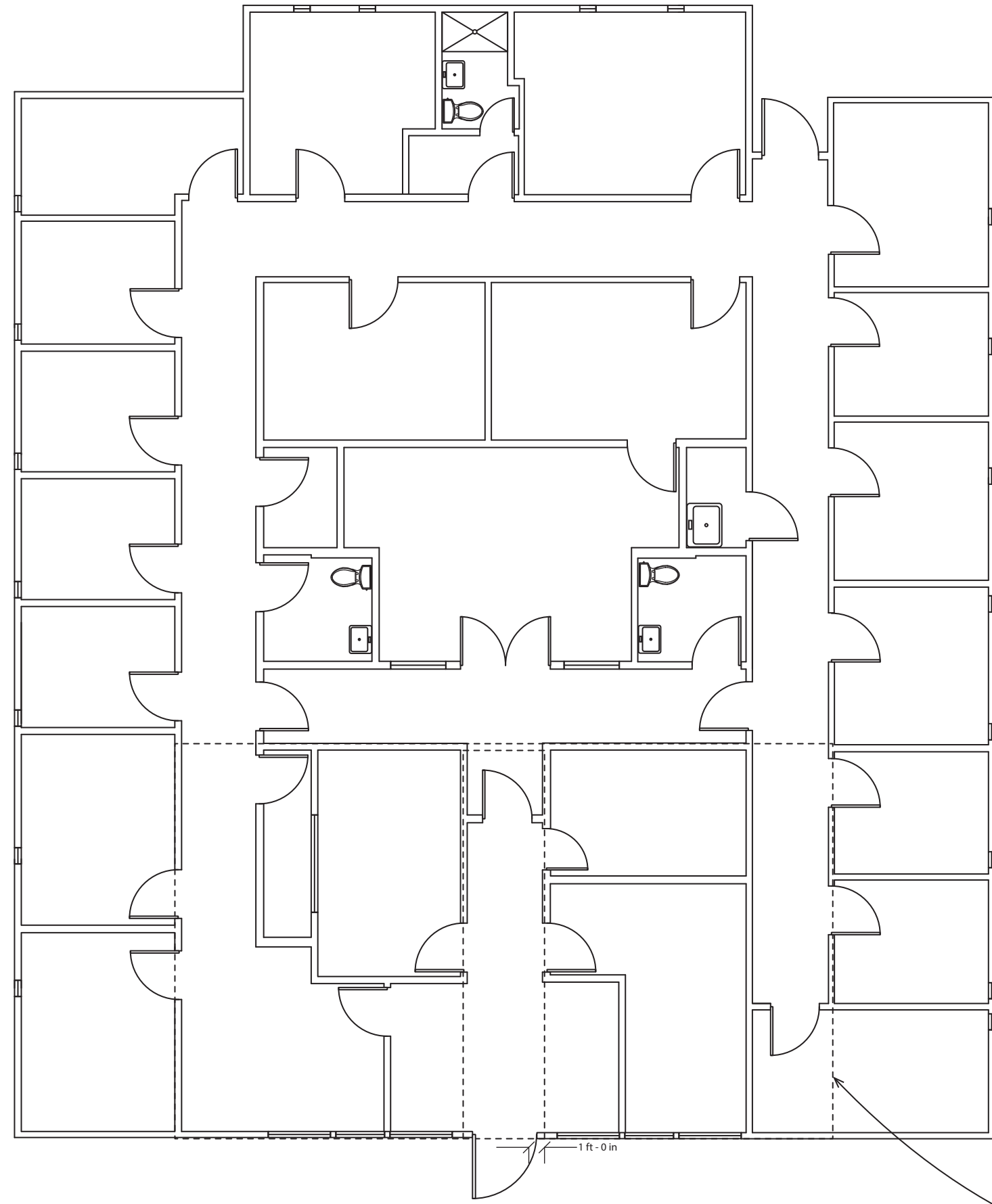
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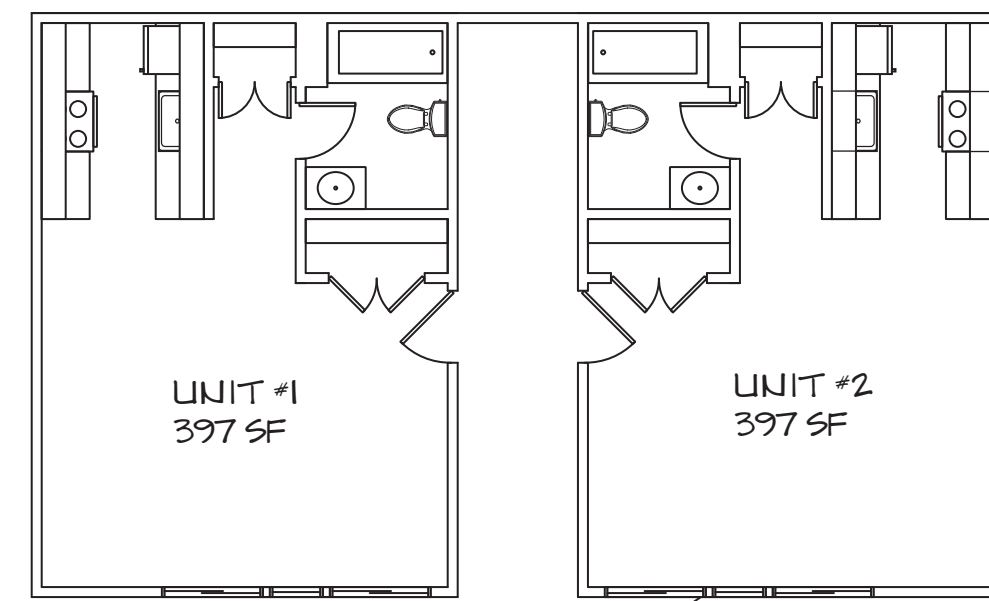
1272 - 1274 BROADWAY AVE. SEASIDE, CA 93955

SITE PLAN

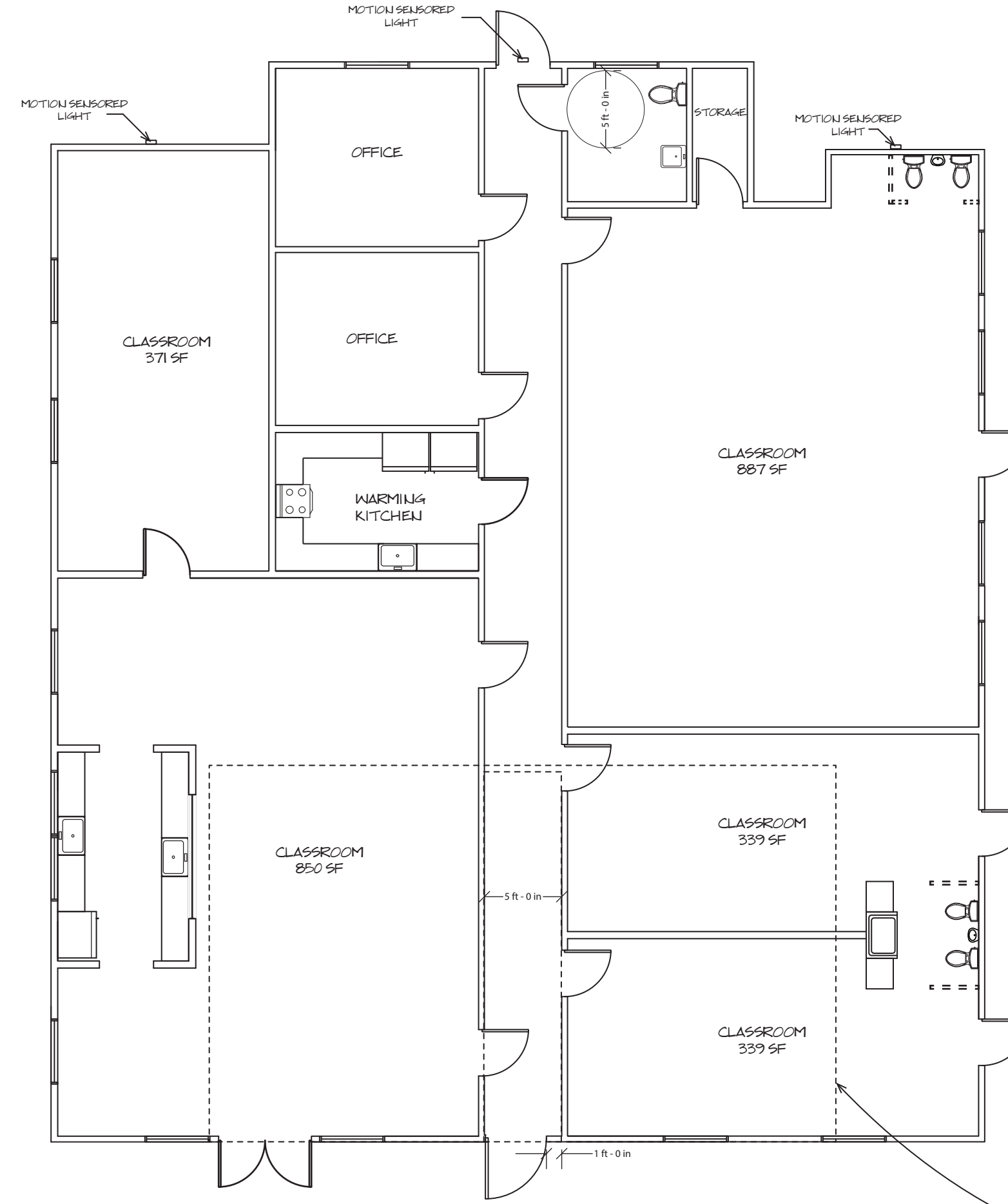
DATE:	12/2/2016
SCALE:	AS NOTED
DRAWN BY:	A. VARGAS
CHECKED:	
JOB NO:	
SHEET:	1



