



A G E N D A
CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
Council Chamber
440 Harcourt Avenue
Wednesday, April 24, 2019
6:00 PM

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

3. PLANNING COMMISSION

John Owens	Chair
Michael Spalletta	Vice Chair
Keith Dodson	Commissioner
Denise Ross	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
Vacant	Commissioner

4. FIELD TRIP - 6:00 PM

The Planning Commission will conduct field trips regarding Agenda Item 8B to 1892 Juarez street and Agenda Item 8D to 1565 Ord Gove Avenue. The Planning Commission will depart from the parking lot in front of City Hall at 6:00 PM. For information about the field trip call 831-899-6707. The regular meeting will start at 7:00 PM.

5. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

6. PUBLIC COMMENT

Members of the public wishing to address the City Council on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

7. APPROVAL OF MINUTES

A. March 20, 2019 AND APRIL 10, 2019

8. BUSINESS ITEMS

- A. VARIANCE APPLICATION NO.19-01 AND USE PERMIT APPLICATION NO.19-08:UNIVERSITY PLAZA SHOPPING CENTER, LLC INC., PROPERTY OWNER, AND THE SEASIDE CALLY CORPORATION, APPLICANT, ARE REQUESTING A VARIANCE TO 17.52.140.F.2 TO ALLOW FOR THE HOURS OF OPERATION UNTIL MIDNIGHT EVERY NIGHT OF THE WEEK, AND A USE PERMIT TO ALLOW FOR A MECHANICAL AND ELECTRONIC GAME CENTER (LYNN'S ARCADE) WITH THE ON-SALE OF BEER WITHIN A 2,760 SQUARE-FOOT TENANT SPACE AT UNIVERSITY PLAZA SHOPPING CENTER LOCATED AT 1760 FREMONT BOULEVARD, SUITE D-1, IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT (APN 012-071-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

RECOMMENDATION: The purpose of this item is for the Planning Commission to consider the approval of a Variance to modify the hours of operation and a Use Permit for a Mechanical and Electronic Game Center (Lynn's Arcade) and on-sale beer. It's recommended the Planning Commission receive the presentation on the proposed project and take action to adopt Variance 19-01 and Use Permit 19-08 in accordance with the Draft Resolution (Attachment 1) and Project Plans (Attachment 1 – Exhibit A).

- B. USE PERMIT APPLICATION NO. UP-19-06. MARC DRAMCHAK, PROPERTY OWNER, AND ALLEN ROBINSON, APPLICANT, ARE REQUESTING USE PERMIT APPROVAL FOR AN EXTERIOR STAIRWAY LEADING TO A 506 SQUARE FOOT ROOF DECK ABOVE A NEW TWO-CAR GARAGE ATTACHED TO ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1892 JUAREZ STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-015-018 AND 039). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

RECOMMENDATION: In accordance with Section 17.12.050 of the Seaside Municipal Code (Table 2-3 Residential Zone Development Standards), Note 6, exterior stairways that would lead to a roof deck within Residential Zone are permitted with the issuance of a use permit.

- C. COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT APPLICATION NO. UP-19-07: E&E CAPLOW LIVING TRUST, PROPERTY OWNER, AND ROBERT FORLOINE (PM DESIGN GROUP), AND SILVIA WYTKIND (MCDONALD'S), APPLICANTS, ARE REQUESTING A USE PERMIT FOR THE REESTABLISHMENT OF A DRIVE-THRU RESTAURANT IN THE LAGUNA GRAND SHOPPING CENTER AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL VISITOR-SERVING RECREATION (CVSC) ZONING DISTRICT (APN'S 011-561-024 AND 011-561-025). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 2, SECTION 15302 (B) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

RECOMMENDATION: To receive the presentation on the proposed restaurant reconstruction including the re-establishment of a drive-through and take action to adopt the Coastal Development Permit 19-02 and Use Permit 19-07 in accordance with the Draft Resolution and Project Plans.

- D. USE PERMIT APPLICATION NO. UP-19-10. CLAY AND LISA MATHEWS, PROPERTY OWNER, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING USE PERMIT APPROVAL FOR AN EXTERIOR STAIRWAY LEADING TO A 539 SQUARE FOOT ROOF DECK ABOVE A NEW TWO-CAR GARAGE ATTACHED TO A ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

RECOMMENDATION: In accordance with Section 17.12.050 of the Seaside Municipal Code (Table 2-3 Residential Zone Development Standards), Note 6, exterior stairways that would lead to a roof deck within Residential Zone are permitted with the issuance of a use permit.

9. REPORTS FROM COMMISSIONERS

10. REPORTS FROM STAFF

11. ADJOURNMENT

Next Regularly Scheduled Meeting:
May 8, 2019
Seaside City Hall
7:00 pm

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 8.A.

TO: Planning Commission

BY: Beth Rocha, Associate Planner

DATE: April 24, 2019

SUBJECT: VARIANCE APPLICATION NO.19-01 AND USE PERMIT APPLICATION NO.19-08:UNIVERSITY PLAZA SHOPPING CENTER, LLC INC., PROPERTY OWNER, AND THE SEASIDE CALLY CORPORATION, APPLICANT, ARE REQUESTING A VARIANCE TO 17.52.140.F.2 TO ALLOW FOR THE HOURS OF OPERATION UNTIL MIDNIGHT EVERY NIGHT OF THE WEEK, AND A USE PERMIT TO ALLOW FOR A MECHANICAL AND ELECTRONIC GAME CENTER (LYNN'S ARCADE) WITH THE ON-SALE OF BEER WITHIN A 2,760 SQUARE-FOOT TENANT SPACE AT UNIVERSITY PLAZA SHOPPING CENTER LOCATED AT 1760 FREMONT BOULEVARD, SUITE D-1, IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT (APN 012-071-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PURPOSE & RECOMMENDATION

The purpose of this item is for the Planning Commission to consider the approval of a Variance to modify the hours of operation and a Use Permit for a Mechanical and Electronic Game Center (Lynn's Arcade) and on-sale beer. It's recommended the Planning Commission receive the presentation on the proposed project and take action to adopt Variance 19-01 and Use Permit 19-08 in accordance with the Draft Resolution (Attachment 1) and Project Plans (Attachment 1 – Exhibit A).

BACKGROUND

The project tenant space is located in the University Plaza Shopping Center, Suite D-1, 1460 Fremont Boulevard in the Community Commercial (CC) Zoning District. The applicant is requesting a Variance to 17.52.140.F.2 to allow for the hours of operation until midnight every night of the week, and a Use Permit to allow for a Mechanical and

Electronic Game Center (Lynn's Arcade) with the on-sale of beer (see Attachment 2: Applicant Letter).

PROJECT DESCRIPTION

Lynn's Arcade will offer 20 pinball machines for play, rotating games on a regular basis. Entrants will pay a set entry fee of \$10-\$15, with all pinball machines set to free play. Prepackaged snacks, food, water, juice, soda, and craft beer will be sold for on-site consumption. An accessory retail component will include the sale of new and used pinball machines and merchandise. There will be 1-2 employees on-hand at all times during open hours and 3-5 persons will be employed by Lynn's Arcade. Suite D-1 is a 2,760 square foot tenant space and will be occupied by pinball machines, bar stools, bar space, and bench seating. There will be seating for 30 individuals. The total open floor space is 2,032sqft. Proposed hours of operation, pending approval of the Variance, will be as follows:

M-F: 3:30PM-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor; and
Sat & Sun: Noon-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor.

The following protocols will be implemented and followed in order to keep track of the entrants to the arcade and their respective ages:

- Entrants younger than 21 years of age will have their hands stamped with a red stamp, a stamp that doesn't change day to day, to denote that they are not of age to drink, but that they did pay at the door.
- 21 year old + entrants will have their hands stamped after viewing and verifying their age from their Identification (ID), with a green stamp. There will be 10+ stamps to rotate through, so that it isn't the same on consecutive days.
- The stamp should be a means of seeing at a glance if someone is of age, or not, and if they have paid to enter.
- Everyone will have to provide proof of legal age, through valid ID, as they purchase beer regardless of the entry stamp.
- When 9:30PM arrives, staff will walk through the space and inform unaccompanied minors that they must leave by 10:00PM. If they are 18+ and want to stay, they must show their ID.

ENVIRONMENTAL REVIEW

The project is Categorically Exempt Class 1, Section 15301(a) from the California Environmental Quality Act.

VARIANCE REVIEW

SMC 17.62.080 outlines the Variance process for City consideration of requests to waive or modify certain standards of this Zoning Ordinance when, because of special circumstances applicable to the property, including location, shape, size, surroundings, topography, or other physical features, the strict application of the development standards otherwise applicable to the property denies the property owner privileges enjoyed by other property owners in the vicinity and in the same zone. The Variance is requested for Seaside Municipal Code (SMC) 17.52.140.F.2 Hours of Operation (Mechanical and Electronic Games and Game Centers), which states:

F. Hours of operation.2. All mechanical or electronic game centers shall be open to business no later than 10:00 p.m. on all days preceding school days and not later than midnight on all other days.

The proposed hours of operation are until midnight on all days, even those preceding school days. However, the establishment would not be open past midnight on any night of the week. Furthermore, the proposed hours of operation and limitations set forth on admittance of minors are consistent with SMC 9.24.010 definition of "Curfew hours" which are between 10PM – 6AM, as between 10PM – Midnight, minors would only be admitted entrance if accompanied by a parent, guardian or other adult person having the care and custody of such minor. The proposed hours of operation are as follows:

M-F: 3:30PM-10PM, All Ages / 10:00PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor; and
Sat & Sun: Noon-10PM, All Ages / 10:00PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor.

In addition to the hours of operations set forth for Mechanical and Electronic Games and Game Centers (SMC 17.52.140.F.2), the SMC only regulates the hours of operation for the following uses:

Cannabis Dispensaries: allowed between 9:00AM – 10:00PM; and
Convenience and Liquor Stores: allowed between 6:00AM - Midnight (SMC 17.52.080.E); and
Public Dances: prohibited between 2:00AM – 6:00AM (SMC 5.52.080).

ZONING REVIEW

The property is located in the CC Zoning District. Arcades are regulated in SMC 17.52.140: Mechanical and Electronic Games and Game Centers and are subject to a Use Permit; SMC 17.14.030, Table 2-4, permits alcoholic beverage sales in the CC zone district subject to Use Permit approval.

A. 17.52.140: Mechanical and Electronic Games and Game Centers:

The Use Permit is required to ensure the game centers operate without adverse

consequences so as to preserve the public health, safety, and welfare of the City. The proposed arcade is located within a shopping center and, therefore, is compliant with the location regulations of 17.52.140.C. Additionally, conditions of approval have been added to the permit that address noise, security, minors (persons), and public nuisances, as outlined in 17.52.140 (see Attachment 1: Resolution).

17.52.140.H specifies that all Use Permits granted for mechanical or electronic game centers shall be subjected to annual review by the Planning Commission, as outlined below and added to the project Conditions of Approval:

1. All Use Permits granted for mechanical or electronic game centers shall be valid for a period of one year. The Use Permit may be reissued annually by the Planning Commission after the Commission has reviewed the operation of the game center and has made the following findings:
 - a. All the conditions of approval of the Use Permit have been met within the required period of time.
 - b. There have been no violations of this Code.
 - c. The game center has caused no significant adverse effect on surrounding business and/or residential neighborhoods or on the community as a whole.
2. The Use Permit may be revoked any time when the conditions of approval or the provisions of this Title have not been met.

B. Alcoholic Beverage Sales:

The on-sale of beer will occur in conjunction with an arcade. City staff finds that the on-sale of alcoholic beverages will be ancillary to the primary business. The sale and consumption of beer will be regulated by requiring 21 year old + patrons to receive a hand stamp at entry by an employee and ID verification, again, as beer is purchased regardless of the stamp.

Public Convenience or Necessity:

For census tract 137, the California Alcohol Beverage Control (ABC) authorizes up to eight on-sale licenses. Our online licensing database shows there are currently 12 active on-sale licenses in census tract 137. ABC would require a Type 40 (on-sale beer) license applicant to obtain a public convenience/necessity (PCN) finding by the City of Seaside for that census tract. The proposed arcade is located in Census Tract 137. According to ABC Salinas district office, there are currently 5 existing off-sale and 8 on-sale retail alcohol licenses within Census Tract 137. Based on the ratio of off-sale retail alcohol licenses per total population in all of Monterey County, the maximum concentration of on-sale alcohol licenses is 9 in this census tract before licenses are considered "over-concentrated." According to information from the ABC, "public convenience or necessity" is established when it is determined that the business provides a benefit to the community. State law does not mandate the criteria used to determine PCN; the determination of a PCN is the responsibility of local jurisdictions. A public convenience or necessity determination allows local jurisdictions to influence

alcohol-outlet density to improve and maintain the quality of neighborhoods. By making a determination of Public Convenience or Necessity (PCN) for the establishment of an additional on-sale alcohol license as part of the business operation for the arcade, the City acknowledges and supports the applicants request for a Type 40 on-sale retail alcohol license from the ABC despite the Tract's "overconcentration" of alcohol-outlet licenses because it is an ancillary use to the primary arcade use and does not pose any risk to the general health, safety, and welfare of the community.

The Police Department has confirmed that the subject property is not in a high crime area and is not an area that is the target of law enforcement activity. The Police Department has not identified any issues of concern regarding the proposed sale of alcoholic beverages in conjunction with the pinball arcade, subject to the recommended Conditions of Approval. "Undue concentration" is determined by the number of licenses in relation to the population within a geographic area.

Findings for Public Convenience or Necessity

1. According to information received from the Seaside Police Department, the subject property is not located in an area that has excessive crime rates nor is it in an area of targeted law enforcement activities.
2. The subject property is located in a heavily developed, urbanized commercial area and is compatible with existing and planned land uses.
3. The on-sale of alcoholic beverage sales will be limited to being sold to patrons who have paid the entrance fee (\$10-\$15), which demonstrates that the on-sale alcoholic beverages will remain as an ancillary retail sale of the arcade and will avoid a bar/cocktail lounge atmosphere.

STAFF ANALYSIS

FINDINGS FOR VARIANCE:

There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, so that the strict application of this Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and within the same zone.

Evidence: The strict application of SMC 17.52.140.F.2: Hours of Operation will deprive the property of the privileges enjoyed by other property in the vicinity and within the same zone. Concerning surroundings and specific to the University Plaza Shopping Center, the existing businesses operate with the following hours: 7-Eleven is open 24 hours and Papa Chevo's is open until midnight (see Attachment 2 for all business hours of operation). Additionally, the SMC regulates the hours of operation for Mechanical and Electronic Game Centers and the following uses:
Cannabis Dispensaries: permitted between 9:00AM – 10:00PM; and

Convenience and Liquor Stores: permitted between 6:00AM - Midnight (SMC 17.52.080.E); and

Public Dances: prohibited between 2:00AM – 6:00AM (SMC 5.52.080); and

The approval of the Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone.

Evidence: Conditions of approval have been added to the permit to ensure that the adjustment to the hours of operation granted through the Variance will not constitute a granting of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone. No other businesses in the shopping center have restricted hours of operation. Additionally, only three other land uses in the SMC have limits placed on the hours of operation: cannabis dispensaries, convenience, liquor stores, and public dances. The limitations set upon Mechanical and Electronic Game Centers is specific to the curfew law, which is addressed in limiting the admittance/presence of minors after 10pm by allowing admittance of minors after 10PM only when accompanied by a parent, guardian or other adult person having the care and custody of such minor.

The Variance is consistent with the General Plan, and any applicable specific plan.

Evidence: The proposed project would consist of a land use consistent with the Community Commercial General Plan Land Use designation that is intended for retail and service oriented business activities primarily serving the local community or neighborhood.