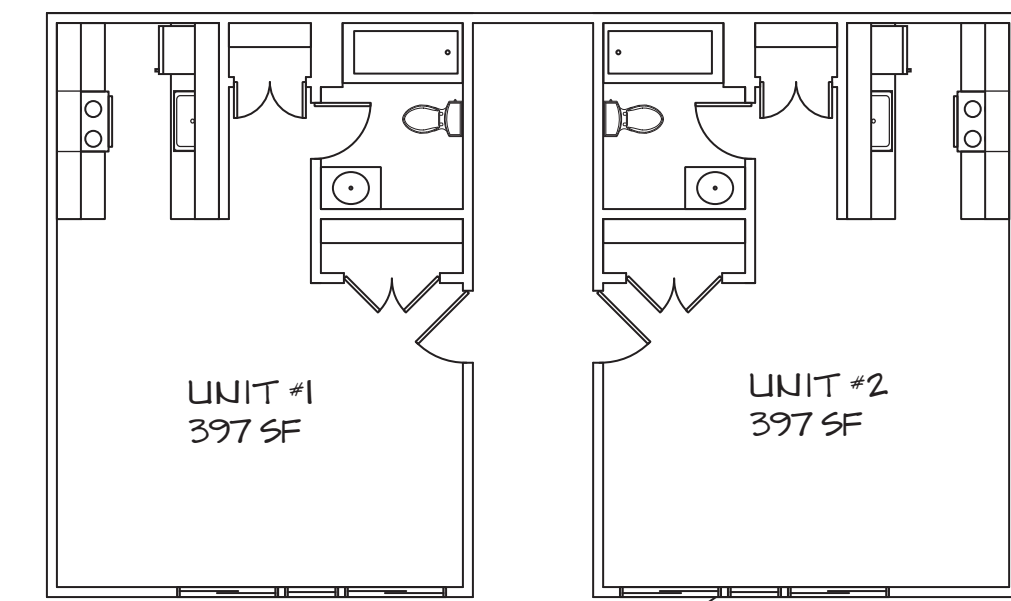
EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



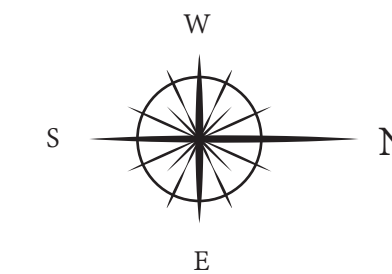
UPSTAIRS UNITS
SCALE: 1/8" = 1'-0"



NEW FLOOR PLAN
SCALE: 1/8" = 1'-0"



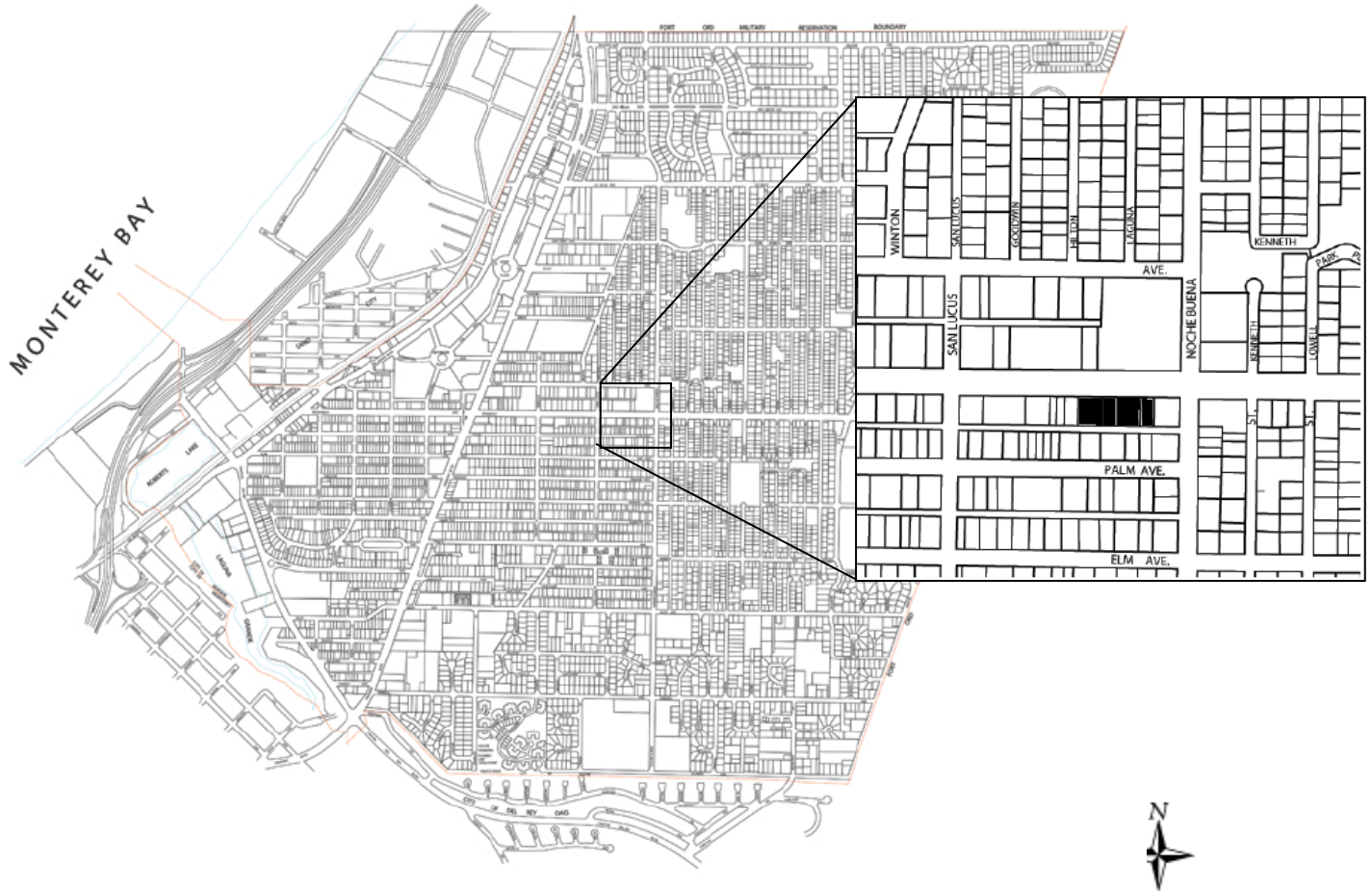
UPSTAIRS UNITS
SCALE: 1/8" = 1'-0"



REVISIONS	BY
△ 1/4/2017	A.V.
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BALESTER CONSTRUCTION, INC. ANTHONY BALESTER EXP. 6/30/2018 GENERAL CONTRACTOR	
DESIGNED BY: BALESTER DESIGNS 540 CALIFORNIA AVE. SAND CITY, CA. 93955 831.920.1763	
EARLY DEVELOPMENT SERVICES 1272 - 1274 BROADWAY AVE., SEASIDE, CA 93955 EXISTING AND NEW FLOOR PLAN	
A11-193-08, 09, 10, 11	
DATE: 12/2/2016 SCALE: AS NOTED DRAWN BY: A. VARGAS CHECKED: JOB NO: SHEET:	
2	

Location Map

Project Site: 1274-80 Broadway Avenue





1277 Broadway Ave

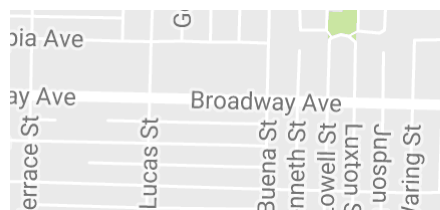
Street view, Broadway facing straight



Image capture: Apr 2015 © 2017 Google

Seaside, California

Street View - Apr 2015





1267 Broadway Ave

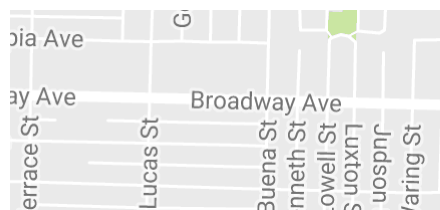
Street view, Broadway facing east



Image capture: Apr 2015 © 2017 Google

Seaside, California

Street View - Apr 2015





1291 Broadway Ave

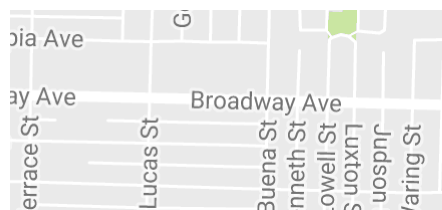
Street view, Broadway facing west



Image capture: Apr 2015 © 2017 Google

Seaside, California

Street View - Apr 2015



Attachment 4

Aerial Photo

Project Location: 1274-1284 Broadway Avenue



Residential Neighborhood to the south



Project Boundaries



Building Boundaries



Recreation Area Adjacent to Aley



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 6.B.

TO: Planning Commission

BY: Rick Medina, Senior Planner

DATE: February 8, 2017

SUBJECT: USE PERMIT APPLICATION NO. UP-16-05. CARLOS CASTRO, PROPERTY OWNER AND APPLICANT, IS REQUESTING THE APPROVAL OF A USE PERMIT TO ALLOW AN INCREASE OF FIVE –BEDS FOR AN EXISTING 10-BED RESIDENTIAL CARE FACILITY LOCATED AT 1201 LA SALLE AVENUE IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.

PURPOSE

In accordance with Section 17.14.030.B (Table 2-4 – Allowed Land Uses and Permit Requirements for Commercial Zones), applicant is seeking use permit approval to allow for an increase of five-beds within an existing 10-beds residential care facility.

RECOMMENDATION

City staff recommends that the Planning Commission approve the requested use permit in accordance with the conditions of approval and project floor plan contained in the Draft Resolution.

BACKGROUND

The existing 10-bed residential care facility was established under Use Permit Application No. U. 13-07 on January 22, 2014. A copy of Resolution No. 14-02 is provided as Attachment 5.

The subject parcel is approximately 8,400 square feet in area and is developed with a 5,450 square foot commercial building and ancillary parking lot. The subject property is located at 1201 La Salle Avenue. The adjacent land uses consist of a retail center to the west, a vacant lot and vacant office building to the north, a multi-family apartment complex to the east, and a mobile home park and 1 of multi-family residential units to the south. A location map is provided as Exhibit "B". Site Photographs are provided as Exhibit "C". Aerial Photo is provided as Attachment 4.