FINDINGS FOR USE PERMIT:

The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: The Seaside General Plan Land Use Designation for the project site is Community Commercial. The land use classification is intended for retail and service oriented business activities primarily serving the local community or neighborhood. Uses may include restaurants, supermarkets, health clubs, retail goods and services, personal services, neighborhood-oriented retail uses. The proposed project would consist of a land use consistent with the Community Commercial General Plan Land Use designation.

The project would be consistent with the following General Plan Goals and Policies:

Land Use Element

Goal LU-4: Ensure that new development compliments existing land uses and enhances the character of the community and neighborhoods.

Policy LU-4.1: Require that all new development is compatible with surrounding uses, the site, and available infrastructure

Evidence: The University Plaza Shopping Center offers a wide variety of retail services, professional offices, and personal services; allowing the arcade business to locate in the subject site provides a convenient personal service for those shoppers/customers who wish to treat themselves to family-friendly entertainment and enhances the commercial viability and opportunities of the shopping center. The interior modifications to the business would not alter or impact the character of the shopping center or introduce any traffic impacts.

Economic Element

Goal ED-1: Establish a diverse and balanced mix of businesses that will generate a stable, long-term stream of revenue to fund city services.

Policy ED-1.2: Diversify the local economy by targeting business development and attraction efforts toward businesses whose economic cycles are less likely to correspond to those of major retailers in the city.

Evidence: The proposed business would introduce a new business opportunity to the city that would diversify the city's ability to serve diverse clientele and to capitalize on the adjacency of the surrounding retail sales/services at the existing shopping center. The proposed use also has the potential to attract visitors from outside the city that would further enhance economic viability of the shopping center and support business expansion and growth in the City of Seaside, as the arcade will be the official location for Monterey Flipper Pinball which also offers a Ladies League and plans to start a Youth League with the opening of Lynn's Arcade.

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: This project is located within the Community Commercial Zoning District. This Zoning District is intended for retail and service oriented businesses activities primarily serving the local community and neighborhood. Seaside Municipal Code Section 17.24.030.B (Table 2-4) requires approval of a Use Permit by the Planning Commission for Mechanical and Electronic Game Centers and for alcoholic beverage sales.

Parking: In accordance with Section 17.34.040.C.1 of the SMC, the city computes

parking requirements for tenants in a shopping center based on the aggregate number spaces required for use. The existing shopping center is currently non-conforming with existing parking standards. In accordance with Section 17.72.030.C.2 of the nonconforming parking regulations, for a non-conforming shopping center the number of spaces on-site shall be maintained and additional parking shall be required for additional floor area. No additional floor will be added. The occupancy of the space with interior tenant improvements will be consistent with the off-street parking standards.

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: The proposed improvements for the use will consist of interior improvements and new exterior signage.

The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: Granting the permit would not be detrimental to any of the elements listed above. Additionally, the annual permit review by the Planning Commission will further ensure that any adverse effects of the business will be heavily considered in the reissuance or denial of the annual permit.

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: Pending Variance approval, the proposed hours of operation will be as follows:

Monday-Friday: 3:30PM-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor; and Saturday & Sunday: Noon-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor. These hours of operation would be compatible with the existing land uses in the shopping center and in the CC zone. Two of the existing businesses are open equal to or later than the proposed arcade: 7-Eleven is open 24 hours and Papa Chevo's is open until midnight.

Findings for Public Convenience or Necessity

1. According to information received from the Seaside Police Department, the subject property is not located in an area that has excessive crime rates nor is it in an area of targeted law enforcement activities.
2. The subject property is located in a heavily developed, urbanized commercial area and is compatible with existing and planned land uses.
3. The on-sale of alcoholic beverage sales will be limited to being sold to 21 year old + patrons who have paid the entrance fee (\$10-\$15), which demonstrates that the on-sale alcoholic beverages will remain as an ancillary to the primary arcade use and will prevent a bar atmosphere.

ATTACHMENTS

1. Attachment 1 - Resolution
 2. Attachment 1 - Exhibit A
 3. Attachment 2 - Applicant Letter
 4. Attachment 3 - University Plaza Shopping Center Tenant Roster
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RESOLUTION NO. 19-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A VARIANCE TO 17.52.140.F.2, ALLOWING FOR THE HOURS OF OPERATION UNTIL MIDNIGHT EVERY NIGHT OF THE WEEK, AND A USE PERMIT TO ALLOW FOR A MECHANICAL AND ELECTRONIC GAME CENTER (LYNN'S ARCADE) WITH THE ON-SALE OF BEER LOCATED AT 1760 FREMONT BOULEVARD, SUITE D-1 IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT.

WHEREAS, University Plaza Shopping Center, LLC, property owner, and The Seaside Cally Corp., applicant have applied for a Variance to operate until midnight every night of the week and Use Permit to allow for a mechanical and electronic game center (Lynn's Arcade), including the on-sale of beer at 1460 Fremont Boulevard in the Suite D-1; and

WHEREAS, Section 17.14.030.B of the Seaside Zoning Code allows the sale of alcoholic beverages in the CC zoning district subject to Use Permit approval; and

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the project is a Categorically Exempt, Class 1, Section 15301(a) meeting the following conditions:

- a) The proposed project would involve remodeling the interior of an existing commercial tenant space located within a multiple-tenant commercial shopping center to operate a mechanical and electronic game center (arcade). Interior improvements will include minor wall and electrical improvements. Proposed improvements would be exempt from further CEQA review.

WHEREAS, a duly notice public hearing has been held on April 24, 2019 whereby the Planning Commission reviewed the staff report, received and considered oral comments concerning the proposed use and acted to grant approval of Variance 19-01 and Use Permit Application No. 19-08 in accordance with Sections 17.62.070 and 17.62.080 of the Seaside Municipal Code; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Variance Application No. 19-01 and Use Permit Application No.19-08:

Findings for Variance:

- 1) There are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, so that the strict application of this Zoning Ordinance deprives the property of privileges enjoyed by other properties in the vicinity and within the same zone.

Evidence: The strict application of SMC 17.52.140.F.2: Hours of Operation will deprive the property of the privileges enjoyed by other property in the vicinity and within the same zone. Concerning surroundings and specific to the University Plaza Shopping Center, the existing businesses operate with the following hours: 7-Eleven is open 24 hours and Papa Chevo's is open until midnight (see Attachment 2 for all business hours of operation). Additionally, the SMC regulates the hours of operation for Mechanical and Electronic Game Centers and the following uses:

- Cannabis Dispensaries: permitted between 9:00AM – 10:00PM
- Convenience and Liquor Stores: permitted between 6:00AM - Midnight (SMC 17.52.080.E); and
- Public Dances: prohibited between 2:00AM – 6:00AM (SMC 5.52.080); and

- 2) The approval of the Variance includes conditions of approval as necessary to ensure that the adjustment granted does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone.

Evidence: Conditions of approval have been added to the permit to ensure that the adjustment to the hours of operation granted through the Variance will not constitute a granting of special privileges inconsistent with the limitations upon other properties in the vicinity and within the same zone. No other businesses in the shopping center have restricted hours of operation. Additionally, only three other land uses in the SMC have limits placed on the hours of operation: cannabis dispensaries, convenience, liquor stores, and public dances. The limitations set upon Mechanical and Electronic Game Centers is specific to the curfew law, which is addressed in limiting the admittance/presence of minors after 10pm by allowing admittance of minors after 10PM only when accompanied by a parent, guardian or other adult person having the care and custody of such minor.

- 3) The Variance is consistent with the General Plan, and any applicable specific plan.

Evidence: *The proposed project would consist of a land use consistent with the Community Commercial General Plan Land Use designation. The land use classification is intended for retail and service oriented business activities primarily serving the local community or neighborhood. Uses may include restaurants, supermarkets, health clubs, retail goods and services, personal services, neighborhood-oriented retail uses. The proposed project would consist of a land use consistent with the Community Commercial General Plan Land Use designation. The project would be consistent with the following General Plan Goals and Policies:*

Findings for Use Permit

- 1) The proposed use is consistent with the General Plan and any applicable specific plan.

Evidence: *The Seaside General Plan Land Use Designation for the project site is Community Commercial. The land use classification is intended for retail and service oriented business activities primarily serving the local community or neighborhood. Uses may include restaurants, supermarkets, health clubs, retail goods and services, personal services, neighborhood-oriented retail uses. The proposed project would consist of a land use consistent with the Community Commercial General Plan Land Use designation. The project would be consistent with the following General Plan Goals and Policies:*

Land Use Element

Goal LU-4: Ensure that new development compliments existing land uses and enhances the character of the community and neighborhoods.

Policy LU-4.1: Require that all new development is compatible with surrounding uses, the site, and available infrastructure

Evidence: *The University Plaza Shopping Center offers a wide variety of retail services, professional offices, and personal services; allowing the arcade business to locate in the subject site provides a convenient personal service for those shoppers/customers who wish to treat themselves to family-friendly entertainment and enhances the commercial viability and opportunities of the shopping center. The interior modifications to the business would not alter or impact the character of the shopping center or introduce any traffic impacts.*

Economic Element

Goal ED-1: Establish a diverse and balanced mix of businesses that will generate a stable, long-term stream of revenue to fund city services.

Policy ED-1.2: Diversify the local economy by targeting business development and attraction efforts toward businesses whose economic cycles are less likely to correspond to those of major retailers in the city.

Evidence: *The proposed business would introduce a new business opportunity to the city that would diversify the city's ability to serve diverse clientele and to capitalize on the adjacency of the surrounding retail sales/services at the existing shopping center. The proposed use also has the potential to attract visitors from outside the city that would further enhance economic viability of the shopping center and support business expansion and growth in the City of Seaside, as the arcade will be the official location for Monterey Flipper Pinball which also offers a Ladies League and plans to start a Youth League with the opening of Lynn's Arcade.*

- 2) The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Evidence: *This project is located within the Community Commercial Zoning District. This zoning district is intended for retail and service oriented businesses activities primarily serving the local community and neighborhood. Seaside Municipal Code Section 17.24.030.B (Table 2-4) requires approval of a Use Permit by the Planning Commission for Mechanical and Electronic Game Centers and for alcoholic beverage sales.*

Parking: In accordance with Section 17.34.040.C.1 of the SMC, the city computes parking requirements for tenants in a shopping center based on the aggregate number spaces required for use. The existing shopping center is currently non-conforming with existing parking standards. In accordance with Section 17.72.030.C.2 of the nonconforming parking regulations, for a non-conforming shopping center the number of spaces on-site shall be maintained and additional parking shall be required for additional floor area. No additional floor will be added. The occupancy of the space with interior tenant improvements will be consistent with the off-street parking standards.

- 3) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *The proposed improvements for the use will consist of interior improvements and new exterior signage.*

- 4) The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.*

- 5) Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: *Granting the permit would not be detrimental to any of the elements listed above. Additionally, the annual permit review by the Planning Commission will further ensure that any adverse effects of the business will be heavily considered in the reissuance or denial of the annual permit.*

- 6) The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *Pending Variance approval, the proposed hours of operation will be as follows:*

Monday-Friday: 3:30PM-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor.

Saturday & Sunday: Noon-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor.

These hours of operation would be compatible with the existing land uses in the shopping center and in the CC zone. Two of the existing businesses are open equal to or later than the proposed arcade: 7-Eleven is open 24 hours and Papa Chevo's is open until midnight.

Findings for Public Convenience or Necessity

1. According to information received from the Seaside Police Department, the subject property is not located in an area that has excessive crime rates nor is it in an area of targeted law enforcement activities.

2. The subject property is located in a heavily developed, urbanized commercial area and is compatible with existing and planned land uses.
3. The on-sale of alcoholic beverage sales will be limited to being sold to 21 year old + patrons who have paid the entrance fee (\$10-\$15), which demonstrates that the on-sale alcoholic beverages will remain as an ancillary to the primary arcade use and will prevent a bar atmosphere.

BE IT FURTHER RESOLVED, that the Planning Commission approves Variance Application No. 19-01 and Use Permit Application No.19-08 subject to the following conditions:

Project Specific

SMC 17.62.080 Variance:

1. Hours of Operation shall be as follows:
Monday-Friday: 3:30PM-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor.
Saturday & Sunday: Noon-10PM, All Ages / 10PM – Midnight, Minors accompanied by a parent, guardian or other adult person having the care and custody of such minor.
2. Entrants younger than 21 years of age will have their hands stamped with a red stamp, a stamp that doesn't change day to day, to denote that they are not of age to drink, but that they did pay at the door.
3. 21 year old + entrants will have their hands stamped after viewing and verifying their age from their Identification (ID), with a green stamp. There will be 10+ stamps to rotate through, so that it isn't the same on consecutive days.
4. When 9:30PM arrives, staff will walk through the space and inform unaccompanied minors that they must leave by 10:00PM. If they are 18 year old + and want to stay, they must show their ID.

SMC 17.52.140.D- Use Permit, Mechanical and Electronic Games and Game Centers:

1. Noise. The operation of any mechanical or electronic game and consequent activities shall not cause the outdoor noise level to exceed 65 decibels measured directly outside of the establishment.
2. Security. The manager(s) of the center shall provide the necessary surveillance so as to prevent the creation of an unfavorable environment.
3. Minors. No minor under the age of 18 shall be permitted in the establishment during the hours that regular school is in session unless such minor is accompanied by a parent, guardian or other adult person having the care and custody of such minor.

4. Public Nuisances. In addition to criminal penalties provided for in this Code, a violation of any provision of this chapter, or any condition caused or permitted to exist in violation of the provisions of this chapter shall and is deemed and declared to be a public nuisance and may be abated as such by the City.

17.52.140.H Use Permit:

1. All Use Permits granted for mechanical or electronic game centers shall be valid for a period of one year. The Use Permit may be reissued annually by the Planning Commission after the Commission has reviewed the operation of the game center and has made the following findings:
 - a. All the conditions of approval of the Use Permit have been met within the required period of time.
 - b. There have been no violations of this Code.
 - c. The game center has caused no significant adverse effect on surrounding business and/or residential neighborhoods or on the community as a whole.
2. The Use Permit may be revoked any time when the conditions of approval or the provisions of this Title have not been met.
 - a. Minor modifications to the use permit consistent with Seaside Municipal Code Section 17.54.090.C may be made subject to the review and approval by the Zoning Administrator and the Planning Commission if such modifications are in keeping with the intent of the original approval,
 - b. Signage is not a part of this review. The applicant shall apply for a separate sign permit for the installation of any permanent exterior or window signs. All signage shall conform to the regulations contained in Master Sign Program.

Alcohol Beverage Sales:

1. Identification will be verified at entry by an employee and a stamp placed on the hand of the individual. Regardless of stamp, identification will be verified when beer is purchased.
2. The sale of beer shall be conducted and operated within the interior of 1760 Fremont Boulevard, Suite D-1.
3. No exterior signs or other forms of on-site advertising, promoting or indicating availability of alcoholic beverage products are permitted to be visible from the exterior of the tenant space.

Fire Department:

1. Prior to the issuance of a Certificate of Occupancy, applicant shall comply with the requirements of the Seaside Fire Marshall for the placement and spacing of the arcade games, seating and bar area.