PROJECT DESCRIPTION

Proposed Use

Mariposa Assisted Living is currently licensed by the State of California for a 10-bed Residential Care Facility. The applicant is seeking approval to have the ability to add five additional beds. The applicant has identified on Floor Plan provided as Exhibit "A" to Attachment 1 that rooms 1, 3, 5, 6, 7, and 10 can accommodate multiple beds. The facility is currently full. Under the applicant's existing license, the facility can accommodate a maximum of 15-beds without any change to their existing State License and rules and regulations under Title 22 of the California Government Code. There will be no changes or structural alterations to the interior rooms. The facility presently includes 7 rooms with private half bathrooms and 3 rooms with private full bathrooms. The rooms not having a full bathroom will have access to a shared ADA accessible tub and two ADA accessible shower stalls for bathing.

The facility has trained staff on site 24-hours a day to monitor medication, personal assistance, housekeeping, meals, and laundry. With the increase in the number of beds, a minimum of two staff persons will continue to be on each shift. The facility operates with three 8-hour shifts. The proposed development is designed for senior residents who are still ambulant but who need support in daily activities. The residential care facility will primarily serve persons 55 years and older. However, persons younger than 55 years old may be admitted with a medical waiver specifying their physical disability warranting their need to be placed within an assisted living environment.

Site Access

The site will provide two entry/exits. The main entrance to the facility is located on the left side of the building adjacent to the parking lot facing La Salle Avenue. The entry door on the right side of the building facing La Salle Avenue will be used only as an emergency exit.

Parking

Off-street parking is located at the front and rear of the site. Five spaces, including a disabled parking space are located at the front of the site with an access drive from La Salle Avenue. Two additional parking spaces are located at the rear northwest corner of the site with access from the public alley that borders the site to the west.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301(a): Existing Facilities. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing public or private structures involving negligible or no expansion of use.

Evidence: The proposed project will not involve any remodeling the exterior and/or interior of an existing residential care facility for the purpose of adding five additional beds within six of the 10-rooms. The proposed use is consistent with the Seaside Zoning Code and would not result in an expansion use that would result in a significant impact on the environment.

STAFF ANALYSIS AND FINDINGS

USE PERMIT FINDINGS

In accordance with Seaside Municipal Code (SMC) Section 17.62.070.F, an application for a use permit shall be filed under the use permit process to determine whether the following findings can be made concerning the proposed project:

1) The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Zoning Ordinance Conformance

The project is located within the Community Commercial (CC) Zoning District in which a residential care facility is permitted with use permit approval (S.M.C.S. 17.24.030, Table 2-4). Consistent with the definitions of State law, the Zoning Code defines a residential care facility as a single dwelling or multi-unit facility licensed or supervised by a Federal, State, or Local health/welfare agency that provides 24-hour nonmedical care of unrelated persons who are in need of personal services, supervision, or assistance essential for sustaining the activities of daily living, or for the protection of the individual in a family-like environment.

Evidence: The Zoning Code would require a 15-bed residential care facility to provide eight parking spaces for guests and employees. The applicant is providing a total of three off-street parking spaces which is the maximum amount that can be provided within the existing built-out characteristics of the parcel. Within the vicinity of the project site, there are four on-street parking spaces located directly in front of the site and three on-street parking spaces located to further to the west (See Attachment 5). The applicant has indicated that there is generally two to three visitors a day and with the visits occurring at different hours. Thus far, City staff has not received any negative comments related to off-street parking from either the adjoining residential properties to the south and east or the commercial businesses to the west.

Evidence: Based on the senior clients being served, staff finds that the three parking spaces would continue to adequately serve the project and not have any increased conflicts with the adjoining high density residential multi-family apartments to the east. An alley exists between the project site and retail commercial strip center to the west to provide a buffer between these land uses. Staff supports approving the increase in the number of beds with the existing off-street parking layout.

2) The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Community Commercial (CC). According to the Seaside General Plan, the CC land designation is intended to promote existing or planned retail and service oriented businesses. The proposed project will provide assisted living services both the local population as well as regional population. The project is consistent with the following goals and policies of the Seaside General Plan:

Land Use Element

Goal LU-4: Ensure that new development complements existing land uses and enhances the character of the community and neighborhoods.

Policy LU-4.1: Require that all new develop uses high quality design and materials and is compatible with surrounding uses, the site, and available infrastructure.

***Evidence:** The proposed project will consist of remodeling an existing commercial building to allow for a 15-bed residential care facility. The project will be compatible with the surrounding high density residential uses and commercial uses and will not result in any additional traffic, noise, lighting, and other environmental and quality of life concerns that would result in a detrimental impact on the community. The existing infrastructure will be adequate to accomodate the project.*

Housing Element

Goal H-1: Maintain a range of housing opportunities to address the existing and projected needs of the community.

Policy H-1.1: Maintain a variety of housing types, sizes, and prices throughout the city to increase housing choice and ensure that households of all types and income levels have opportunity to find suitable ownership and rental housing.

***Evidence:** The proposed project will consist of establishing a 15-bed residential care facilityby increasing the number of beds from 10 to 15 within an existing residential care facility. He proposed project will provide high quality, senior housing and will diversify the type of housing within the City.*

3) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *There are no conflicting uses in the immediate area of the proposed residential care facility. Nearby uses in the vicinity includes a two-story 8-unit multi-family apartment building to the east, a mix of duplex/triplex residential units and a mobile home park to the south, a retail commercial strip center to the west, and a vacant parcel to the north. The project entrance is setback from the street and the parking lot is accessible from La Salle Avenue. The project is anticipated to generate minimal traffic and projects of this sort do not generally create a nuisance in the community.*

- 4) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

Evidence: *The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project. As a condition of approval, the applicant must receive clearance from the Monterey Peninsula Water Management District to document an on-site water credit to accommodate a 15-bed residential care facility.*

- 5) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

Evidence: *The granting of a use permit for the additional five-beds will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.*

CONCLUSION

Based on the analysis, staff recommends approval of the use permit. The proposed will comply with the intent of the Seaside General Plan and the requirements of Title 17 of the Seaside Municipal Code.

FISCAL IMPACT

There will be no fiscal impact.

ATTACHMENTS

1. Attachment 1 - Draft Resolution
 2. Attachment 1 Exhibit A - Site Plan
 3. Attachment 1 Exhibit A - Floor Plan/Room Assignment
 4. Attachment 2 - Location Map
 5. Attachment 3 - Site Photos
 6. Attachment 4 - Aerial Photo of Surroundng Area
-

7. Attachment 5 - Planning Commission Resolution 14-02

RESOLUTION NO. 17-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A USE PERMIT TO ALLOW A 10 BED RESIDENTIAL CARE FACILITY AT 1201 LA SALLE AVENUE IN THE COMMUNITY COMMERCIAL ZONING DISTRICT.

WHEREAS, Carlos Castro, property owner and applicant, has applied for a use permit to allow:

1. The establishment of a 15-bed residential care assisted living facility.

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed amendment at a duly noticed public hearing at a public meeting held on January 22, 2014; and

WHEREAS, the project is a Categorically Exempt, Class 1, Section 15301(a) from the California Environmental Quality Act based on meeting the following conditions:

- a) *The proposed project will involve remodeling the interior and exterior of an existing commercial building for the purpose of establishing a 15-bed residential care facility. The proposed use is consistent with the Seaside Zoning Code and would not result in an expansion use that would result in a significant impact on the environment.*

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. UP-16-05:

- 1) The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

Zoning Ordinance Conformance

The project is located within the Community Commercial (CC) Zoning District in which a residential care facility is permitted with use permit approval (S.M.C.S. 17.24.030, Table 2-4). Consistent with the definitions of State law, the Zoning Code defines a residential care facility as a single dwelling or multi-unit facility licensed or supervised by a Federal, State, or Local health/welfare agency that provides 24-hour nonmedical care of unrelated persons who are in need of personal services, supervision, or assistance essential for sustaining the activities of daily living, or for the protection of the individual in a family-like environment.

Evidence: *The Zoning Code would require a 15-bed residential care facility to provide eight parking spaces for guests and employees. The applicant is providing a total of three off-street parking spaces which is the maximum amount that can be provided within the existing built-out*

characteristics of the parcel. Within the vicinity of the project site, there are four on-street parking spaces located directly in front of the site and three on-street parking spaces located to further to the west (See Attachment 5). The applicant has indicated that there is generally two to three visitors a day and with the visits occurring at different hours. Thus far, City staff has not received any negative comments related to off-street parking from either the adjoining residential properties to the south and east or the commercial businesses to the west.

Evidence: *Based on the senior clients being served, staff finds that the three parking spaces would continue to adequately serve the project and not have any increased conflicts with the adjoining high density residential multi-family apartments to the east. An alley exists between the project site and retail commercial strip center to the west to provide a buffer between these land uses. Staff supports approving the increase in the number of beds with the existing off-street parking layout.*

2) The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Community Commercial (CC). According to the Seaside General Plan, the CC land designation is intended to promote existing or planned retail and service oriented businesses. The proposed project will provide assisted living services both the local population as well as regional population. The project is consistent with the following goals and policies of the Seaside General Plan:

Land Use Element

Goal LU-4: **Ensure that new development complements existing land uses and enhances the character of the community and neighborhoods.**

Policy LU-4.1: Require that all new develop uses high quality design and materials and is compatible with surrounding uses, the site, and available infrastructure.

Evidence: *The proposed project will consist of remodeling an existing commercial building to allow for a 15-bed residential care facility. The project will be compatible with the surrounding high density residential uses and commercial uses and will not result in any additional traffic, noise, lighting, and other environmental and quality of life concerns that would result in a detrimental impact on the community. The existing infrastructure will be adequate to accomodate the project.*

Housing Element

Goal H-1: **Maintain a range of housing opportunities to address the existing and projected needs of the community.**

Policy H-1.1: Maintain a variety of housing types, sizes, and prices throughout the city to increase housing choice and ensure that households of all types and income levels have opportunity to find suitable ownership and rental housing.

Evidence: The proposed project will consist of establishing a 15-bed residential care facility by increasing the number of beds from 10 to 15 within an existing residential care facility. The proposed project will provide high quality, senior housing and will diversify the type of housing within the City.

3) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: There are no conflicting uses in the immediate area of the proposed residential care facility. Nearby uses in the vicinity include a two-story 8-unit multi-family apartment building to the east, a mix of duplex/triplex residential units and a mobile home park to the south, a retail commercial strip center to the west, and a vacant parcel to the north. The project entrance is setback from the street and the parking lot is accessible from La Salle Avenue. The project is anticipated to generate minimal traffic and projects of this sort do not generally create a nuisance in the community.

4) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project. As a condition of approval, the applicant must receive clearance from the Monterey Peninsula Water Management District to document an on-site water credit to accommodate a 15-bed residential care facility.

5) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: The granting of a use permit for the additional five-beds will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

BE IT FURTHER RESOLVED, that the Planning Commission approves Use Permit Application No. UP-16-05 subject to the following conditions:

Project Specific

Planning:

1. Prior to the issuance of a Building Permit, the exterior design, outdoor lighting, landscaping, and signage improvements shall be reviewed and approved by the Board of Architectural Review. Additional design information shall be provided including, but not limited to, landscaping plans, colors and materials sample, roof plans and detailed elevations.
2. Except as modified by required conditions of approval, plans submitted for Architectural Review approval shall substantially conform to the plans identified as “La Mariposa Assisted Living” stamped as received on January 23, 2017” and as approved on February 8, 2017.
3. The residential care facility shall be limited to persons of 55 years or older. Persons younger than 55 may be admitted subject to providing a medical waiver specifying the nature of their physical condition which warrants that they need to be placed within an assisted living environment.

Public Works:

4. All work within the public right-of-way must receive an encroachment permit from the Public Works Department.

Fire Department:

5. The proposed project shall comply with the requirements of the 2016 California Fire Code for a 15-bed residential care facility.

Building Department:

6. The proposed project shall comply with the requirements of the 2016 California Building Code for a 15-bed residential care facility.

Standard:

1. Use Permit approval is subject to revocation procedures contained in S.M.C.S. 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.
2. This Use Permit is subject to procedures and requirements of Chapter 17.54 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Municipal.

3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
5. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
6. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
7. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
8. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.54.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.
9. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on February 8, 2017, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

USE PERMIT APPLICATION NO. UP-16-05

Resolution No. 16-05

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature (*if different from above*)

Date

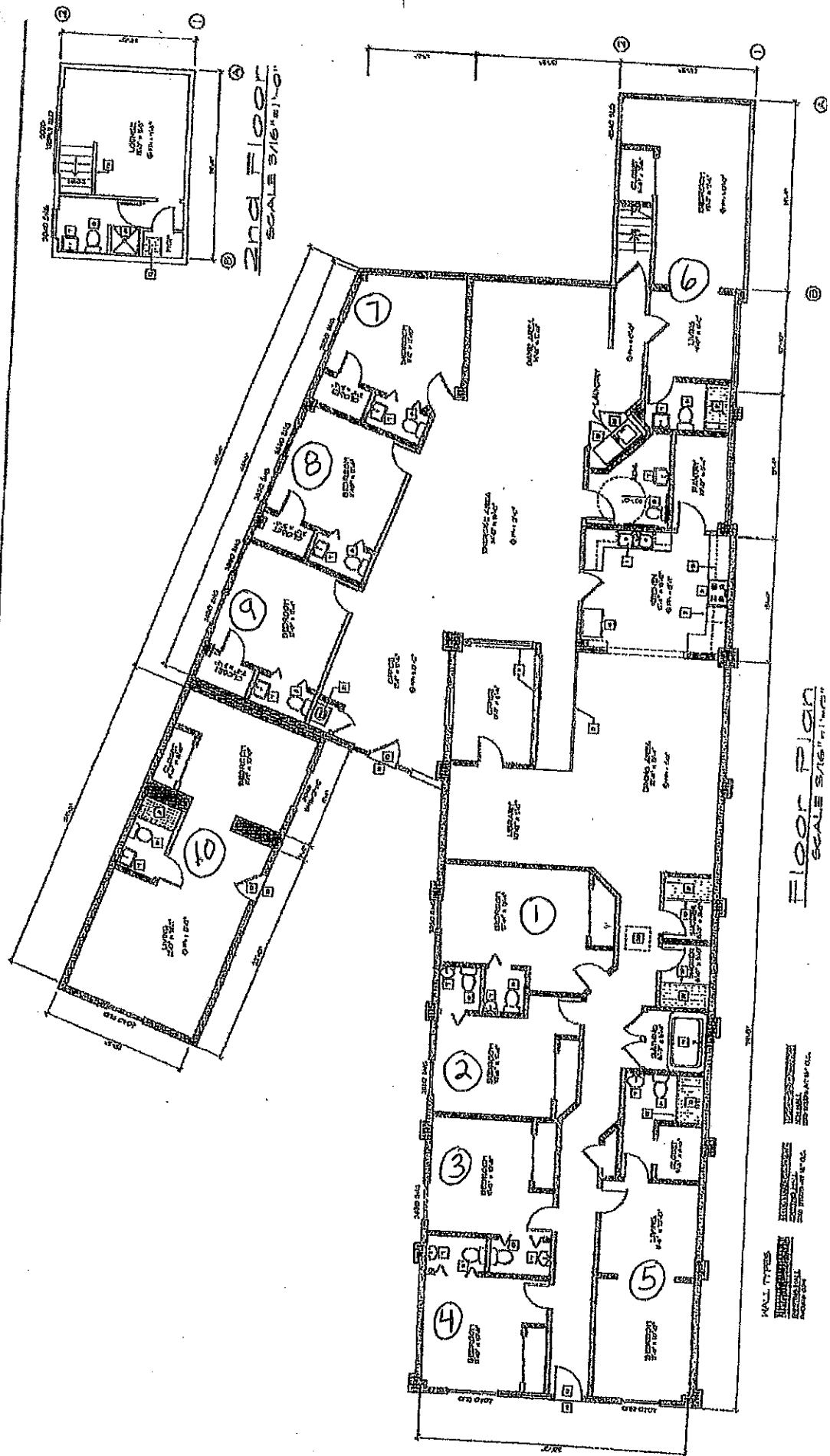
Site Plan



mariposa

Room and Bed Assignment

- ① = 2 BEDS
- ② = 1 BED
- ③ = 2 BEDS
- ④ = 1 BED
- ⑤ = 2 BEDS
- ⑥ = 2 BEDS
- ⑦ = 2 BEDS
- ⑧ = 1 BED
- ⑨ = 1 BED
- ⑩ = 3 BEDS



Location Map

Project Site: 1201 La Salle Avenue





View of Patio Area and Main Entrance



View of Patio Seating Area

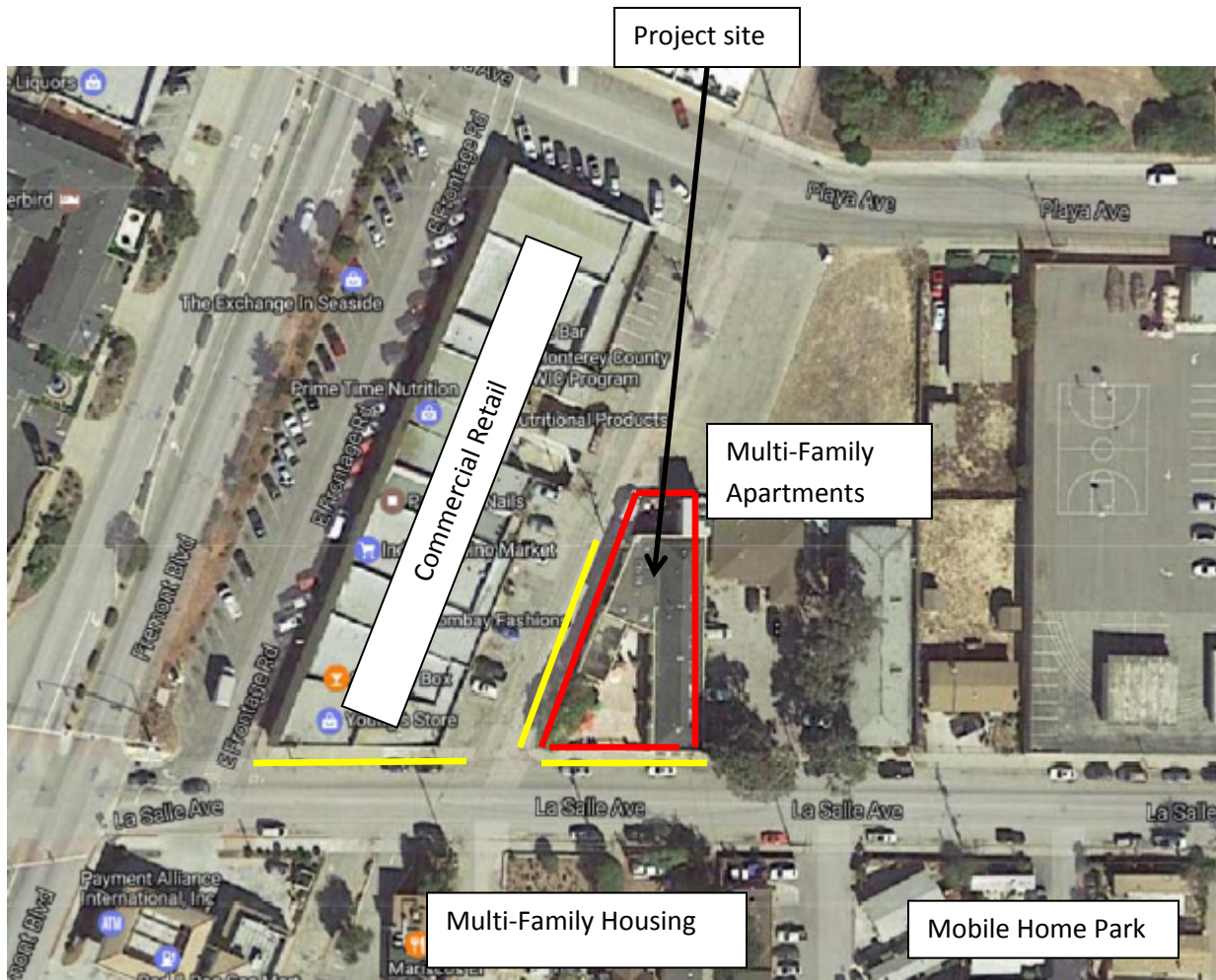


View of Site from La Salle Avenue



View of site from La Salle Avenue

Aerial Map Showing Surrounding Area



RESOLUTION NO. 14-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A USE PERMIT TO ALLOW A 10 BED RESIDENTIAL CARE FACILITY AT 1201 LA SALLE AVENUE IN THE COMMUNITY COMMERCIAL ZONING DISTRICT.