Building Department:

1. Prior to commencing business, the applicant must receive a Certificate of Occupancy from the Building Division.

Standard:

1. Use Permit approval is subject to revocation procedures contained in SMC 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.
2. This Use Permit is subject to procedures and requirements of Chapter 17.54 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Municipal.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. These conditions shall be binding on the applicant and all successors in interest, subject to the business operations not lapsing for a period 180 consecutive days. In the case of a transfer of ownership, the new owner of the establishment shall sign the adopted Resolution acknowledging these conditions of approval. Failure to comply with this requirement may result in revocation of this Variance and Use Permit.
5. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

6. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
7. Water conservation fixtures shall be provided in the proposed project.
8. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
9. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
10. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.54.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.
11. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on the 24th of April, 2019 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

**Variance Application No. 19-01
and
Use Permit Application No. 19-08**

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

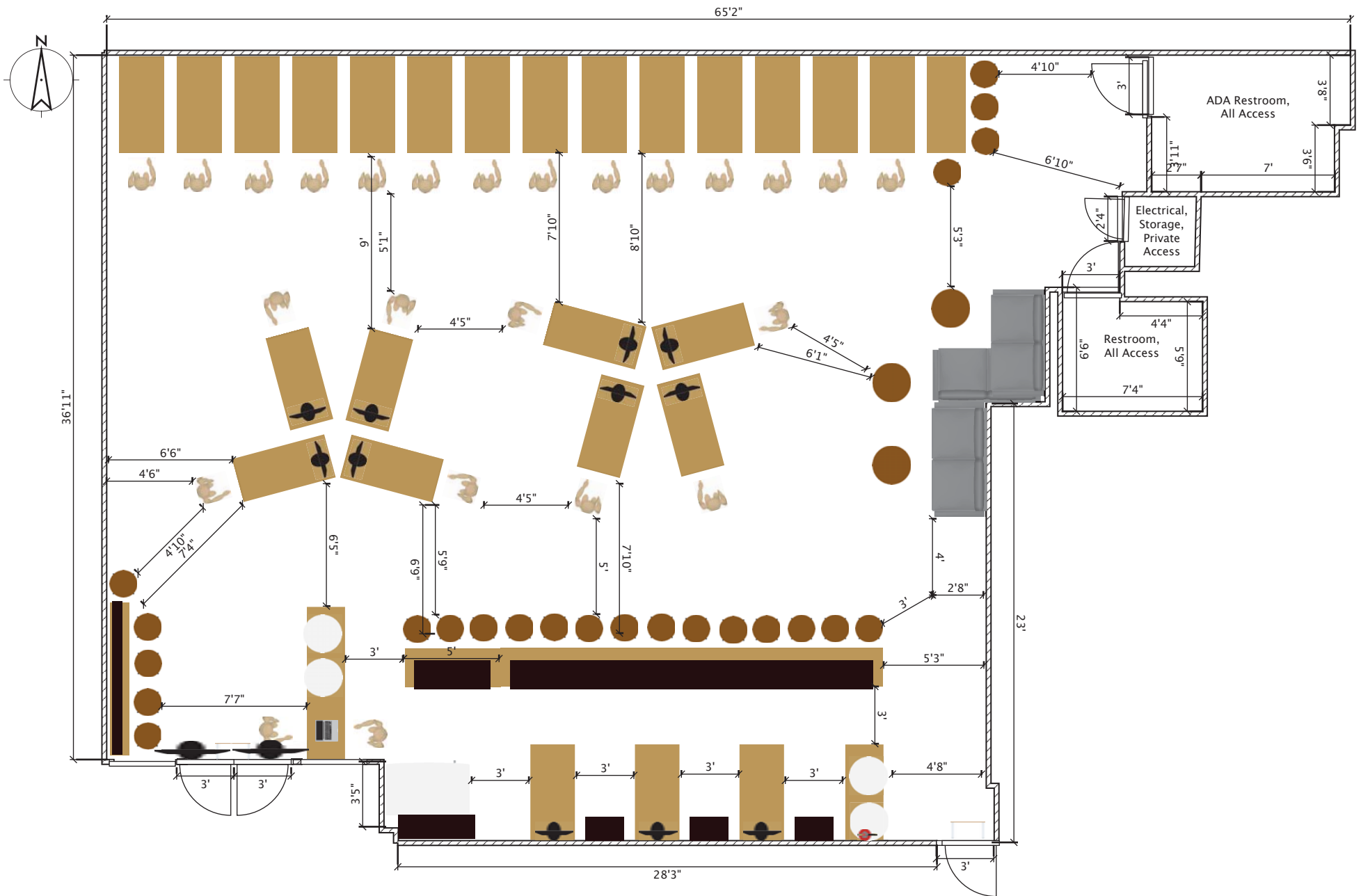
The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature (if different from above)

Date



2019/04/05

To: City of Seaside

Project Description: Lynn's Arcade

For a school project, Jacque Fanene-Tulua's daughter said that the number one business not represented in Seaside is an Arcade. We agree!

To a degree.

Though we plan to offer our arcade as a positive locale for the youth after school, we don't aim to keep them up too late either. Our Arcade is also heavily focused on the adult that wants to continue the experience they knew as a youth.

Lynn's Arcade is a viable business if we are able to operate until Midnight, as the majority of our revenue will come from adults. We will limit admission after 10p, where minors may only be on site when their parent/guardian are present. We believe that our arcade offers the people of Seaside a unique place to have good wholesome fun up until midnight.

Lynn's Arcade plans to offer 20 pinball machines for play, rotating games on a regular basis. Entrants will pay a set entry fee of \$10-15, with all pinball machines set to free play. We plan to sell prepackaged Snacks, Food, Water, Juice, Soda, and Beer for on-site consumption. We will also retail new and used pinball machines as well as merchandise. We will perform service on pinball machines for customers both on site and at customer locations.

We plan to operate the following hours:

Monday-Friday 3:30p-10p All Ages / 10p-Midnight Minors Must be Accompanied by an Adult

Saturday Noon-10p All Ages / 10p-Midnight Minors Must be Accompanied by an Adult

Sunday Noon-10p All Ages / 10p-Midnight Minors Must be Accompanied by an Adult

Lynn's Arcade will provide a social atmosphere for individuals of all ages. Our location will be a good place for kids to go for fun after school. We will be a place for families to have fun together. We also be a place for adults to come with their friends to have fun, perhaps with a craft beverage. We will be the official location for Monterey Flipper Pinball, the local International Flipper Pinball Association endorsed pinball league. MFP also offers a Ladies League and plans to start a Youth League once Lynn's Arcade is opened. Lynn's Arcade is a place to revisit the charm of the original arcade, the pinball machine.

Come play with us.

Tenant Roster with Hours of Operation and Use

Ste #	Tenant	Leased	Days NOT Open	Hours of Operation (typical)			Business Description
		Sq ft		Open (AM)	Close (PM)		
Ground Floor							
A1	Seven Eleven (7-11)	2,700	None	24 Hours			Convenient Store
A2	Papa Chevo's Rest.	1,595	None	6.00	12 Midnight		Restaurant - Limited Service (Breakfast, Lunch Dinner)
B1	The Butter House	3,577	None	6.00	2.30		Restaurant - Full Service (Breakfast & Lunch)
B2	La Oaxaquena, Inc.	1,162	None	9.00	8.00		Retail - Food and Dry Goods
C1	Olympia Cleaners	1,250	Sunday	9.00	6.00		Dry Cleaner (including plant)
C2	Orient Restaurant	1,250	Sunday, Monday	11.00	8.45		Restaurant - Full Service
C3	Estillo Saludable	743	Saturday, Sunday	8.00	9.00		Services - Group Sales Distribution
C4	Fancy Nails	771	Sunday	9.00	7.00		Beauty Salon
D1	SUBJECT TENANT (Lynn's Arcade)	2,760					
D2	Jump N Around Sports	11,646	None	10.00	9.00		Family Entertainment Center (Indoor Playground)
D3	HEXBOX Fitness	2,904	None	6.00	10.00		Fitness Gym & Group Classes
E1	Sun Street Centers	4,146	Saturday, Sunday	8.00	5.00		Education - Drug & Alcohol
F1	Baan Thai Restaurant	1,756	Sunday	11.00	9.00		Restaurant - Full Service
F2	California Cosmetology Academy	9,028	Sunday, Monday	9.00	5.00		Education - Cosmetology School
F3/F4	Leisure by Design	1,941	Saturday, Sunday	8.00	6.00		Office / Showroom (Kitchen & Bath)
F4	w/F3 (Leisure)						
F5	Farmers Insurance	295	Saturday, Sunday	9.00	5.00		Office - Insurance Agent
F6	He Uke Ha Tuluta	742	Saturday, Sunday	9.00	5.00		Office - Cultural Center
G1	A Ramirez Plumbing	717	Saturday, Sunday	6.00	4.00		Office - Plumbing Services
G2	Little Caesars	1,200	None	10.00	10.00		Restaurant - Limited Service
G3	La Estrella Services	910	Saturday, Sunday	9.00	5.00		Office - Tax Accountancy
H1	Oly. Beauty Supply	4,872	Sunday	10.00	7.00		Retail - Beauty Products
H2	California Check Cashing	1,604	Sunday	9.00	8.00		Services - Finance Company
H3	Filipinas Market	2,027	Sunday	10.30	7.30		Retail - Grocery Store
H4	Harumi Japanese Rest	3,498	None	11.00	9.00		Restaurant - Full Service
	Subtotals - Ground Floor	63,092					

UNIVERSITY PLAZA SHOPPING CENTER
1760 FREMONT BOULEVARD, SEASIDE, CA 93955



CITY OF SEASIDE STAFF REPORT

Item No.: 8.B.

TO: Planning Commission

BY: Gloria Stearns, Community Development Manager

DATE: April 24, 2019

SUBJECT: USE PERMIT APPLICATION NO. UP-19-06. MARC DRAMCHAK, PROPERTY OWNER, AND ALLEN ROBINSON, APPLICANT, ARE REQUESTING USE PERMIT APPROVAL FOR AN EXTERIOR STAIRWAY LEADING TO A 506 SQUARE FOOT ROOF DECK ABOVE A NEW TWO-CAR GARAGE ATTACHED TO ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1892 JUAREZ STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-015-018 AND 039). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PURPOSE & RECOMMENDATION

In accordance with Section 17.12.050 of the Seaside Municipal Code (Table 2-3 Residential Zone Development Standards), Note 6, exterior stairways that would lead to a roof deck within Residential Zone are permitted with the issuance of a use permit.

BACKGROUND

EXISTING SITE CONDITIONS

The subject site consists of a 5,625 square-foot parcel located on the east side of Juarez Street between La Salle Avenue to the north and San Pablo Avenue to the south. The property is developed with a 1,074 square-foot, one-story single family dwelling with an attached 225 square-foot, one-car garage built in 1960's. The parcel is relatively flat with a gradual east to west slope within the front yard. The adjoining parcels consist of one-story single family dwellings on the east, north, south and west. Location Map is provided as Attachment 2. Aerial photo is provided as Attachment 3. Site Photographs is provided as Attachment 4.

PROJECT DESCRIPTION

The project consists if a lot merger, remodeling the interior kitchen, additions to existing house

that include a 231 expansion of the garage, a master bedroom and suite, and roof deck over expanded garage with an exterior stairway to roof deck. The exterior stairway will be placed on the rear elevation behind the existing garage. Access to the new garage would be provided from the existing drive approach which would be widened to accommodate the expanded two-car garage. The proposed remodel will also include modifying the roof at the front of the existing dwelling to provide a flat parapet design on front half with the existing gable 5/12 roof remaining on the rear half. With the added square footage from the master bedroom suite, the residence would have 1,600 square feet of living area.

The proposed rooftop deck is located on the front south side of the house and has a proposed top rail height of 2.5 feet which will one-foot above the highest roofline (approximately 15 feet from the ground). The finished floor of the deck will be four feet below the top rail. Project plans are provided as Exhibit A to Attachment 1 (Draft Resolution). The existing gable roof that will remain and the new master bedroom suite will consist of asphalt shingles. The flat roof proposed over the front half of the existing dwelling will consist of a duralast 40 mil cap sheet.

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301(e)(1): Class 1 consists of additions to existing structures involving negligible or no expansion of use.

***Evidence:** The proposed roof deck would consist of an accessory use to the single family that would not have any impact on the environment or materially affect the use of the dwelling and/or mass of the dwelling.*

STAFF ANALYSIS

A use permit shall be filed under the use permit process outlined in Section 17.62.070.F to determine whether the following findings can be made concerning the proposed project:

Finding

1

The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Single Family Low Density Residential. Roof decks consist of an accessory use that would be allowed in a single family dwelling with design review approval. With an exterior stairway, the design review approval is subsequent to the granting of a use permit. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use and Urban Design Goals and Policies: The General Plan provides the following guidelines with respect to Streetscapes/View sheds and land use compatibility:

Goal UD-3: Provide and maintain a streetscape system that protects views and enhances the visual quality and continuity within the community.

Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay,

Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.

Goal LU-4 – Ensure that new development compliments existing land uses and enhances the character of the community and its neighbors.

Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: *The project proposal is compatible with the overall design and scale of surrounding residential land uses. The placement of an exterior stairway on the east rear elevation of a two-car garage leading to the roof deck above the attached two-car garage will not detract from the character of the neighborhood in that stairway would be screened from public view on Juarez Street. Furthermore, the modifications to raise the height of the existing roof line on the front façade of the dwelling and a portion of the side elevations will serve to minimize the appearance of a unbalanced pop-up appearance over one side of the dwelling where the roof deck is located and provide a uniform modern architectural appearance from the public view.*

Single-Family Residential Design Guidelines

The proposed rooftop deck and addition of the garage and front porch will provide breaks in the roofline to provide interest and break-up of the massing. The following Single-Family Residential Design Guidelines support this proposed modification:

“Architectural elements should be designed to eliminate the appearance of box-like buildings,” (II.A.iii.) and, “Avoid box-like appearance through variation in the roofline and building elevations” (III.C.iv.)

The visual impact of the proposed rooftop deck is relevant to design review based on the following Single-Family Residential Design Guidelines item: “Secondary Story or Roof Decks should use appropriate screening measures to reduce privacy invasion (i.e., solid railing walls, latticework and landscaping)” (II.B.ii.c)

Evidence: *The neighborhood has a variety of architectural styles and colors, with ranch and mid-century modern as the predominant architectural styles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.*

Evidence: *Due to a grade differential between the uphill adjacent rear residences to the east, staff finds that the proposed rooftop deck will not significantly impact the viewshed of the adjacent properties.*

Finding

2

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Zoning

Ordinance

Conformance

The proposed additions will comply with all standards of development associated with the RS-8 zoning district as follows:

Evidence: *The applicant has incorporated design features and architectural styles of the existing structure such as plaster siding, panel garage door to have a contextual relationship with the existing neighborhood. As a result of the grade for the garage located slightly above the street, the view of persons on the roof deck would be minimized from both the pedestrian viewpoint and vehicles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.*

1.

Setbacks

Front – 15 feet required - 20 feet proposed

Side - 5 feet required - 5 feet on proposed on south side; 5-foot setback on north side to remain

Rear – 15 feet required – 15 feet proposed

Floor Area Ratio

45% allowed – 28.4% proposed

Lot Coverage

65% allowed – 64% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage proposed to eliminate non-conforming one-car garage.

Height

24 feet – The roof line on the dwelling will measure 14 feet with the roof deck measuring 15 feet to the parapet and top rail.

Finding

3

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: *The proposed exterior stairway has been designed to be screened from the public view and the adjoining properties. The height and scale of the roof deck is compatible with the existing building and adjacent buildings.*

Finding 4

The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: *The site is an existing residence in the RS-8 zoning district. Access to the roof deck*

will be provided by an exterior stairway located at the rear of the residence and will be setback 15 feet from the rear property line. Extension of public utilities is not required for the proposed project. The completion of the exterior stairway will not alter the location of existing utilities or access to the roof deck from the ground level.