WHEREAS, Sergio Carrillo, applicant, and Carlos Castro, property owner, have applied for a use permit to allow:

- A. The establishment of a 10-bed residential care assisted living facility.

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed amendment at a duly noticed public hearing at a public meeting held on January 22, 2014; and

WHEREAS, the project is a Categorically Exempt, Class 1, Section 15301(a) from the California Environmental Quality Act based on meeting the following conditions:

- a) *The proposed project will involve remodeling the interior and exterior of an existing commercial building for the purpose of establishing a 10-bed residential care facility. The proposed use is consistent with the Seaside Zoning Code and would not result in an expansion use that would result in a significant impact on the environment.*

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. UP-13-07:

- 1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

Evidence: The proposed project is a permitted use in the Community Commercial zoning district as a residential care facility subject to a Use Permit under Seaside Municipal Code Section (SMCS) 17.24.030, Table 2-4: Allowed Land Uses and Permit Requirements.

Evidence: The proposed development would be subject to the regulations set forth in the Seaside General Plan and Zoning Ordinance and would result in an improved site that would enhance the character of the community.

2. **The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.**

Evidence: The location, size, and operating characteristics of the project will be compatible with the character of the site, and the land uses and development intended for the surrounding neighborhood by the Seaside General Plan.

3. **The proposed use is consistent with the General Plan and any applicable specific plan.**

Land Use Element

Goal LU-4: **Ensure that new development complements existing land uses and enhances the character of the community and neighborhoods.**

Policy LU-4.1: Require that all new develop uses high quality design and materials and is compatible with surrounding uses, the site, and available infrastructure.

Evidence: The proposed project will consist of remodeling an existing commercial building to establish a 10-bed residential care facility. The project will be compatible with the surrounding high density residential uses and commercial uses and will not result in any additional traffic, noise, lighting, and other environmental and quality of life concerns that would result in a detrimental impact on the community. The existing infrastructure will be adequatre to accomodate the project.

Housing Element

Goal H-1: **Maintain a range of housing opportunities to address the existing and projected needs of the community.**

Policy H-1.1: Maintain a variety of housing types, sizes, and prices throughout the city to increase housing choice and ensure that households of all types and income levels have opportunity to find suitable ownership and rental housing.

Evidence: The proposed project will consist of establishing a 10-bed residential care facility. The project will provide housing targeted for a growing senior population group.

4. **The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

Evidence: The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.

- 5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

Evidence: The granting of a Use Permit will not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

BE IT FURTHER RESOLVED, that the Planning Commission approves Use Permit Application No. UP-13-07 subject to the following conditions:

Project Specific

Planning:

1. Prior to the issuance of a Building Permit, the exterior design, outdoor lighting, landscaping, and signage improvements shall be reviewed and approved by the Board of Architectural Review. Additional design information shall be provided including, but not limited to, landscaping plans, colors and materials sample, roof plans and detailed elevations.
2. Except as modified by required conditions of approval, plans submitted for Architectural Review approval shall substantially conform to the plans identified as “La Mariposa Assisted Living” stamped as received on January 2, 2014” and as approved on January 22, 2014.
3. The residential care facility shall be limited to persons of 55 years or older. Persons younger than 55 may be admitted subject to providing a medical waiver specifying the nature of their physical condition which warrants that they need to be placed within an assisted living environment.

Public Works:

4. Prior to the issuance of a Building Permit, the applicant shall submit detailed plumbing plans to the Public Works Department to verify whether the proposed kitchen facility must include the installation of a grease trap.
5. All work within the public right-of-way must receive an encroachment permit from the Public Works Department.

Fire Department:

6. The proposed project shall comply with the requirements of the 2013 California Fire Code for a 10-bed residential care facility.

Building Department:

7. The proposed project shall comply with the requirements of the 2013 California Building Code for a 10-bed residential care facility.

Standard:

1. Use Permit approval is subject to revocation procedures contained in S.M.C.S. 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.
2. This Use Permit is subject to procedures and requirements of Chapter 17.54 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Municipal.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
5. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
6. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
7. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
8. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.54.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.

9. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on January 22, 2014, by the following vote:

AYES:	K. Dodson, M. Lechman, P. Mugan, J. Owens, J. Robinson, A. Taketomo
NOES:	D. Ross
ABSENT:	None
ABSTAIN:	None

Paul Mugan, Chairperson

ATTEST:

Planning Commission Secretary

USE PERMIT APPLICATION NO. UP-13-07
Resolution No. 14-02

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature (*if different from above*)

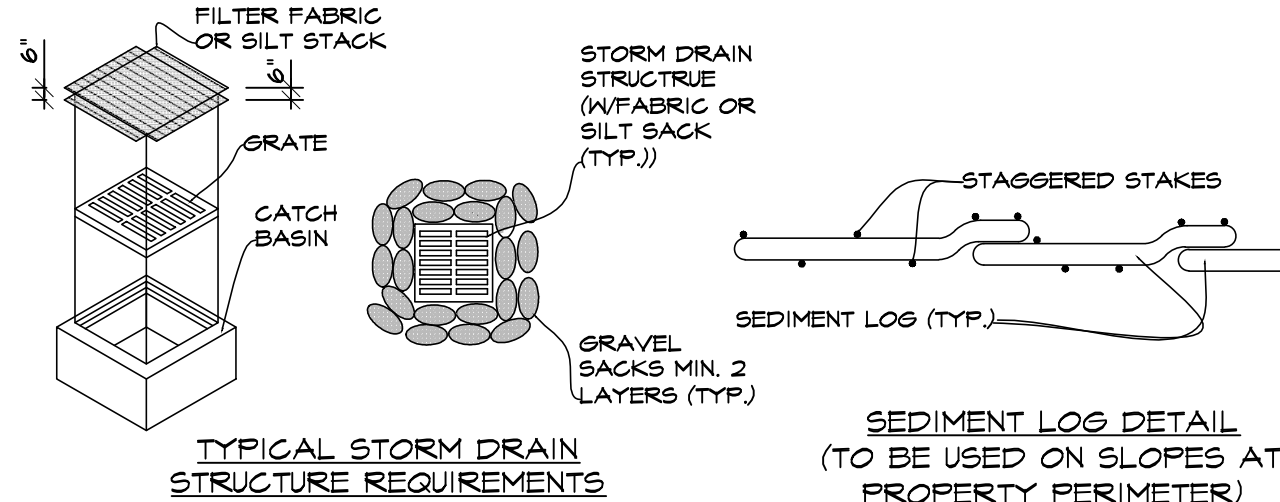
Date

Project Plans

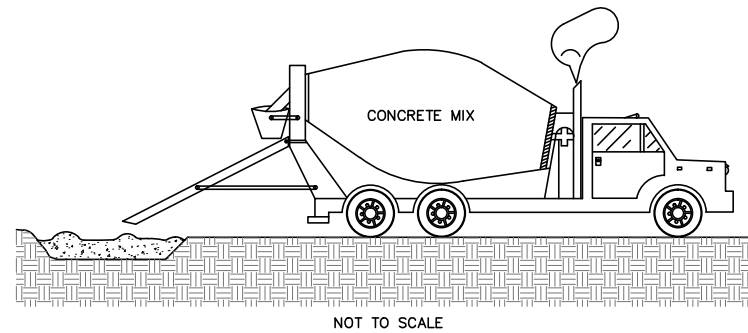
GENERAL NOTES

BEST MANAGEMENT PRACTICES

1. GRAVEL BAGS SHALL BE USED ON ALL DRAINAGE INLETS, ON-SITE TOP OPENINGS AND SITE OPENINGS
2. GRAVEL BAGS SHALL BE USED ON ALL DRAINAGE INLETS IN CITY OF SALINAS RIGHT-OF-WAY IMPACTED BY THE PROJECT (DOWN STREAM INLETS AND FIRST INLET UP STREAM)
3. PLACE TYPE I BARRIAGE OVER DRAINAGE INLET WHEN FILTER FABRIC AND GRAVEL SACKS ARE UTILIZED.
4. INSPECT (AND DOCUMENT EACH INSPECTION) ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS. REMOVE OR TIGHTEN/REPLACE AS NEEDED, DURING EXTENDED RAINFALL EVENTS.
5. REMOVE INLET PROTECTION DEVICES AS SOON AS PRACTICABLE ONCE EVENT IS OVER.
6. PRIOR TO ROLL INSTALLATION, CONTOUR A CONCAVE KEY TRENCH 3" MINIMUM TO 4" INCHES MAXIMUM DEEP/ALONG THE PROPOSED INSTALLATION ROUTE.
7. COVER THE INLET PROTECTION DEVICES WITHIN 30 DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTION IS NO LONGER REQUIRED.
8. SOIL EXCAVATED IN TRENCHING SHOULD BE PLACED ON THE UPWILL OR FLOW SIDE OF THE ROLL TO PREVENT ROLL FROM MOVING.
9. PLACE SEDIMENT ROLL INTO KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN 3" OF EACH END AND THEN EVERY 5' WITH 1" X 2" X 23" WOOD OR METAL STAKES.
10. STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL, WHEN MORE THAN ONE SEDIMENT ROLL IS REQUIRED, THE ROLLS SHOULD BE OVERLAPPED 12" MIN. TO PROVIDE A TIGHT JOINT, NOT ATTRIBUTED TO ONE ANOTHER.



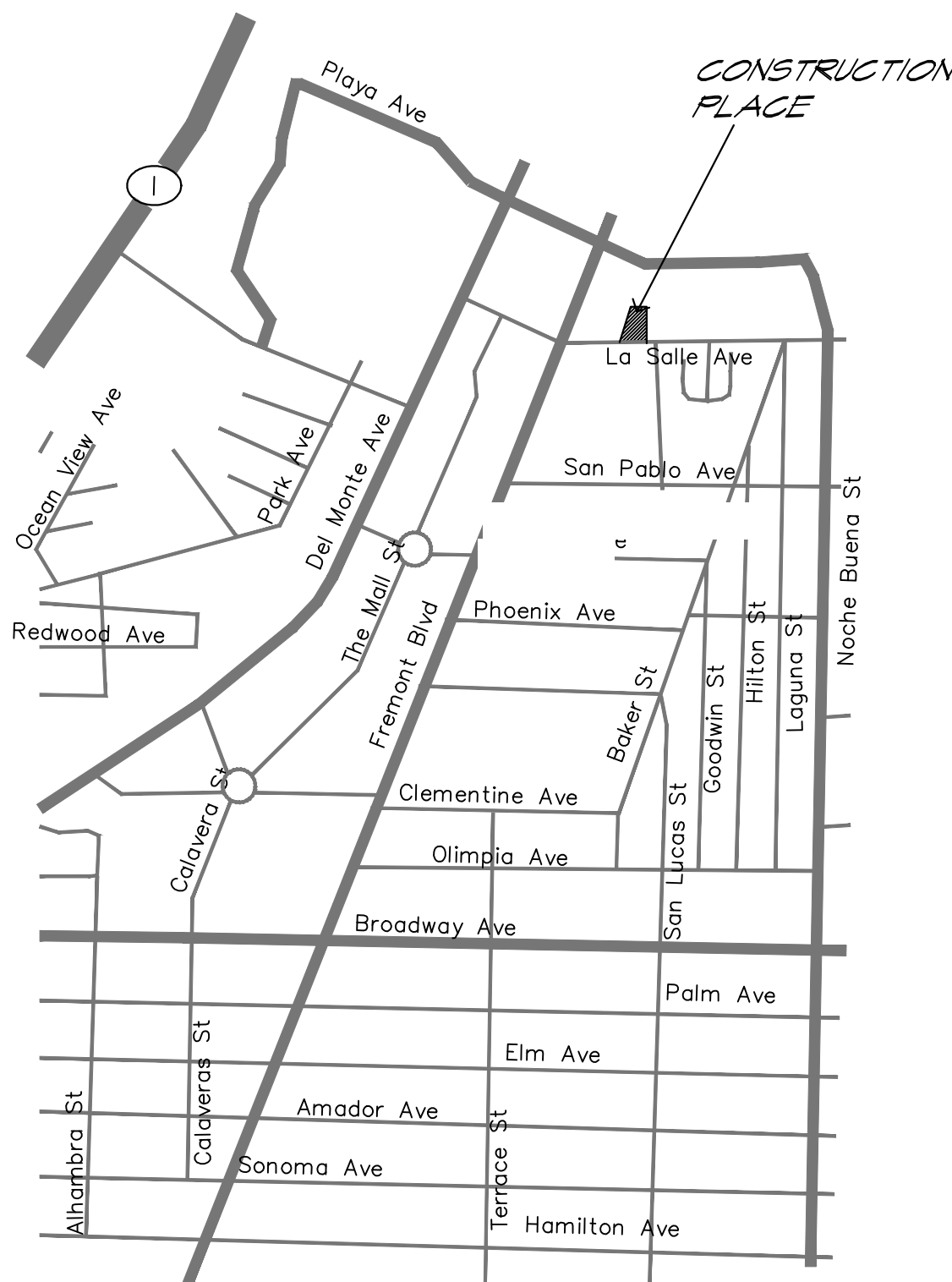
CONCRETE WASTE WASHOUT MANAGEMENT PLAN



- WASH OUT WASTES INTO THE TEMPORARY PIT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.
- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING A FOG OR SPRAYING THE WATER TO A FEW FEET ABOVE.
- DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO THE STREET OR STORM DRAIN. COLLECT AND RETURN SWEEPINGS TO AGGREGATE BASE STOCK PILE, OR DISPOSE IN THE TRASH.

1. GROUNDS OF A RESIDENTIAL CARE FOR THE ELDERLY SERVING ALZHEIMER'S CLIENTS MAY BE FENCED AND GATES THEREIN EQUIPPED WITH LOCKS, PROVIDED SAFE DISPERSAL AREA ARE LOCATED NOT LESS THAN 50 FEET FROM THE BUILDING. DISPERSAL AREAS SHALL BE SIZED TO PROVIDE AN AREA OF NOT LESS THAN 3 SQUARE FEET PER OCCUPANT. (CBC, SECTION 425.8.8)

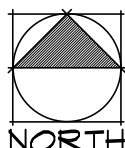
SHEET INDEX

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...WITHIN THE CITY OF SEASIDE

VICINITY MAP

NOT TO SCALE

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CARLOS CASTRO
201 LA SALLE AVE.
SEASIDE, CA, 93955
(831) 435-6808

PROJECT: RESIDENTIAL ADULT CARE CENTER
1201 LA SALLE AVE.
SEASIDE, CA, 93955
APN# 011-095-008

TITLE: SITE PLAN

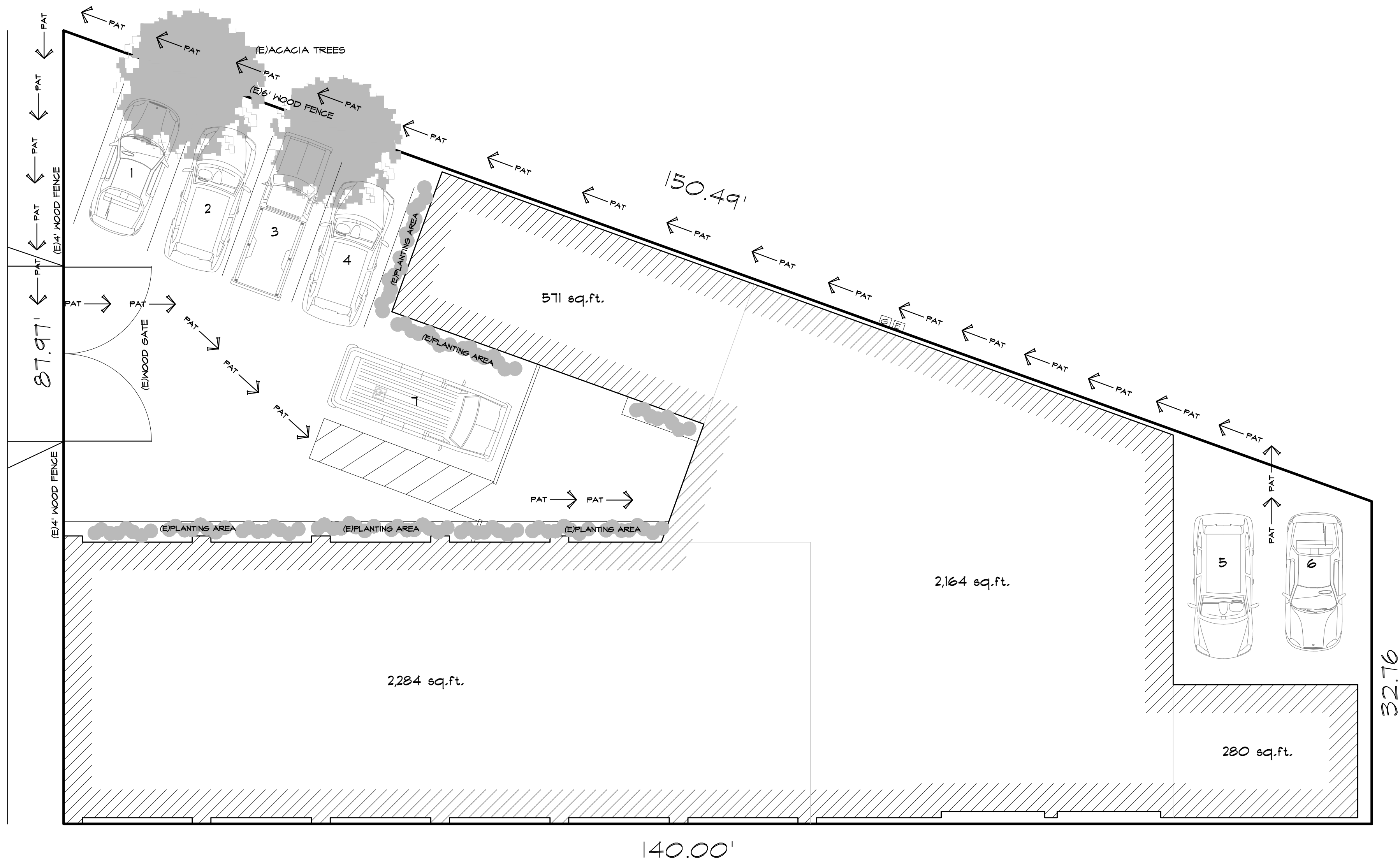
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JOB. NO.
SHEET NUMBER

A-1

OF SHEETS

LA SALLE AVENUE

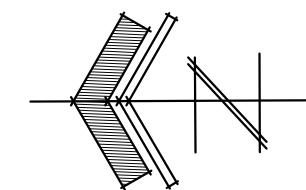
MAIN SEWER



PAT → PATH OF ACCESSIBLE TRAVEL

0 4' 8' 16'

SITE PLAN
SCALE 1/8" = 1'-0"