Finding 5

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

EVIDENCE: THE CITY OF SEASIDE'S FIRE DEPARTMENT, BUILDING DEPARTMENT AND PUBLIC WORKS DEPARTMENT HAVE REVIEWED THE CONCEPTUAL PROJECT PROPOSAL. THE FIRE DEPARTMENT, BUILDING DEPARTMENT AND PUBLIC WORKS DEPARTMENT HAD NO COMMENTS REGARDING THE PROPOSED ADDITION.

Evidence: *The proposed project is located in the Single-Family Residential (RS-8) zone and is compatible with the existing and planned future single-family residential land uses in the vicinity. The proposed stairway is consistent with the maximum side yard and front yard projections and height limitations allowed by the Zoning Code with a use permit, and does not create significant noise or privacy impacts that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.*

ATTACHMENTS

1. Attachment 1 - Resolution
 2. Attachment 1 Exhibit A - Project Plans
 3. Attachment 2- Location Map
 4. Attachment 3 - Aerial Photos
 5. Attachment 4 - Site Photos
-

RESOLUTION NO. 19-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A USE PERMIT TO ALLOW THE CONSTRUCTION OF AN UNENCLOSED EXTERIOR STAIRWAY LEADING TO A ROOF DECK AT 1892 JUAREZ STREET IN THE SINGLE-FAMILY RESIDENTIAL (RS-8) ZONING DISTRICT.

WHEREAS, Marc Dramchak, property owner, has applied for a use permit to:

- A. Permit the construction of an unenclosed exterior stairway leading to a 506 square foot roof deck above an attached two-car garage on an existing single family residence.

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed Use Permit at a duly noticed public hearing held on April 24, 2019, and

WHEREAS, the project is Categorically Exempt, Class 1, Section 15301(e)(1) from the California Environmental Quality Act Guidelines.

Evidence: The proposed roof deck would consist of an accessory use to the single family that would not have any impact on the environment or materially affect the use and/or mass of the dwelling. The proposed modification would be exempt from CEQA review.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. UP-19-06:

- 1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

Evidence: In accordance with SMC Section 17.12.050, Table 2-3, Development Feature, Height limit, Note (6) states that exterior stairways that would lead to a second floor or roof deck are permitted with the issuance of a Use Permit

- (1) An attached exterior stairway must maintain a minimum 15-foot setback from the rear property line. (Section 17.14.050, Table 2-3, Residential Zone Development Standards)

Evidence: The applicant has incorporated design features and architectural styles of the existing structure such as plaster siding, panel garage door to have a contextual relationship with the existing neighborhood. As a result of the grade for the garage located slightly above the street, the view of persons on the roof deck would be minimized

from both the pedestrian viewpoint and vehicles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.

Setbacks

Front – 15 feet required - 20 feet proposed

Side - 5 feet required - 5 feet on proposed on south side and 5-foot setback on north side will remain feet.

Rear – 15 feet required – 15 feet proposed

Floor Area Ratio

45% allowed – 28.4% proposed

Lot Coverage

65% allowed – 64% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage proposed to eliminate non-conforming one-car garage.

Height

24 feet – The roof line on the dwelling will measure 14 feet with the roof deck measuring 15 feet to the parapet and 15 feet to the top rail.

2. The proposed use is consistent with the General Plan and any applicable specific plan. Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Low Density Single-Family Residential. This land use classification is intended for existing or planned detached single-family residential units, including exterior stairways. The project would be consistent with the following General Plan Goals and Policies:

Land Use Element

Goal UD-3: Provide and maintain a streetscape system that protects views and enhances the visual quality and continuity within the community.

Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.

Goal LU-4 – Ensure that new development compliments existing land uses and enhances the character of the community and its neighbors.

Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: The project proposal is compatible with the overall design and scale of surrounding residential land uses. The placement of an exterior stairway on the east rear elevation of a two-car garage leading to the roof deck above the attached two-car garage will not detract from the character of the neighborhood in that stairway would be screened from public view on Juarez Street. Furthermore, the modifications to raise the height of the existing roof line on the front façade of the dwelling and a portion of the side elevations will serve to minimize the appearance of a unbalanced pop-up appearance over one side of the dwelling where the roof deck is located and provide a uniform modern architectural appearance from the public view.

Single-Family Residential Design Guidelines

The proposed rooftop deck and addition of the garage and front porch will provide breaks in the roofline to provide interest and break-up of the massing. The following Single-Family Residential Design Guidelines support this proposed modification:

“Architectural elements should be designed to eliminate the appearance of box-like buildings,” (II.A.iii.) and, “Avoid box-like appearance through variation in the roofline and building elevations” (III.C.iv.)

The visual impact of the proposed rooftop deck is relevant to design review based on the following Single-Family Residential Design Guidelines item: “Secondary Story or Roof Decks should use appropriate screening measures to reduce privacy invasion (i.e., solid railing walls, latticework and landscaping)” (II.B.ii.c)

Evidence: The neighborhood has a variety of architectural styles and colors, with ranch and mid-century modern as the predominant architectural styles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.

Evidence: Due to a grade differential between the uphill adjacent rear residences to the east, staff finds that the proposed rooftop deck will not significantly impact the viewshed of the adjacent properties.

- 3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.**

Evidence: The exterior stairway is an accessory use to the main dwelling and therefore does not alter the operating characteristics of the dwelling or enjoyment of the other properties in the neighborhood.

- 4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

Evidence: The site is an existing residence in the RS-8 zoning district. Access to the roof deck will be provided by an exterior stairway located at the rear of the residence and will be setback 15 feet from the rear property line. Extension of public utilities is not required for the proposed project. The completion of the exterior stairway will not alter the location of existing utilities or access to the roof deck from the ground level.

- 5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

Evidence: The City of Seaside's Fire Department, Building Department and Public Works Department have reviewed the conceptual project proposal. The Fire Department, Building Department and Public Works Department had no comments regarding the proposed addition.

Evidence: The proposed project is located in the Single-Family Residential (RS-8) zone and is compatible with the existing and planned future single-family residential land uses in the vicinity. The proposed stairway is consistent with the maximum side yard and front yard projections and height limitations allowed by the Zoning Code with a use permit, and does not create significant noise or privacy impacts that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

NOW THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission approves Use Permit Application No. UP-19-06 subject to the following conditions:

Project Specific

Planning:

1. Except as modified by required conditions of approval, plans submitted for a Building Permit shall substantially conform to the plans identified as "Exterior Stair to Roof Deck" stamped as received on March 21, 2019, and approved on April 24, 2019. The use permit is approved to allow an exterior stairway in accordance with the project plans provided as Attachment 1.
2. Minor modifications to the use permit consistent with Seaside Municipal Code Section 17.54.090.C may be made subject to the review and approval by the Zoning Administrator and the Planning Commission if such modifications are in keeping with the intent of the original approval.

3. Board of Architectural Review approval shall be received prior to the issuance of a Building Permit for the exterior stairway.

Fire Department:

1. Prior to the issuance of a Certificate of Occupancy, applicant shall comply with the requirements of the Seaside Fire Marshall for compliance with the 2016 California Building and Fire Code.

Building Department:

2. Projects must comply with the 2016 California Code of Regulations, Title 24, and California Law in effect at the time of the plan submittal.

Standard:

1. Use Permit approval is subject to revocation procedures contained in SMC 17.80.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner.
2. This Use Permit is subject to procedures and requirements of Chapter 17.64 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Seaside Municipal Code.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
5. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
6. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.

7. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
8. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced construction within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.64.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.
9. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on the 24th day of April, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

RESOLUTION No. 19-XX
USE PERMIT APPLICATION NO. UP-19-06

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

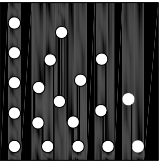
The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature (*if different from above*)

Date



THE SIENNA COMPANY, INC.

Project Development Consulting
Architecture
Planning
Construction Management

406 Calle Principal
Monterey, CA 93940

Office: 831.641.9090

Email: arobinson@thesiennacompany.com

Web: www.thesiennacompany.com



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Consultants:

Project:

Dranchak
Remodel &
Additions

Project Address:

1892 Juarez Street
Seaside, CA 93955
APN 012-015-018 & 039

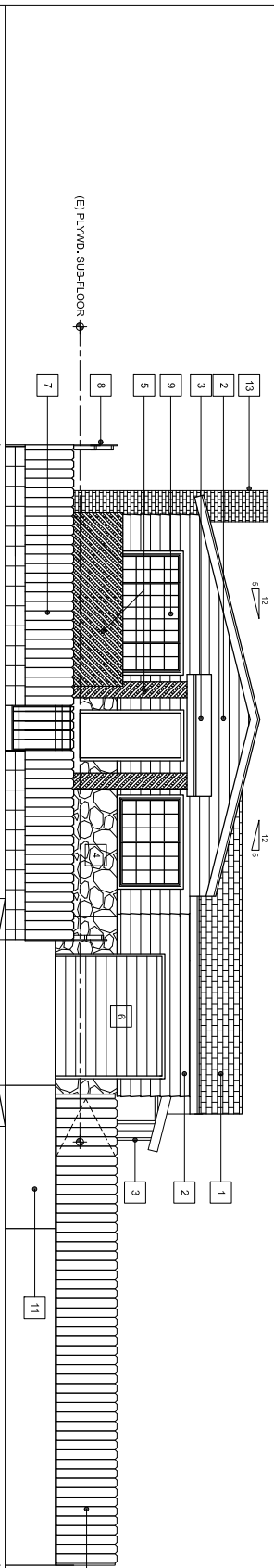
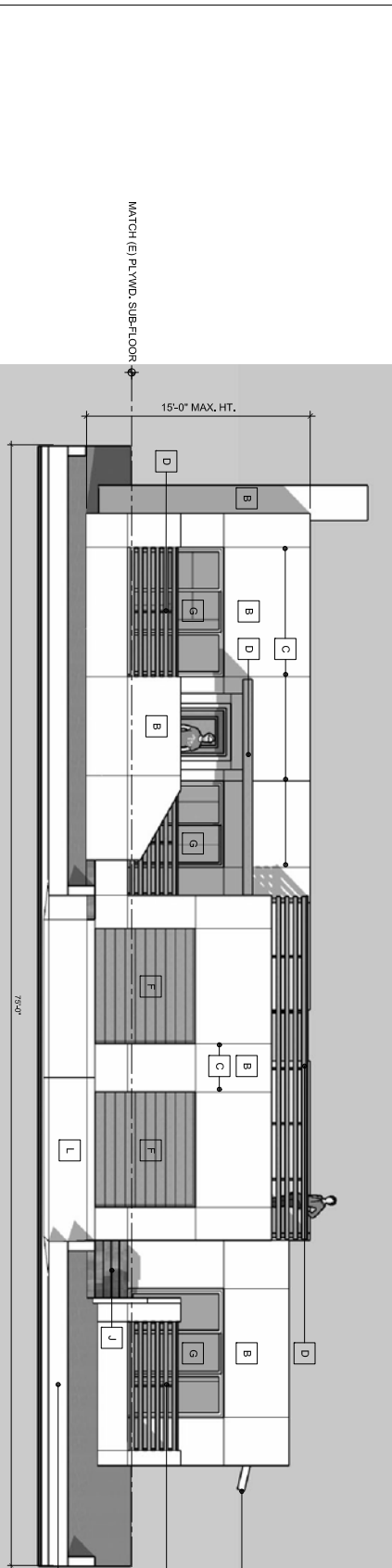
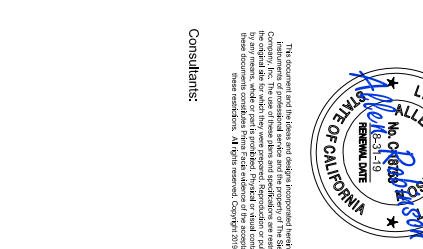
Project No: 1804.001
Issue Date: 15 March 2019

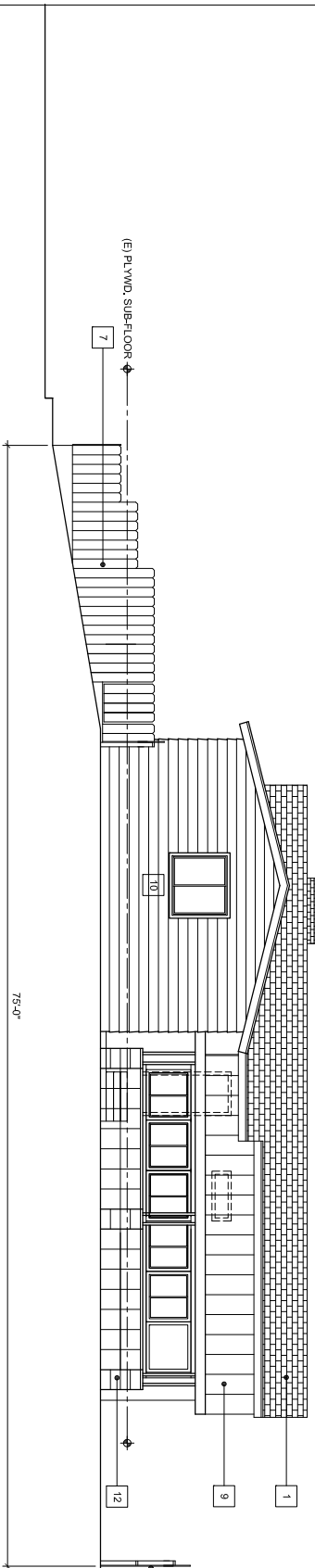
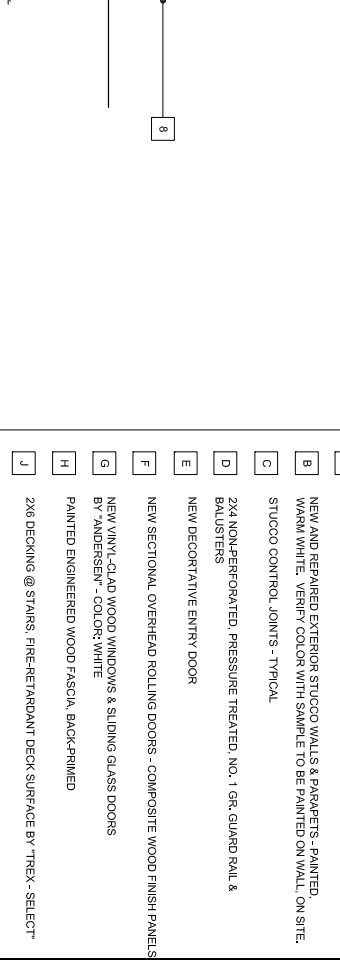
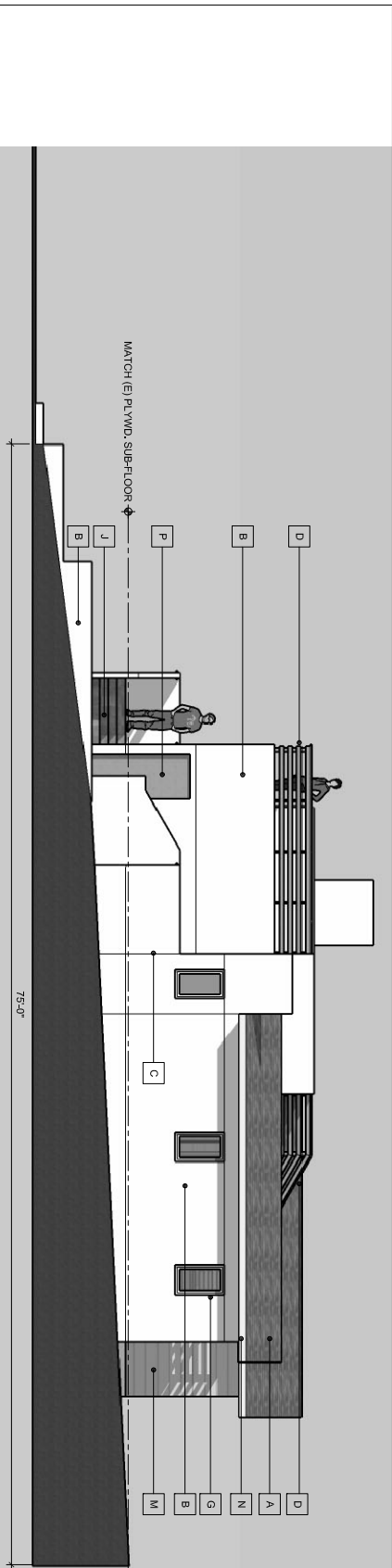
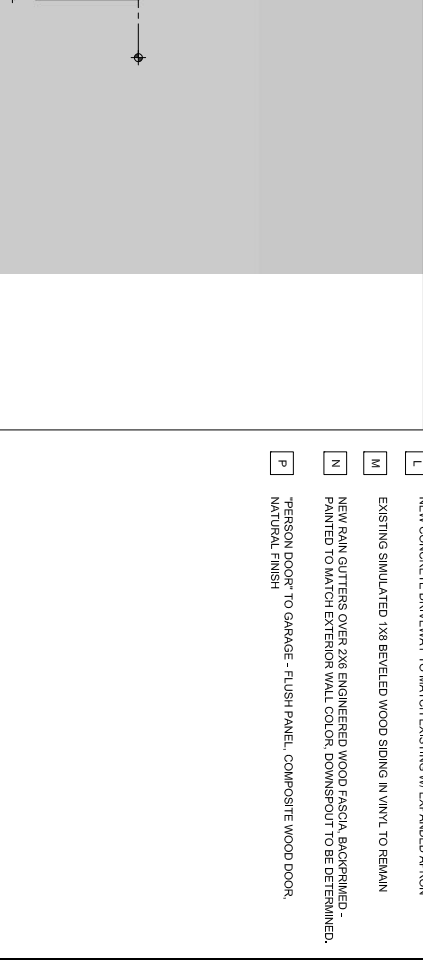
Revisions:

Sheet Title:

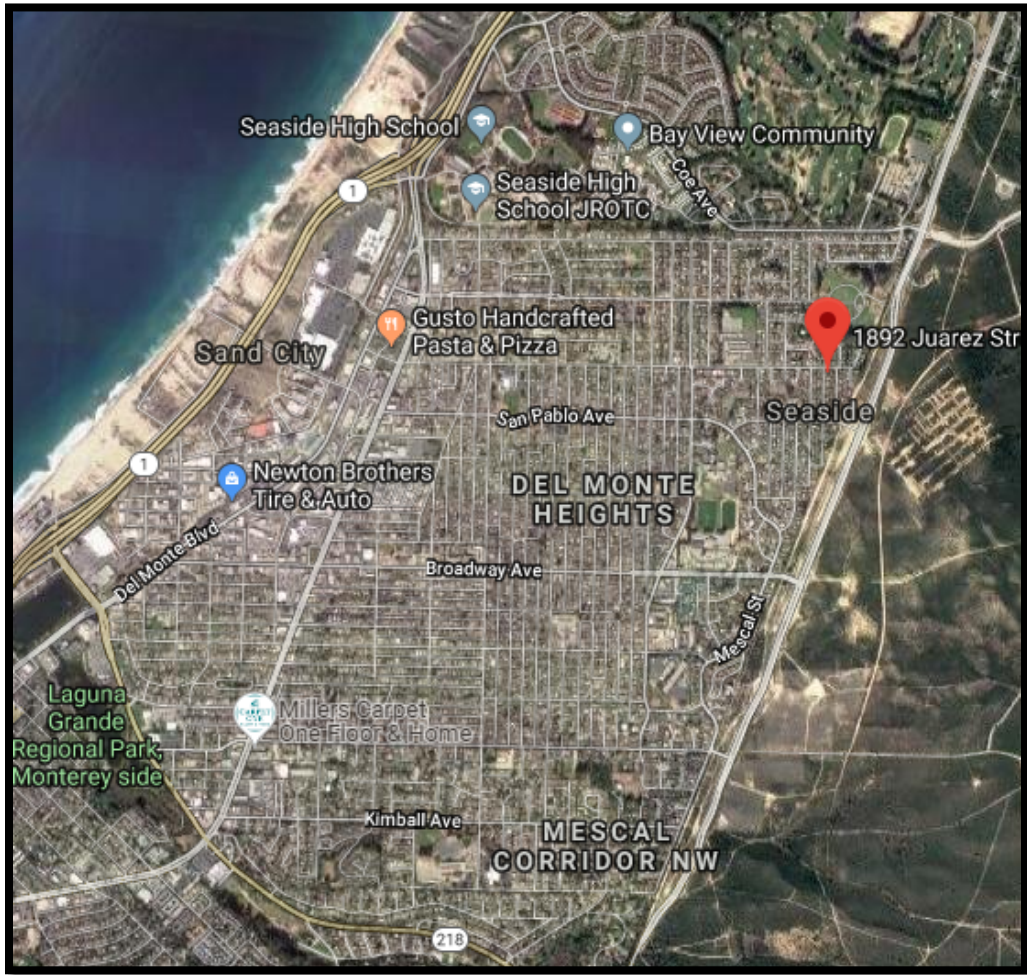
Building Elevations

A201

	EXISTING BUILDING MATERIALS LEGEND - EXISTING ROOF - CLASS 'X' ASPHALT COMPOSITION SINGLES 1X8 VINYL SIDING OVER (E) STUCCO - TO BE REMOVED AND STUCCO REPAIRED - ALUMINUM FRAMED, DIVIDED LITE WINDOWS TO BE REMOVED - LAVA ROCK VENEER OVER STUCCO - TO BE REMOVED AND STUCCO REPAIRED - TRELLIS OVER JAY POSTS @ FRONT ENTRANCE PORCH AND DECK - TO BE REMOVED - ROLL-UP GARAGE DOOR TO BE REPLACED - CMU GARDEN WALL W/ 1X8 BOARD FENCE ABOVE - TO REMAIN 6' HIGH, 1X8 BOARD WOOD FENCE TO BE REPLACED OR REMOVED - ALUMINUM AWNING STRUCTURE AND ALUMINUM WINDOWS - TO BE REMOVED 1X8 VINYL SIDING AND ALUMINUM FRAME WINDOW @ (E) GARAGE - TO BE REMOVED - CONCRETE PARKING PAD - TO BE REMOVED - CMU DECORATIVE WALL - TO BE REMOVED - BRICK CHIMNEY TO REMAIN
	Existing West Elevation (Juarez Street Elevation) 3/16"=1'-0" 08
	New West Elevation (Juarez Street Elevation) 3/16"=1'-0" 07
	Existing Building Materials Legend 03

	PROPOSED BUILDING MATERIALS LEGEND - NEW CLASS 'X' ASPHALT COMPOSITION SINGLES - TO MATCH EXISTING - NEW AND REPAIRED EXTERIOR STUCCO WALLS & PARAPETS - PAINTED, WARM WHITE. VERIFY COLOR WITH SAMPLE TO BE PAINTED ON WALL ON SITE. - STUCCO CONTROL JOINTS - TYPICAL 2X4 NON-PERFORATED, PRESSURE TREATED, NO. 1 GR. GUARD RAIL & BALUSTERS - NEW DECORATIVE ENTRY DOOR - NEW SECTIONAL OVERHEAD ROLLING DOORS - COMPOSITE WOOD FINISH PANELS - NEW VINYL-CLAD WOOD WINDOWS & SLIDING GLASS DOORS BY "ANDERSEN" - COLOR: WHITE - PAINTED ENGINEERED WOOD FASCIA, BACK-PRIMED 2X6 DECKING @ STAIRS, FIRE-RETARDANT DECK SURFACE BY TREX - SELECT - NEW CMU GARDEN WALL TO MATCH EXISTING - NEW CONCRETE DRIVEWAY TO MATCH EXISTING W/ EXPANDED APRON - EXISTING SIMULATED 1X8 BEVELED WOOD SIDING IN VINYL TO REMAIN - NEW RAIN GUTTERS OVER 2X8 ENGINEERED WOOD FASCIA, BACK-PRIMED, PAINTED TO MATCH EXTERIOR WALL COLOR, DOWNSPOUT TO BE DETERMINED. "PERSON DOOR" TO GARAGE - FLUSH PANEL, COMPOSITE WOOD DOOR, NATURAL FINISH
	Existing South Elevation (Side Elevation) 3/16"=1'-0" 06
	New South Elevation (Side Elevation) 3/16"=1'-0" 05
	New Building Materials Legend 01

1892 Juarez St.





Red square outlines the approximate location of the roof deck



Stree view of 1892 Juarez St



Side yard view of 1892 Juarez, with 1893 Nadina rear windows shown



Rear yard windows of 1893 Nadina, as taken from 1892 Juarez



Rear yard windows of 1893 Nadina, as taken from south side yard of 1892 Juarez



CITY OF SEASIDE STAFF REPORT

Item No.: 8.C.

TO: Planning Commission

BY: Beth Rocha, Associate Planner

DATE: April 24, 2019

SUBJECT: **COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT APPLICATION NO. UP-19-07: E&E CAPLOW LIVING TRUST, PROPERTY OWNER, AND ROBERT FORLOINE (PM DESIGN GROUP), AND SILVIA WYTKIND (MCDONALD'S), APPLICANTS, ARE REQUESTING A USE PERMIT FOR THE REESTABLISHMENT OF A DRIVE-THRU RESTAURANT IN THE LAGUNA GRAND SHOPPING CENTER AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL VISITOR-SERVING RECREATION (CVSC) ZONING DISTRICT (APN'S 011-561-024 AND 011-561-025). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 2, SECTION 15302 (B) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

PURPOSE & RECOMMENDATION

To receive the presentation on the proposed restaurant reconstruction including the re-establishment of a drive-through and take action to adopt the Coastal Development Permit 19-02 and Use Permit 19-07 in accordance with the Draft Resolution and Project Plans.

BACKGROUND

On June 5, 2018 a vehicle crashed into the McDonald's restaurant located at 1516 Canyon Del Rey Boulevard, striking gas and electrical lines and igniting a fire that completely destroyed the restaurant. The McDonald's had been in operation at this location for more than three decades and included a drive-thru, a use that is only permitted for establishments in existence as of December 4, 2006 in the Coastal Visitor-Serving Commercial (CVSC). Therefore, the drive-thru of the McDonald's is classified as a legal non-conforming use and is regulated by Seaside Municipal Code (SMC), Chapter 17.72: Nonconforming Uses, Structures, and Parcels.

On June 29, 2018 the City received and issued a demolition permit for the removal of the structure from the site. On December 3, 2018 E&E Caplow, LLC (Applicant) filed a Minor Use Permit for an extension of the 180 day reestablishment period for the nonconforming drive-thru use, in accordance with 17.72.040.A.2. On January 14, 2019 the Zoning Administrator approved Minor Use Permit Application (MUP 18-12) for an extension of a nonconforming, involuntarily destroyed drive-thru use of the McDonald's restaurant. The MUP specified June 5, 2019 as the date by which the reestablishment of the drive-thru shall commence through the filing of a Use Permit application, as required for fast-food restaurants in the CVSC zone. The applicant submitted Use Permit application 19-05 for the drive-thru restaurant on March 21, 2019, well ahead of the deadline set forth in the MUP.

ENVIRONMENTAL REVIEW

The project is Categorically Exempt Class 2, Section 15302 (b) from the California Environmental Quality Act: "Replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity."

PROJECT DESCRIPTION

The project site is approximately 29,342 sq. ft (.67ac) comprised of APNs: 011-561-024 and 011-561-025 (20,434sqft and 8,908sqft, respectively) and is located at 1516 Canyon Del Rey Boulevard in the Laguna Grande Shopping Center.

Land uses within the vicinity of the project site include: a Starbucks on the southeast of the site, a Staples to the north east and the common area shopping center parking lot to the northwest. Biking, hiking, and walking trails are located to the east and south of the project site. The biking and hiking trails are connected to Robert's Lake and the Monterey Bay Coastal Bike Trail located along Del Monte Boulevard. Nearby beaches located across State Route 1 (SR-1) to the west are within walking distance of the project site.

The project site is visible from Cabrillo Highway (SR-1) and is located within 0.5 mi of the on and off ramps at Canyon Del Rey Boulevard (State Route 218). Additional regional access to the project site is provided by the Monterey-Salinas Highway, State Route 68 . These highways connect the project site to the cities of the Monterey Peninsula, Salinas, San Jose, and the San Francisco Bay area.

COASTAL DEVELOPMENT PERMIT

Approximately half of the eastern portion of the project site is within the California Coastal Zone Boundary. The majority of the proposed project's restaurant building, surface parking, landscaping, and the drive-through service area are proposed for the portion of the project site that is within the Coastal Zone. The City of Seaside's Local

Coastal Program Land Use Plan designates the project site as Coastal Visitor Serving Commercial (CVSC). The City Zoning Code that is applicable to areas within the Coastal Zone – Title 18 Coastal Implementation Plan designates the project site as Coastal Visitor Serving Commercial (CVSC).

Development within the Coastal Zone may not commence until a Coastal Development Permit (CDP) has been issued by either the California Coastal Commission (Coastal Commission) or by a local government that has a certified Local Coastal Program (LCP). In June 2013, the City of Seaside's LCP was certified by the Coastal Commission; therefore, the proposed project is applying for a CDP from the City of Seaside Planning Commission.

LCP CONSISTENCY

A portion of the previous (and current) project is within the Coastal Zone. Because a majority of the proposed project's restaurant building, surface parking, and landscaping, and the drive-through service area are proposed for the portion of the project site that is within the Coastal Zone, for planning purposes, it was assumed that the entire project site was in the Coastal Zone.

As noted above, the Coastal Commission certified the City's LCP in June 2013. An LCP consists of two major parts: the LUP and the CIP. Whereas the LUP designates the kinds, location, and intensity of land and water uses and presents applicable resource protection and development policies, the CIP provides development regulations for specific Coastal Zone activities needed to carry out the LUP. The CIP is referred to as Title 18, Zoning Ordinance for the City of Seaside (Applicable to Areas Within the Coastal Zone), and applies to all development within the Coastal Zone.

According to Title 18:

Drive-through restaurants would be considered a conditionally permitted use within the zoning designation Coastal Visitor-Serving Commercial (CVSC), as identified in Figure 1a (Coastal Zoning Map) in the City's CIP;

Allowable building heights within 100 feet of Laguna Grande Lake would be increased to a maximum height of 20 feet, with allowances for architectural features up to a maximum height of 30 feet; and

Buffers and setbacks would be a minimum of 50 feet from wetland/riparian areas.

The McDonald's Drive-Through Restaurant Project is consistent with the City's certified LCP and would not require any zoning code amendments.

PROJECT COMPONENTS

The proposed 1-story restaurant would occupy a total of 5,241sqft of the 29,342sqft site area, resulting in a floor area ratio (FAR) of 0.17 that is within the maximum permitted FAR of 1.0 for the CVSC zone. The proposed drive-through restaurant and associated facilities will include indoor dining with 93 seats, an indoor PlayPlace, a double drive-through and three drive-through windows. The project will include

landscaping, preservation of one Cypress tree, and 15 parking spaces including two Americans with Disabilities Act (ADA) accessible spaces. The entire shopping center site has an excess of parking spaces and providing fewer parking spaces within the boundaries of McDonald's site is acceptable due to the shared parking arrangement.

ARCHITECTURAL DESIGN, LIGHTING, AND LANDSCAPING

The Board of Architectural Review (BAR) would be responsible for reviewing and approving the proposed project's final architectural design, lighting, landscaping, and sign plans.