REVISIONS	BY

REGISTERED PROFESSIONAL ENGINEER

GERONIMO M. DALIVA

No. 065185

EXPIRES 09-30-13

CIVIL

STATE OF CALIFORNIA

Gerri M. Daliva

ENGINEERS & DESIGNERS

11 West Laurel Dr. Suite 225

Seaside, CA 93955

Tel: (831) 435-6808

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PROJECT:

RESIDENTIAL ADULT CARE CENTER

1201 LA SALLE AVE.
SEASIDE, CA 93955
APN# 011-095-008

PLANS FOR:

CARLOS CASTRO

1201 LA SALLE AVE.
SEASIDE, CA 93955
(831) 435-6808

SHEET TITLE:

SITE PLAN

DRAWN ON

CHECKED GO

DATE 11/10/13 [11:00]

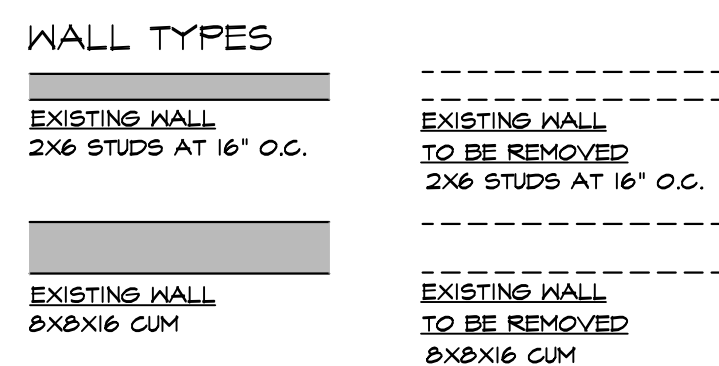
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JOB NO.

SHEET NUMBER

A-1

OF SHEETS



Floor Plan
SCALE 3/16" = 1'-0"

[illegible]

11 West Laurel Dr. Suite 225,
Salinas, CA 93906
Tel: (831)840-4284

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PLANS FOR:

CARLOS CASTRO
1201 LA SALLE AVE.
SEASIDE, CA, 93955
(831)435-6808

PROJECT:

RESIDENTIAL ADULT CARE
CENTER
1201 LA SALLE AVE.
SEASIDE, CA, 93955

SHEET TITLE:

DEMOLITION
PLAN

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SCALE AS NOTED
JOB. NO.
SHEET NUMBER

A-2

OF SHEETS

REVISIONS	BY



Geri M. Daliya
ENGINEERS & DESIGNERS
11 West Laurel Dr. Suite 225,
Sunnyvale, CA 94086
Tel: (831)840-4284

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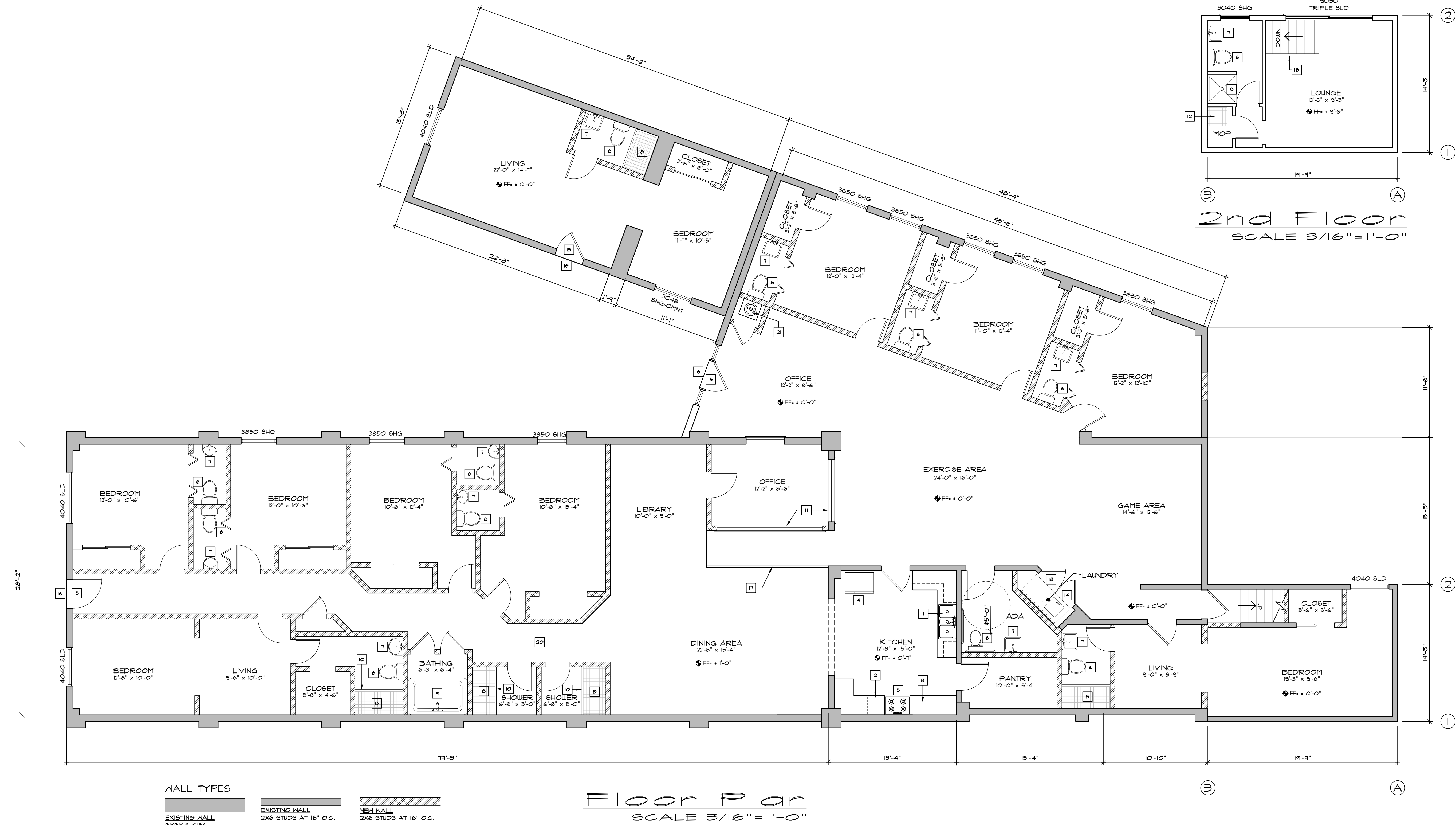
PLANS FOR:
CARLOS CASTRO
1201 LA SALLE AVE.
SEASIDE, CA, 93455
(831)435-6808

PROJECT:
RESIDENTIAL ADULT CARE CENTER
1201 LA SALLE AVE.
SEASIDE, CA, 93455
APN# 011-095-008

SHEET TITLE:
FLOOR PLAN

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JOB NO.	SHEET NUMBER

A-3
OF SHEETS



FLOOR PLAN KEYNOTES

- SINK (MAX FLOW OF 1.6 GPM) W/DISPOSAL W/ GARBAGE DISPOSAL
- 24" DISHWASHER W/ DRAIN TO GARBAGE DISPOSAL
- LINE OF UPPER CABINET ABOVE
- REFRIGERATOR SPACE
- RANGE OVEN W/HOOD LIGHT AND FAN ABOVE. VENT TO EXTERIOR VERIFY DIM. W/WHF.
- LOW FLUSH WATER CLOSED. (1.6 GAL. PER FLUSH MAX.) WATER CLOSET 18" MIN. CENTER LINE TO FINISH WALL
- LAVATORY TO HAVE MAX. FLOW OF 2.2 GPM
- BATH AND/OR SHOWER. 71 1/2" HEIGHT NONABSORBENT (CEMENT PLASTER OR TILE) SURFACE (SHOWEROED TO HAVE MAX. FLOW OF 2.5 GPM. & A THERMOSTATIC MIXING VALVE PER CPC 420.)
- 2 PERSON TUB W/A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120 F
- TEMPERED SAFETY GLASS ENCLOSURE.
- SAFETY GLAZING IDENTIFIED BY THE MANUFACTURER (CRC R308.4)
- 24" FLOOR MOP SINK W/LEVER HANDLE FAUCET AND BACKFLOW PREVENTION DEVICE.
- DRYER SPACE-PROVIDE 4"DIA. VENT TO OUTSIDE W/BACK DRAFT DAMPER.
- WASHER SPACE - PROVIDE HOT AND COLD WATER SUPPLY AND WASTE LINE.
- NOT MORE THAN 7-3/4" LOWER THAN THRESHOLD FOR IN-SWINGING DOOR.
- LANDING PER CBC 1008.1.4 (MIN. 36" AT THE DIRECTION OF TRAVEL FOR ALL EXTERIOR DOORS)
- 34" TO 38" HT. GUARD RAIL @ RAMP; SEE DETAIL.
- 42" MAX. HT. GUARD WALL @ STAIRWAY; (CRC TABLE R301.5)
- FURNACE
- 30"x30" ATTIC ACCESS.
- GAS WATER HEATER-PROVIDE 48" HIGH IND. PLATFORM W/OUTSIDE COMBUSTION AIR VENT THROUGH ROOF OR WALL. STAIRWING SHALL BE AT POINTS WITHIN THE UPPER 1/3' AND LOWER 1/3' OF ITS VERTICAL DIMENSIONS. AT LOWER POINT, A MINIMUM DISTANCE OF 4" SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPINGS.

INTERIOR ENVIRONMENT

1. HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. (CRC R303.1)

2. DETAIL AND SHOW THE ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR. (CRC R303.1.2)

3. FOR THE PURPOSE OF DETERMINING LIGHT AND VENTILATION REQUIREMENTS, ANY ROOM SHALL BE CONSIDERED AS A PORTION OF AN ADJOINING ROOM WHEN AT LEAST ONE-HALF OF THE AREA OF THE COMMON WALL IS OPEN AND UNOBSTRUCTED AND PROVIDES AN OPENING OF NOT LESS THAN 1/6 OF THE FLOOR AREA OF THE INTERIOR ROOM BUT NOT LESS THAN 25 SQUARE FEET. (CRC R303.2)

4. STAIRWAYS WITHIN DWELLING UNITS AND EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ILLUMINATION LEVEL OF NOT LESS THAN 1 FOOT-CANDLE MEASURED AT THE CENTER OF THE TREADS AND LANDINGS. (CRC R303.6)

5. EXTERIOR STAIRWAYS SERVING A DWELLING UNIT SHALL HAVE AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. (CRC R303.6)

6. STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL PROVIDE AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING. (CRC R303.6)

7. HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 4% OF THE FLOOR AREA OF SUCH ROOMS. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED BY SECTION R310 AND AN APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM IS INSTALLED OR A WHOLE HOUSE VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTDOOR AIR OF 15 CUBIC FEET PER MINUTE PER OCCUPANT. (WHOLE HOUSE VENTILATION CALCULATIONS REQUIRED) (CRC R303.1)

8. MINIMUM ROOM WIDTH IN HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL BE NOT LESS THAN 7 FEET IN ANY PLAN WIDTH. (CRC R304.4)

9. MINIMUM HEIGHT OF CEILINGS IN HABITABLE ROOMS IS 7 FEET. SHOW CEILING HEIGHTS OF ALL ROOMS. (CRC R309)

14. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS INSTALLED SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE FLOOR. (CRC R307.2)

MEANS OF EGRESS

1. ALL BEDROOMS, BASEMENTS OR ROOMS USED FOR SLEEPING SHALL HAVE EMERGENCY RESCUE WINDOWS OR DOORS. (CRC R310.1)

A. MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

B. MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET AT GRADE LEVEL FLOOR.

C. MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES.

D. MINIMUM NET CLEAR HEIGHT OF 24 INCHES.

E. WINDOW SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

2. PROVIDE EMERGENCY EGRESS FROM BASEMENT SHALL HAVE A WINDOW WELL. WINDOW WELLS SHALL COMPLY WITH THE FOLLOWING:

A. THE CLEAR HORIZONTAL DIMENSIONS SHALL ALLOW THE WINDOW TO BE FULLY OPENED AND PROVIDE A MINIMUM ACCESSIBLE NET CLEAR OPENING OF 9 5/8" WITH A MINIMUM DIMENSION OF 36 INCHES. (CRC R310.2)

B. WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44 INCHES SHALL BE EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER OR STAIRS. THE LADDER OR STAIRS SHALL NOT ENCRUGH INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL BY MORE THAN 6 INCHES. (CRC R310.2)

3. PROVIDE AND SHOW A LANDING ON EACH SIDE OF THE DOOR. (MINIMUM 36" DEEP X WIDTH OF DOOR). A DOOR MAY SWING OVER LANDINGS THAT IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: AT DOORS OTHER THAN THE MAIN EGRESS DOOR, THE EXTERIOR LANDINGS OR FLOOR SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

TABLE 4.303.2
FIXTURE FLOW RATES

FIXTURE TYPE	FLOW RATE	MAXIMUM FLOW RATE AT ± 20 percent REDUCTION
Showerheads	2.5 gpm @ 80 psi	2 gpm @ 80 psi
Lavatory faucets, residential	2.2 gpm @ 60 psi	1.5 gpm @ 60 psi/2
Kitchen faucets	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi
Gravity tank-type water closets	1.6 gallons/flush	1.28 gallons/flush
Flushometer tank water closets	1.6 gallons/flush	1.28 gallons/flush
Flushometer valve water closets	1.6 gallons/flush	1.28 gallons/flush
Electromechanical hydraulic water closets	1.6 gallons/flush	1.28 gallons/flush
Urinals	1.0 gallon/flush	5 gallon/flush

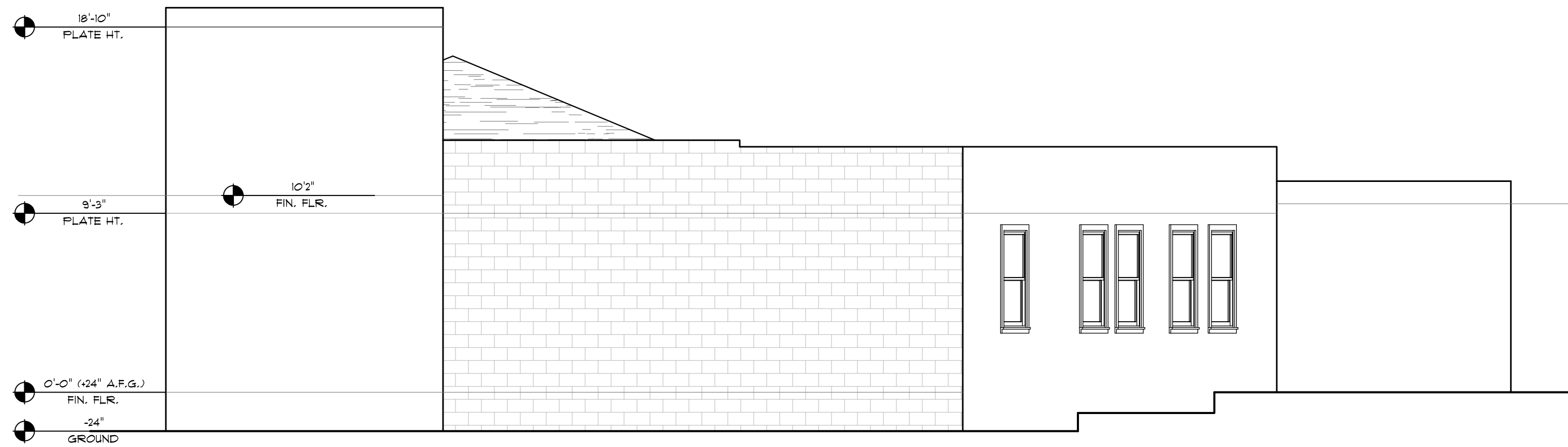
1. Includes single and dual flush water closets with an effective flush of 1.28 gallons or less. Single flush toilets The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASHRAE A112.19.233.2.

Dual flush toilets The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASHRAE A112.19.2 and ASHRAE A112.19.14.

2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.



FRONT ELEVATION
SCALE 3/16"=1'-0"



REAR ELEVATION
SCALE 3/16"=1'-0"

REVISIONS	BY



Geri M. Daliya
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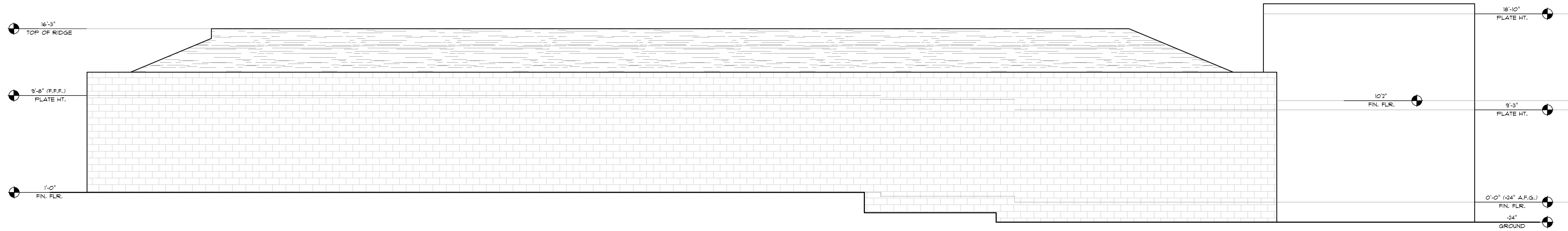
PLANS FOR:
CARLOS CASTRO
1201 LA SALLE AVE.
SEASIDE, CA, 93955
(831)435-6808

PROJECT:
RESIDENTIAL ADULT CARE
CENTER
1201 LA SALLE AVE.
SEASIDE, CA, 93955
APN# 011-095-008

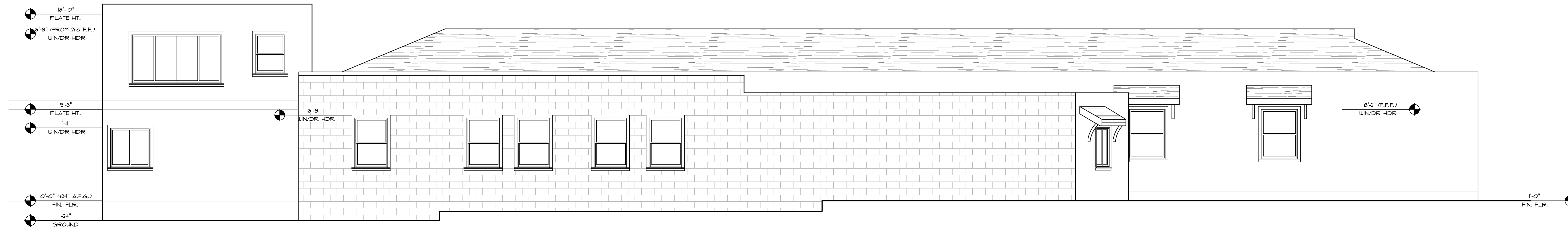
SHEET TITLE:
ELEVATIONS

DRAWN
ON
CHECKED
GO
DATE
11/10/13 [11:00]
SCALE
AS NOTED
JOB. NO.

SHEET NUMBER
A-4.1
OF SHEETS



RIGHT ELEVATION
SCALE 3/16"=1'-0"



LEFT ELEVATION
SCALE 3/16"=1'-0"

REVISIONS	BY

REGISTERED PROFESSIONAL ENGINEER
GERONIMO M. DALIVA
No. 065185
EXPIRES 09-30-13
CIVIL
STATE OF CALIFORNIA

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PLANS FOR:
CARLOS CASTRO
1201 LA SALLE AVE.
SEASIDE, CA 93955
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PROJECT:
RESIDENTIAL ADULT CARE CENTER
1201 LA SALLE AVE.
SEASIDE, CA 93955
APN# 011-095-008

SHEET TITLE:
ELEVATIONS

DRAWN ON
CHECKED GO
DATE 11/10/13 [11:00]
SCALE AS NOTED
JOB. NO.
SHEET NUMBER
A-4.2
OF SHEETS