ACCESS AND CIRCULATION

The nearest access to the project site would be from one driveway along Canyon Del Rey Boulevard; with the main shopping center driveway entrance located approximately 200' west of the proposed driveway. The proposed driveway is shifted west from the existing curb cut and would be right-in/right-out only. The drive-through service area, which is located on the west side of the building, would provide two lanes of queuing for ordering, which then merge into one lane for food pick-up. Approximately 341 linear feet would be available for queuing of vehicles in the drive-through lane and additional vehicle storage would be available on site in the adjacent parking lot and drive aisles. Proposed vehicle queuing in the drive-through lane would accommodate 13 vehicles from the entry sign, in the west-southwest corner of the proposed project site to the drive-through pick-up window on the east-southeast side of the proposed project site.

UTILITIES AND WATER

All necessary utility services (e.g., wastewater, water, and stormwater) are located on the project site; the proposed project would not require the development of new service utility lines. Water connections (fire and domestic) would be made at the existing main in the on-site public utility easement fronting Canyon Del Rey Boulevard.

In compliance with the Monterey Regional Stormwater Management Program, including the Post-Construction Requirements, post construction, stormwater runoff will be retained and infiltrated on-site for storm events up to the 95th percentile rainfall event. The stormwater control plan will capture stormwater runoff from the on-site impervious surfaces (i.e. roof and parking lots), remove pollutants from runoff, and retain and infiltrate the runoff. The Project will also ensure that post development runoff not exceed predevelopment runoff.

The Monterey Peninsula Water Management District must issue a water permit for any development or redevelopment activity that would involve the connection or modification of a connection to an existing water distribution system, such as the

proposed project. The project site has an existing water credit from the previous restaurant building to provide the necessary water allocation for the new development. Water for the proposed project would be supplied by California American Water Company (CAL-AM).

DISCRETIONARY ACTIONS

Discretionary actions required to be taken by the City as part of the proposed project include:

1. Review and approval of a Coastal Development Permit by the City Planning Commission.
2. Review and approval of the proposed project site plans and elevations, lighting, and landscape plans by the City's Board of Architectural Review.

Previously required discretionary actions that are no longer necessary include: On January 14, 2019 the Zoning Administrator approved a Minor Use Permit Application (MUP 18-12) for an extension of a nonconforming drive-thru.

STAFF ANALYSIS AND FINDINGS

The proposed drive-through facility complies with SMC 17.52.090 Drive-Through Facilities, General Standards as the drive-through facility is located on a building wall not fronting Canyon Del Rey Boulevard. Additionally, the design with the stacking area beginning at the rear of the site, furthest from Canyon Del Rey Boulevard would avoid congestion, excessive pavement, litter, and noise. The design also complies with the on-site circulation elements of: Aisle Design, with each drive aisle being at least 10 feet wide with minimum interior radii of 10 feet; the Stacking Area is clearly identified with signage and physically separated with landscaping from other on-site traffic circulation, accommodating 13 vehicles. The signage would show each entrance to, and exit from, the drive-through aisle and would be clearly marked to show the direction of traffic flow with signs, pavement markings, and raised curbs; signage would also be provided to indicate whether the drive-through facility is open or closed. Lastly, the accessible path leading from the ADA parking spaces to one of the front entrances does not intersect the drive-through aisle.

The proposed site access for pedestrians complies with SMC 17.38.050 Pedestrian Connections with one required continuous and direct pedestrian path that would be provided between the sidewalk between the site and Canyon Del Rey Boulevard on the east side of the site, where an existing driveway is proposed to become part of the pedestrian path and landscaping. A continuous pedestrian path would be provided from the ADA parking area to the primary entrance of the building.

The proposed location and design of the solid waste and recyclable materials storage complies with the applicable regulations of SMC 17.30.110: Table 3-7 Nonresidential Structures – Minimum Storage area. A total of 48 sq. ft of solid waste area is required

and approximately 2.5 times the required area is provided. In compliance with both the Location and Design and Construction regulations, waste will be stored in a designated enclosed structure that will be designed to be architecturally compatible with the proposed restaurant design and buffered from the surrounding parking on both sides with landscaping areas.

CONCLUSION

It is recommended that the Planning Commission receive the presentation on the proposed project and take action to adopt the Coastal Development Permit and Use Permit 19-07 in accordance with the Draft Resolution (Attachment 1) and Project Plans (Attachment 1 – Exhibit A).

ATTACHMENTS

1. Attachment 1 - Resolution
 2. Attachment 1 - Exhibit A
-

**PLANNING COMMISSION
RESOLUTION NO. 19-XX**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT APPLICATION NO. UP-19-07 TO ALLOW FOR THE CONSTRUCTION OF A 5,241 SQUARE-FOOT RESTAURANT WITH ASSOCIATED SITE IMPROVEMENTS (DRIVEWAY ACCESS, PARKING LOT, DRIVE-THRU WINDOW/AISLE, LANDSCAPING) AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL VISITOR SERVING COMMERCIAL (CVSC) ZONING DISTRICT.

WHEREAS, McDonald's C, applicant, has applied for a Coastal Development Permit and a Use Permit:

1. In accordance with Title 18 (Coastal Implementation Plan) of the Seaside Municipal Code (SMC), the applicant is requesting the approval of a Coastal Development Permit and Use Permit for the construction of a new one story, 5,241 square foot McDonald's restaurant with associated site improvements (driveway access, parking lot, drive-thru window/aisle, landscaping) on a 29,342 square foot lot at 1516 Canyon Del Rey Boulevard (APN: 011-561-024 and 011-561-025).

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and the Seaside Local Coastal Program, and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed amendment at a duly noticed public hearing held on April 24, 2019, and

WHEREAS, in accordance with the Guidelines for Implementation of the California Environmental Quality Act (CEQA). The project is Categorically Exempt Class 2, Section 15302 (b) from the California Environmental Quality Act: "Replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity."

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Coastal Development Application No. CDP-19-02 and Use Permit Application No. UP-19-07:

1. **The establishment, maintenance, or operation of the use or structure applied for will not under the circumstances of the particular case, be detrimental to health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvement in the neighborhood, or to the general welfare of the City.**

Evidence: The proposed development would be subject to the regulations and policies set forth in the Seaside General Plan and the Local Coastal Program and would result in an improved site that would enhance the character of the community and surrounding Laguna Grande Shopping Center, Robert's Lake and Park environs.

Evidence: Prior to the issuance of a building permit, a drainage and erosion control plan will be reviewed and approved by the City of Seaside Public Works Department. The erosion and drainage plan will include, but not be limited to, control of surface runoff, protection of exposed soils, drainage diversion features, or other methods approved by the Resource Management Services Department. Drainage shall be retained on-site and discharged in a manner away from improvements and adjoining properties in accordance with the requirements of the City's National Pollutant Discharge Elimination System Permit (NPDES).

Evidence: The nearest access to the project site would be from one driveway along Canyon Del Rey Boulevard and the main shopping center driveway entrance is approximately 200' west of the proposed driveway. The proposed driveway is slightly shifted west from the existing curb cut and would be right-in/right-out only. The drive-through service area, which is located on the west side of the building, would provide two lanes of queuing for ordering, which then merge into one lane for food pick-up. Approximately 341 linear feet would be available for queuing of vehicles in the drive-through lane and additional vehicle storage would be available on site in the adjacent parking lot and drive aisles. Proposed vehicle queuing in the drive-through lane would accommodate 13 vehicles from the entry sign, in the west-southwest corner of the proposed project site to the drive-through pick-up window on the east-southeast side of the proposed project site.

Evidence: All necessary utility services (e.g., wastewater, water, and storm water) are located adjacent to the project site; the project would not require the development of new service utility lines. The sanitary sewer line would connect to an existing lift station 30 ft. northwest of the northwesterly corner of the site. Water connections (fire and domestic) would be made at the existing main in the on-site public utility easement fronting Del Monte.

Storm water runoff from new impervious surfaces would be treated by means of vegetated swales and catch basins with filter inserts before being discharged into the municipal storm drain system on Del Monte Boulevard, which discharges into Laguna Grande Lake. The City requires that post development runoff not exceed predevelopment runoff.

The Monterey Peninsula Water Management District must issue a water permit for any development or redevelopment activity that would involve the connection or modification of a connection to an existing water meter.

Evidence: The drive-through aisle for the restaurant will provide for a queue of 13 vehicles to ensure that vehicle traffic/circulation on site will not impact nearby roadways.

Additionally, the drive-through lane pick-up window and the freestanding drive-through menu board sign will be placed on the west side of the site so that these improvements would be oriented away from the former railroad right-of-way to the east that will be used for coastal access in the future.

- 2. The subject property is in compliance with all rules and regulations pertaining to zoning, uses, and other applicable provisions of Title 18: Coastal Zoning of the Seaside Municipal Code, and any zoning violations have been resolved, including any abatement costs have been paid.**

Evidence: The location, size, and operating characteristics of the project will be compatible with the character of the site, and the land uses and development intended for the surrounding neighborhood by the Seaside General Plan and Local Coastal Program.

Evidence: The subject property consists of an existing 29,342 square foot lot. There are no land uses on the subject property which would lead to the establishment of any zoning violations.

- 3. The proposed project conforms to the public access and recreation policies of the Coastal Act.**

Evidence: The project site would not impede existing access to the Coastal resources areas which are currently provided via the existing sidewalk on Canyon Del Rey Boulevard.

- 4. The proposed development use is in conformance with plans, policies, and requirements of the certified Local Coastal Program Land Use Plan and complies with all regulations of the Certified Implementation Program.**

- a. The proposed development protects vegetation, natural habitats, and natural resources consistent with the LUP.*

Evidence:

- A. Substantial changes in the project and project circumstances resulting in new significant effects or a substantial increase in the severity of previously identified significant effects have not occurred;*
- B. New information of substantial importance with respect to this environmental resource/impact resulting in new significant effects or a substantial increase in the severity of previously identified effects has not been identified; and*
- C. None of the proposed project changes would significantly affect this environmental resource.*

- D. *An existing Monterey Cypress will be preserved and protected. Three olive trees being removed will be replaced with three 24-inch box trees of a variety and location approved by the Board of Architectural Review.*
- b. *The design, location, size, and operating characteristics of the proposed development is consistent with any applicable design plans and/or area plans incorporated into the LUP.*

Evidence: The proposed use is consistent with the City's General Plan Policy LU-1.3: The proposed project will enhance the identity of the City with the reconstruction of a restaurant and associated site improvements (driveway access, parking lot, drive-thru window/aisle, landscaping).

Evidence: The proposed use is consistent with the City's General Plan Policy LU-2.4: The redevelopment of the project site will include the use of quality architectural materials consistent with the development standards outlined in the Coastal Implementation Plan and Section 17.62.030. E of Title 17 of the Seaside Municipal Code.

Evidence: The proposed use is consistent with the City's General Plan Policy LU-4.1: The location of the commercial structure, parking lot, access driveways, landscaping, lighting and signs for the development will not result in any detrimental impact to the health, safety, and general welfare of the community.

Evidence: The proposed use is consistent with the City's General Plan Policy ED-8.1: The proposed project will continue to provide jobs to the local community to improve the jobs/housing ratio.

Evidence: The proposed use is consistent with the City's General Plan Policy C-4.3: The proposed project will include a well-landscaped border on all frontages to screen the parking areas and access drives from the adjoining public streets and neighboring residential dwelling units to the east and south.

- c. *The proposed development maintains public access to and along the coast as set forth in the LUP.*

Evidence: The proposed project site improvements (e.g. building, parking lot design, parking spaces, public access points through the site to Laguna Grande Lake and Park, public access pathways and bike trails and lighting) will be sited and constructed in accordance with the adopted development standards of the Coastal Implementation Plan for the City's certified Local Coastal Plan.

- d. *The proposed development is consistent with the LUP of providing visitor serving needs as appropriate.*

Evidence: The proposed project will consist of a visitor serving commercial land use that would be placed at an entry point of the City serving both the local community and regional visitors. The project will be designed to provide a quality serving restaurant. The proposed design will incorporate improvements to provide for coastal access from Canyon Del Rey Boulevard.

- e. *The proposed development is consistent with LUP goal of encouraging coastal dependent and related uses as appropriate.*

Evidence: The project is zoned as Coastal Visitor Serving Commercial. The project site would be redeveloped with a coastal visitor serving drive-through restaurant to serve the local and regional community. The site will also provide food services for coastal visitors accessing the Seaside State Beach to the west, the Monterey Bay Coastal Bike Trail, and Robert's Lake and Park.

- f. *The proposed development protects and where feasible enhances coastal resources.*

Evidence: The granting of a Coastal Development Permit will not create significant noise, limitations on public access to the coastal zone, traffic, visual interference, or other conditions or situations that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

Evidence: The proposed project will provide for enhanced connectivity to Robert's Lake and Park and the Monterey Bay Coastal Bike Trail. The enhanced coastal access will serve to provide a synergy between the adjacent open space and the new commercial development that will benefit the community and region as whole.

- 5. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.**

Evidence: *The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.*

- 6. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.**

Evidence: *The project site design and conditions will ensure that the proposed development will not create any adverse impact on the health, safety, and general welfare of the community and adjoining neighbors.*

BE IT FURTHER RESOLVED, that the Planning Commission approves Coastal Development Permit Application No. CDP-19-02 and UP-19-07 subject to the following conditions:

Project Specific

Planning:

1. Prior to the issuance of a Grading Permit, the architectural design, outdoor lighting, landscaping, and signage improvements shall be reviewed and approved by the Board of Architectural Review.
2. Except as modified by required conditions of approval, plans submitted for Architectural Review approval shall substantially conform to the plans identified as "4597-WW Playplace Plan" stamped as received on March 21, 2019 and as approved by the Planning Commission on April 24, 2019. The project plans are provided as Attachment 1 - Exhibit A
3. The existing Cypress tree must be preserved and properly protected with fencing installed at the dripline, or maximum extent feasible, during construction.
4. The three existing mature olive trees proposed for removal shall be replaced on a 1-to-1 basis, transplanted from a minimum 24-inch box size container.
5. All trees shall be adequately supported when planted. The supports shall be maintained until the trees are capable of withstanding the force of wind on their own and removed before damage could potentially occur to the tree trunk.
6. The property owner shall maintain all landscaping in a healthful and thriving condition at all times and in perpetuity, free of weeds, debris, and deceased plants.
7. Irrigation systems and their components shall be maintained in a fully functional manner consistent with the originally approved design.
8. Regular maintenance shall include checking, adjusting, and repairing irrigation equipment; resetting automatic controllers; aerating and dethatching lawn areas; adding/replenishing mulch, fertilizer, and soil amendments; and mowing, pruning, trimming, and watering all landscaped areas.
9. Watering shall be scheduled at times of minimal wind conflict and evaporation loss.
10. Water waste in existing developments resulting from inefficient landscape irrigation leading to excessive runoff, low head drainage, overspray, and other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways, or structures is prohibited.

11. Trees located within the traffic visibility areas along Canyon Del Rey Boulevard must be trimmed so the bottom of the canopy is maintained a minimum of six feet in height measured from finished grade.
12. Failure to maintain landscape areas in compliance with the Conditions shall be deemed a public nuisance, and shall be subject to abatement in compliance with the Municipal Code, and/or the applicable planning permit may be revoked in compliance with Chapter 17.69 (Enforcement and Penalties).
13. Prior to final inspection or occupancy approval, all required landscaping shall pass an inspection to be performed by the Planning Division.
14. Permanently installed lighting shall not blink, flash, or be of unusually high intensity or brightness. Lighting components must be replaced within two weeks of initial malfunction.
15. The clear glass storefront windows shall not later be treated or so as to become opaque, or to be blocked so as to prevent visibility of the ground floor interior from the sidewalk.
16. Prior to the issuance of a grading or building permit, the applicant shall complete Transportation Agency of Monterey County Trip Generation Worksheet and provide payment for the estimated trips that would be generated for the project.
17. Applicant shall provide the City of Seaside with an amended Grant Deed for the Laguna Grande Shopping Center for reconfiguration of the site.

Public Works:

18. Site plan shall clearly show and denote the following:
 - a. Property lines
 - b. All easements
 - c. Adjacent improvements.
19. Proposed project must implement storm water best management practices (BMPs) during construction.(SMC 8.46)
 - a. Complete and submit the Storm water Compliance Tracking Form, with signature with building permit application.
 - b. A project specific Erosion and Sediment Control Plan (ESCP) is required of the applicant as part of building permit application.
 - c. If the disturbed area is greater than one (1) acre, a Storm water Pollution Prevention Plan (SWPPP) shall be prepared and a WDID obtained by the applicant from the State Water Quality Control Board. Submit the SWPPP for City of Seaside review.
20. Post-development peak storm water runoff rates shall not exceed predevelopment rate. A pro rata share of the cost of offsite erosion sediment, and flood control improvements and/or for maintenance to the principal drainage way may be required by the city

engineer to handle the increase peak runoff and/or sediment generated by the project.(SMC 15.32.170)

- a. Provide hydrology and hydraulic calculations to substantiate retention of storm water runoff for the entire redevelopment for the 24 hour-95% storm event.
 - b. As part of building permit application, develop civil grading and drainage plans to clearly show direction of storm water drainage from new or redeveloped impervious surfaces.
 - c. Drainage shall not be directed to adjacent properties.
21. As required by Attachment 1 to Resolution No. R3-2013-0032 of the Central Coast Regional Water Quality Control Board, the applicant shall develop a Storm water Control Plan demonstrating compliance with performance requirements #1, #2, #3, and #4 as applicable.(SMC 8.46.130)
- a. Applicant shall submit a Storm Water Control Plan prior to finalizing site plan or civil grading and drainage plans. Storm Water Control Plan shall be approved by the City prior to finalizing project civil grading and drainage plans and shall include hydrology and hydraulic calculations validating the design of conveyance, treatment and/or infiltration features.
 1. Provide a soils engineering report describing the soil type and soil hydrologic soil group substantiating design of structural storm water control measures described within the Storm Water Control Plan.
 2. Infiltration testing shall be per the Riverside County-Low Impact Development BMP Design Handbook.
 - b. Applicant shall submit architectural and civil grading and drainage plans with building permit application in substantial conformance to the approved Storm Water Control Plan.
 1. Plans shall clearly denote, in table format, the pre-project impervious surface area, new impervious surface area created, replaced impervious surface area, and post-project impervious surface area.
 - c. Prior to issuance of occupancy, applicant shall execute and record as a deed restriction a Right of Entry and Maintenance Agreement. The Right of Entry and Maintenance Agreement shall:
 1. Include indemnity, insurance and security requirements in conformance with the template provided by the City, and
 2. include an operation and maintenance (O&M) plan approved by the City stating that the property owner will conduct, and accepts responsibility for, maintenance of all storm water control measures (SCMs), and
 3. include a legal description of the property, and
 4. describe the methods and procedures for conducting periodic inspections and maintenances of all SCMs, and

5. require applicant to provide to the City each year during a period beginning on September 1 and ending no later than September 30 a statement certified by a licensed Civil Engineer or Qualified Storm water Developer (QSD) registered in the State of California stating that the SCM maintenance is in accordance with the O&M plan, and
 6. include a statement that transfers responsibility for maintenance of SCMs to future owners of the property.
22. Project shall provide ADA compliant path of travel across driveway approach fronting Canyon Del Rey Boulevard.
 23. As part of building permit application, applicant must coordinate with California Department of Transportation and complete a Standard Encroachment Permit Application for proposed construction of a new 2 way driveway, with access onto Canyon Del Rey Blvd.
 24. Vehicles shall only be permitted to make a right turn on to Canyon Del Rey Boulevard. Project shall install a "Right Turn Only" sign for vehicles exiting on to Canyon Del Rey Boulevard.
 25. Project shall provide a properly sized fats oils and grease interceptor sized in accordance with the Uniform Plumbing Code. Provide documentation to substantiate grease interceptor size with building permit application.
 26. Prior to final inspection, any curb, gutter and sidewalk damaged during construction shall be replaced by a licensed concrete contractor in conformance with the most current applicable engineering standards, and upon the prior issuance of an Encroachment Permit from the Public Work Department.

Fire Department:

27. The proposed project shall be constructed in accordance with the requirements of the 2016 California Fire Code.

Building Department:

28. The proposed project shall be constructed in accordance with the requirements of the 2016 California Building Code.
29. Soils report must be submitted with structural plans.
30. In the event the project site is inundated by sea level rise or impacted by a geologic event which causes the structure to be demolished/ removed in the future, the applicant must comply with any mandate provided by the Seaside Building Official for obtaining the necessary building permits for the demolition and disposal of construction material/debris and/or any hazardous building materials in accordance with local and state regulations.

Standard:

31. Use Permit approval is subject to revocation procedures contained in S.M.C.S. 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was

granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.

32. This Coastal Development Permit is subject to procedures and requirements of Section 3.8 for the implementation of the project improvements, and those related to appeals and revocation in Section 3.12 of Title 18.10 of the Seaside Municipal.
33. The applicant agrees as a condition, and in consideration of the approval of this discretionary permit, that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
34. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
35. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
36. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
37. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
38. This shall expire and become void 24 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced within the required time limit or the Planning Commission has granted an extension of time. In accordance with Section 3.8 of the CIP, the applicant must file request for time extension prior to expiration date of the Coastal Development Permit in order to receive consideration of a one-year time extension by the Commission.
39. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the special meeting of the Planning Commission of the City of Seaside, State of California, on the 24th of April 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

COASTAL DEVELOPMENT PERMIT APPLICATION NO. CDP-19-01 and UP-19-07

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

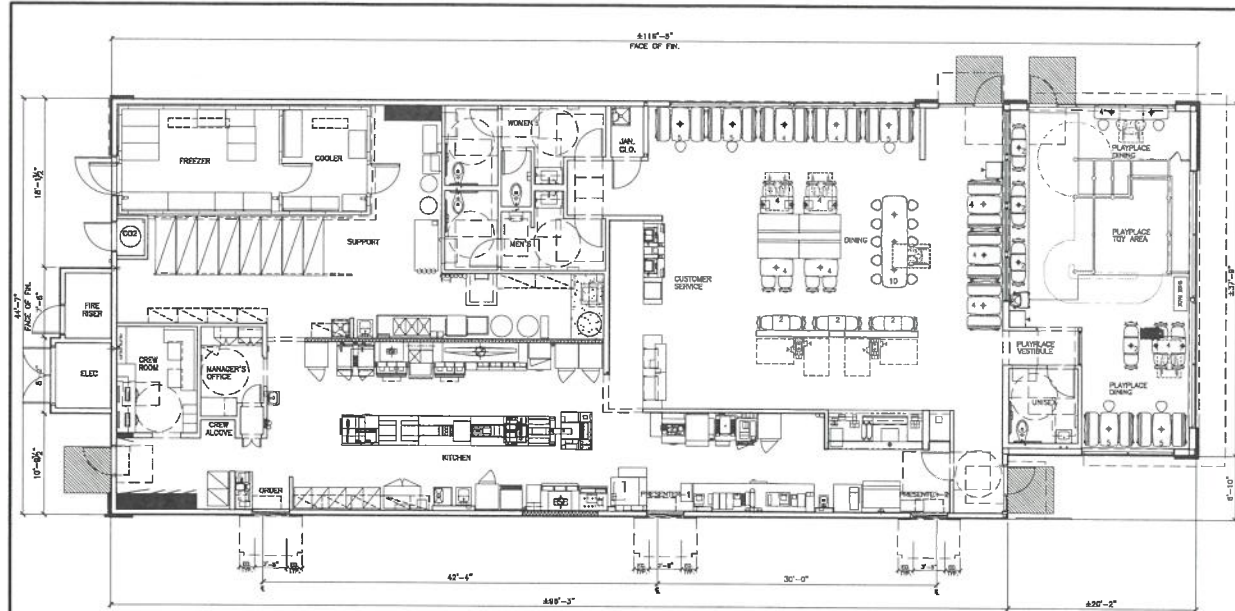
Applicant's Signature

Date

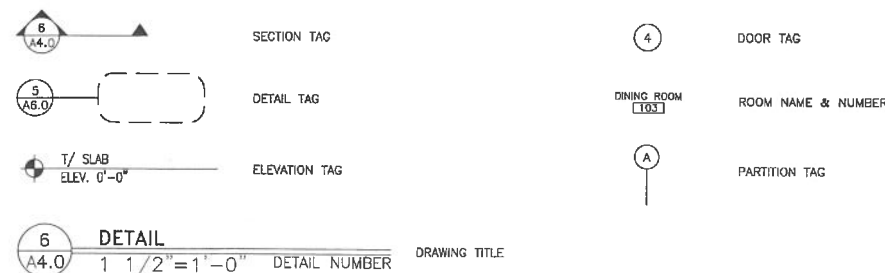
Property Owner's Signature (*if different from above*)

Date

\\P:\DESIGN\LOCAL\PMDC-SHARED\AC\01-PROJECTS AMERICAN CANYON\MCDONALD'S - MCD 2017\MOD17201.0 - SEASIDE\01-DRAWINGS CURRENT\01-ARCHITECTURAL\02-PLANNING\00-17201_CVR.DWG 3/20/2018 11:42 AM JEAN M. RUST



SYMBOL LEGEND:



2018 4597-WW PLAYPLACE BB20 PACIFIC SIERRA REGION

BUILDING INFORMATION:

ADDRESS:

STATE SITE CODE: 004-1284
STREET ADDRESS: 1516 CANYON DEL REY
CITY: SEASIDE
COUNTY: MONTEREY
STATE: CALIFORNIA

STRUCTURE:

WOOD LOAD BEARING WALLS, WOOD ROOF FRAMING

UTILITIES:

ELECTRIC GRILLS & ELECTRIC FRYERS
GAS HVAC & GAS WATER HEATER

BUILDING CODE:

BUILDING CODE EDITION: 2016 CALIFORNIA BUILDING CODE
MECHANICAL CODE EDITION: 2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE EDITION: 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE EDITION: 2016 CALIFORNIA PLUMBING CODE
ADDITIONAL CODE EDITION: 2016 CALIFORNIA ENERGY CODE
FIRE CODE EDITION: 2016 CALIFORNIA FIRE CODE
GREEN CODE: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

BUILDING DATA:

OCCUPANCY: USE GROUP A2
CONSTRUCTION TYPE: VB
NUMBER OF STORIES: 1
BUILDING HEIGHT: 20'-9 1/2" (MAIN BLDG. PARAPET)
21'-7" (PLAYPLACE)

GROSS BUILDING AREA:

BASE BUILDING: 4,414 GROSS S.F.
PLAYPLACE: 827 GROSS S.F.
TOTAL: 5,241 GROSS S.F.
4,853 NET S.F.

SITE DATA:

ZONING: CRG - REGIONAL COMMERCIAL
AREA: 29,342 S.F. (.67 AC)
A.P.N.: 011-561-024 & 011-561-025

LIFE SAFETY SYSTEM:

EMERGENCY LIGHTING: X YES NO
EXIT SIGNS: X YES NO
FIRE ALARM: X YES NO
DUCT SMOKE DETECTORS W/ AUDIBLE/VISIBLE DEVICE: X YES NO
FIRE SPRINKLERS: X YES NO
SPRINKLER FLOW/TAMPER SWITCH W/ AUDIBLE/VISIBLE DEVICE: X YES NO
CO2 DETECTION SYSTEM W/ AUDIBLE/VISIBLE DEVICE: X YES NO
PANIC HARDWARE: X YES NO

DESIGNER OF RECORD:

DISCIPLINE:	NAME:	ADDRESS:	PHONE #:
ARCHITECT:	JEFF HOLTZLER jholtzler@pmdesigninc.com	PM DESIGN GROUP INC. 2455 BENNETT VALLEY RD., SUITE A-102 SANTA ROSA, CA 95404	(707) 400-6246
Civil:	KYLE FLAMING kflaming@jmcivileng.com	JM CIVIL ENGINEERING 2455 BENNETT VALLEY ROAD, SUITE A 212, SANTA ROSA, CA 95404	(760) 563-3388
SURVEY:	STEVEN OURADA steve@ourada.net	OURADA ENGINEERING 5805 FLEET COURT ROCKLIN, CA 95765	(916) 624-1221
LANDSCAPE:	RODNEY SCACCALOSI rscac@sbccglobal.net	OLIVE STREET LANDSCAPE P.O. BOX 2083, SANTA ROSA, CA 94952	(707) 280-8890

CONSTRUCTION PROJECT MANAGER:

NAME:	ADDRESS:	PHONE #:
MANAGER: SILVIA WYTKIND Silvia.Wytkind@us.mcd.com	MCDONALD'S USA, LLC 2999 OAK RD., WALNUT CREEK, CA 94597	(916) 586-0946

REVISIONS

REV	DATE	DESCRIPTION
1	03/20/19	ISSUED FOR USE PERMIT REVIEW
2	02/21/19	ISSUED FOR CLIENT REVIEW

DRAWING INDEX

CVR	COVER SHEET
1 of 1	ALTA SURVEY
SP1	PRELIMINARY SITE PLAN
SD1	TRASH ENCLOSURE
A1.0	PARTIAL FLOOR PLAN
A1.1	PARTIAL FLOOR PLAN
A1.2	REFLECTED CEILING PLAN
A1.3	ROOF PLAN
A2.0	BUILDING ELEVATIONS
A2.1	BUILDING ELEVATIONS

REV	DATE	DESCRIPTION	BY
1	03/20/19	ISSUED FOR USE PERMIT REVIEW	RMF
2	02/21/19	ISSUED FOR CLIENT REVIEW	RMF

Professional of Record:



Architectural
Solutions Group
2455 Bennett Valley Rd.
Suite A-102
Santa Rosa, CA 95404

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DATE	BY	DESCRIPTION
03/20/19	RMF	ISSUED FOR USE PERMIT REVIEW
02/20/19	RMF	ISSUED FOR CLIENT REVIEW

SCOPE OF WORK:

BUILD A NEW 5,241 S.F. RESTAURANT WITH PLAYPLACE
TRASH ENCLOSURE
SIDE BY SIDE DRIVE THRU LAYOUT
ACCESSIBLE PATH OF TRAVEL TO SIDEWALK
PARKING & CIRCULATION
SITE BRANDING
LANDSCAPING
SIGNAGE

RECEIVED BY
CITY OF SEASIDE

MAR 21 2019

COMMUNITY
DEVELOPMENT

CVR
COVER SHEET

ABBREVIATIONS:

AC - ASPHALT CONCRETE	SL - STREET LIGHT
BFP - BACKFLOW PREVENTOR	SMT - SURFACE MOUNTED TRANSFORMER
CB - CATCH BASIN	SS - SANITARY SEWER LINE
CL - CURB INLET	SSCO - SANITARY SEWER CLEANOUT
CLF - CENTER LINE	SW - SIDEWALK
CLP - CHAIN LINK FENCE	TEL - TELEPHONE LINE
CONC - CONCRETE	TEL - TELEPHONE BOX
DWY - DRAINAGE	TC - TOP OF CURB
E - ELECTRIC LINE	TP - TELEPHONE POLE
EB - ELECTRIC BOX	TS - TRAFFIC SIGNAL
EM - ELECTRIC METER	TSC - TRAFFIC SIGNAL CONTROL BOX
EV - ELECTRIC VALVE	UG - UNDERGROUND UTILITY
FC - FACE OF CURB	VG - VALLEY GUTTER
FDC - FIRE DEPT. CONNECTION	W - WATER MAIN
FI - FIRE HYDRANT	WM - WATER METER
FL - FLOWLINE	WV - WATER VALVE
GM - GAS METER	YL - YARD LIGHT
GP - GUARD POST	
GV - GAS VALVE	
HCR - HANDICAP RAMP	
IRI - IRRIGATION	
JP - JOINT POLE	
JT - JOINT TRENCH	
MW - MONITORING WELL	
OH - OVERHEAD UTILITY	
PIV - POST INDICATOR VALVE	
POB - PUBLIC GAS & ELECTRIC	
PL - PROPERTY LINE	
PLNTR - PLANTER	
PP - POWER POLE	
PUE - PUBLIC UTILITY EASEMENT	
R/W - RIGHT OF WAY	
SD - STORM DRAIN LINE	

SYMBOLS:

● - MONUMENT (AS NOTED)
○ - PROPERTY CORNER (AS NOTED)
— CHAIN LINK FENCE
— FIRE HYDRANT
— STORM DRAIN MANHOLE
— MANHOLE
— SANITARY SEWER MANHOLE
— TELEPHONE MANHOLE
— TREE
— YARD LIGHT

UTILITY NOTE

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

BASIS OF BEARINGS:

THE BASIS OF BEARING OF THIS SURVEY IS THE NORTH-WESTERLY LINE OF PARCELS E-1 AND E-2 AS SHOWN ON 12 CAT 60, THE BEARING OF WHICH IS S53°34'18"W.

BENCHMARK:

CITY BENCHMARK #20: UPPER EDGE OF BRONZE DISC ABOVE DROP INLET IN THE NORTHEASTLY RETURN OF DEL MONTE AVENUE AND ELM STREET

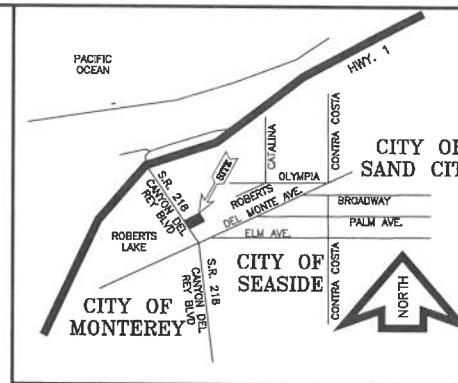
ELEVATION = 21.237 (CITY DATUM)

NOTES:

- THE SITE IS ZONED CRG (REGIONAL COMMERCIAL)
- SETBACKS PER ZONING:
FRONT: 0' (POSSIBLE SETBACK DUE TO PROXIMITY TO A COASTAL ZONE)
SIDE: 30' TOTAL BETWEEN PARCELS, 18' ON ONE SIDE AND 12' ON THE OTHER
REAR: 0' (POSSIBLE SETBACK DUE TO PROXIMITY TO A COASTAL ZONE)
- FLOOD ZONE IS DESIGNATED 'X' PER COMMUNITY PANEL NUMBER 06053C03266, DATED 6/21/2017.
- PARCEL 4 IS PARCEL C OF TRACT 739 AND IS THE PARCEL HOME DEPOT IS SITING ON IN THE SHOPPING CENTER. IT IS A NON-EXCLUSIVE EASEMENT OVER THE COMMON AREAS FOR PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS. IT IS NOT PLOTTED AS THE CORNER OF THIS PARCEL IS APPROX. 300' FROM THE McDONALD'S PARCEL AND WOULD ONLY BE USED AS ACCESS TO THE NORTHEAST AND ROBERTS AVE. ULTIMATELY LEADING TO DEL MONTE BLVD. VIA OLYMPIA BLVD. (SEE VICINITY MAP)

UTILITY REFERENCES:

STORM DRAIN -	CITY OF SEASIDE 440 HARCOURT AVENUE SEASIDE, CA 93955 (831) 899-6885
SEWER -	CITY OF SEASIDE 440 HARCOURT AVENUE SEASIDE, CA 93955 (831) 899-6885
WATER -	CAL-AM WATER COMPANY 9870 BLUE LARKSPUR LANE MONTEREY, CA 94303 (831) 646-3253
ELECTRICAL -	PACIFIC GAS AND ELECTRIC 2311 GARDEN ROAD MONTEREY, CA (831) 646-3231



VICINITY MAP N.T.S.

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF SEASIDE, COUNTY OF MONTEREY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:

PARCELS "E-1" AND "E-2", AS SAID PARCELS ARE SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT NO. 739, OFFICIAL MAP OF LAGUNA GRANDE REDEVELOPMENT PROJECT", FILED AUGUST 1, 1974 IN VOLUME 12 OF CITIES AND TOWNS AT PAGE 60, RECORDS OF MONTEREY COUNTY, CALIFORNIA, SAID MAP IS HEREINAFTER REFERRED TO AS THE "TRACT 739 MAP", SAID PARCELS BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID PARCEL E-1, THENCE ALONG THE SOUTHEASTERLY LINES OF SAID PARCEL E-1 AND SAID PARCEL E-2, NORTH 53° 33' 20" EAST 171.63 FEET TO THE MOST EASTERLY CORNER OF SAID PARCEL E-2; THENCE ALONG THE NORTHEASTERLY LINE OF SAID PARCEL E-2, NORTH 36° 25' 42" WEST 118.13 FEET TO THE MOST NORTHERLY CORNER OF SAID PARCEL E-2; THENCE ALONG THE NORTHEASTERLY LINES OF SAID PARCEL E-2 AND SAID PARCEL E-1 SOUTH 53° 34' 18" WEST 174.25 FEET TO THE MOST WESTERLY CORNER OF SAID PARCEL E-2, SAID POINT LYING ON A 7,450 FOOT RADIUS NON-TANGENT CURVE HAVING A RADIAL BEARING AT SAID POINT OF SOUTH 52° 45' 22" WEST; THENCE, SOUTHEASTERLY ALONG SAID CURVE, SAID CURVE BEING THE SOUTHWESTERLY LINE OF SAID PARCEL E-1 THROUGH A CENTRAL ANGLE OF 00° 54' 33" AND AN ARC LENGTH OF 118.21 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT FOR RIGHT OF WAY PURPOSES OVER A STRIP OF LAND 60 FEET WIDE AND A STRIP OF LAND 30 FEET WIDE, AS AN APPURTENANT TO SAID PARCEL 1, AS SHOWN ON THE TRACT 739 MAP.

PARCEL 3:

NON-EXCLUSIVE EASEMENTS ON, OVER AND UNDER THE "PARKING SITE" (AS SUCH TERM IS DEFINED AND DESCRIBED IN THE "AGENCY GRANT DEED DATED" APRIL 12, 1976, RECORDED APRIL 23, 1976 IN REEL 1049 OF OFFICIAL RECORDS OF MONTEREY COUNTY AT PAGE 232, BEING PARCELS A-1, A-2, A-3, A-4, A-5, B, AND I AS SAID PARCELS ARE SHOWN ON THE TRACT 739 MAP, FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES: FOR THE ERECTING, CONSTRUCTING, MAINTAINING AND OPERATING OF SIGNS AND OTHER ADVERTISING AND DIRECTIONAL FACILITIES; AND FOR PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, ALL AS DEPICTED AND FULLY DEFINED IN AND LIMITED BY THE AGENCY GRANT DEED.

PARCEL 4:

A NON-EXCLUSIVE EASEMENT OVER AND UPON THE COMMON AREA PORTION OF PARCEL C AS SAID PARCEL IS SHOWN ON THE TRACT 739 MAP (BEING THE "LAND EASEMENT AREA" DEPICTED, DEFINED AND DESCRIBED IN THE AGENCY GRANT DEED), FOR PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, AS DEPICTED AND FULLY DEFINED IN AND LIMITED BY THE AGENCY GRANT DEED.

REFERENCES:

- CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NO. FWMN-T017001644, DATED DECEMBER 18, 2017.
- TRACT MAP NO. 7398, 12 CITIES AND TOWNS 60

EXCEPTIONS PER REFERENCE 1:

- TAXES
- TAXES
- LIEN OF SUPPLEMENTAL TAXES, IF ANY
- THE HEREIN PROPERTY IS WITHIN THE BOUNDARIES OF MONTEREY REGIONAL PARK DISTRICT OPEN SPACE AND COASTAL PRESERVATION DISTRICT (INST #2017019116) NON-SURVEY RELATED AND NOT PLOTTED.
- ANY ASSESSMENTS OR CHARGES DUE TO THE MONTEREY REGIONAL WATER POLLUTION CONTROL AGENCY.
- DITCH/PIPELINE EASEMENT (BOOK 163, PAGE 261) UNABLE TO PLOT PER RECORD DATA.
- P.G.A.E. EASEMENT (VOL. 1908, PAGE 387) UNABLE TO PLOT PER RECORD DATA.
- NEIGHBORHOOD REDEVELOPMENT PROGRAM (REEL 656, PAGE 726; AND AMENDMENTS), ESTABLISHES DEVELOPMENT STANDARDS AND USES, NON-SURVEY RELATED, NOT PLOTTED.
- EASEMENTS ON MAP (12 CAT 60), 10' TELEPHONE EASEMENT, AFFECTS EASTERLY CORNER OF PARCEL 1
- 10' SANITARY SEWER EASEMENT, AFFECTS PORTIONS OF PARCEL 1
- C.O.B.R.'s (REEL 1049, PAGES 232 AND 267; REEL 1049, PAGE 721; REEL 1826, PAGE 604; REEL 2283, PAGE 715), PROVIDES RECIPROCAL ACCESS AND UTILITY EASEMENTS ACROSS PARCELS 1 AND 2, DEFINES ALLOWABLE BUILDING AREA FOR PARCEL 1
- PUBLIC UTILITY EASEMENTS (1049 O.R. 287), EASEMENTS FROM LEGAL DESCRIPTION AND SHOWN AS PARCELS 2, 3 AND 4.
- SHOPPING CENTER EXPANSION AGREEMENT (INST #8889903), PROVIDES BLANKET EASEMENT OVER PARKING AREAS FOR RECIPROCAL ACCESS AND UTILITIES BLANKET IN NATURE AND NOT PLOTTED.
- SIGN AGREEMENT (INST # 8889904), PROVIDES FOR CONSTRUCTION AND USE OF FREEWAY SIGNAGE. RECORD INFORMATION GIVES APPROXIMATE LOCATIONS ONLY AND IS NOT PLOTTED.
- DEEDS OF TRUST
22. GENERAL NOTES AND TITLE COMPANY REQUIREMENTS.

SURVEYOR'S CERTIFICATE

TO: McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY;
McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION;
McDONALD'S CORPORATION, A DELAWARE CORPORATION; AND
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7, 8, 9, 11, 17 AND 18 OF TABLE A THEREOF, AND THAT IT COMPLIES WITH THE REQUIREMENTS PROVIDED BY McDONALD'S CORPORATION. THE FIELD WORK WAS UPDATED ON MARCH 28, 2018.

DATE: MARCH 30, 2018
SIGNED: Steven R. Curada, L.S. #6389



L/C: 004-1284

A.L.T.A. SURVEY
1516 CANYON DEL REY BLVD
APN: 011-561-024 & -025

CITY OF SEASIDE COUNTY OF MONTEREY STATE OF CALIFORNIA

Prepared for McDONALD'S CORPORATION

OURADA ENGINEERING
6805 FLEET COURT
ROCKLIN, CALIFORNIA 95765
PHONE: (916) 824-1221

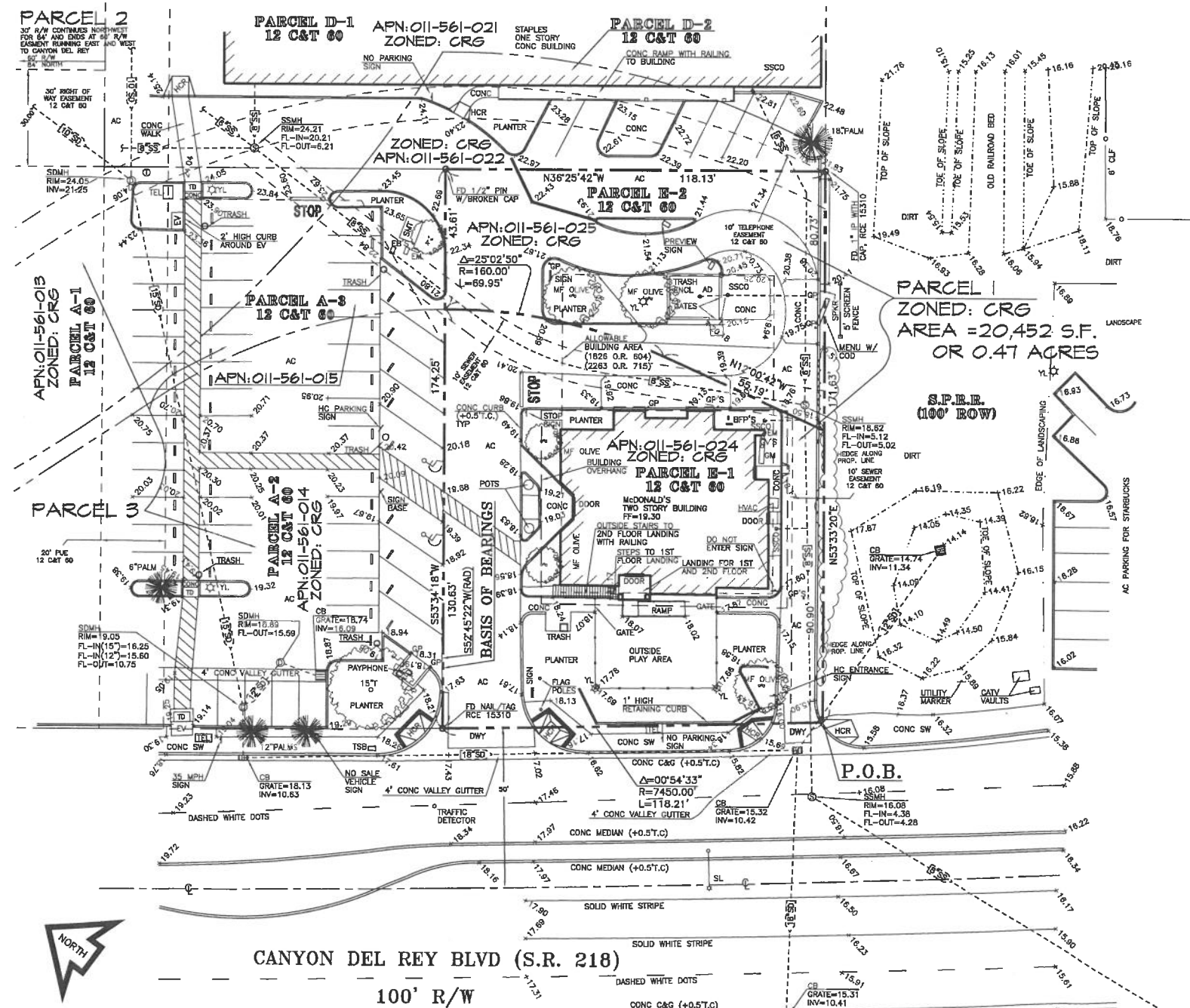
JOB NO.
MC-1492

SHEET 1 OF 1

DRAWN BY: SRO

DATE: 03/30/2018

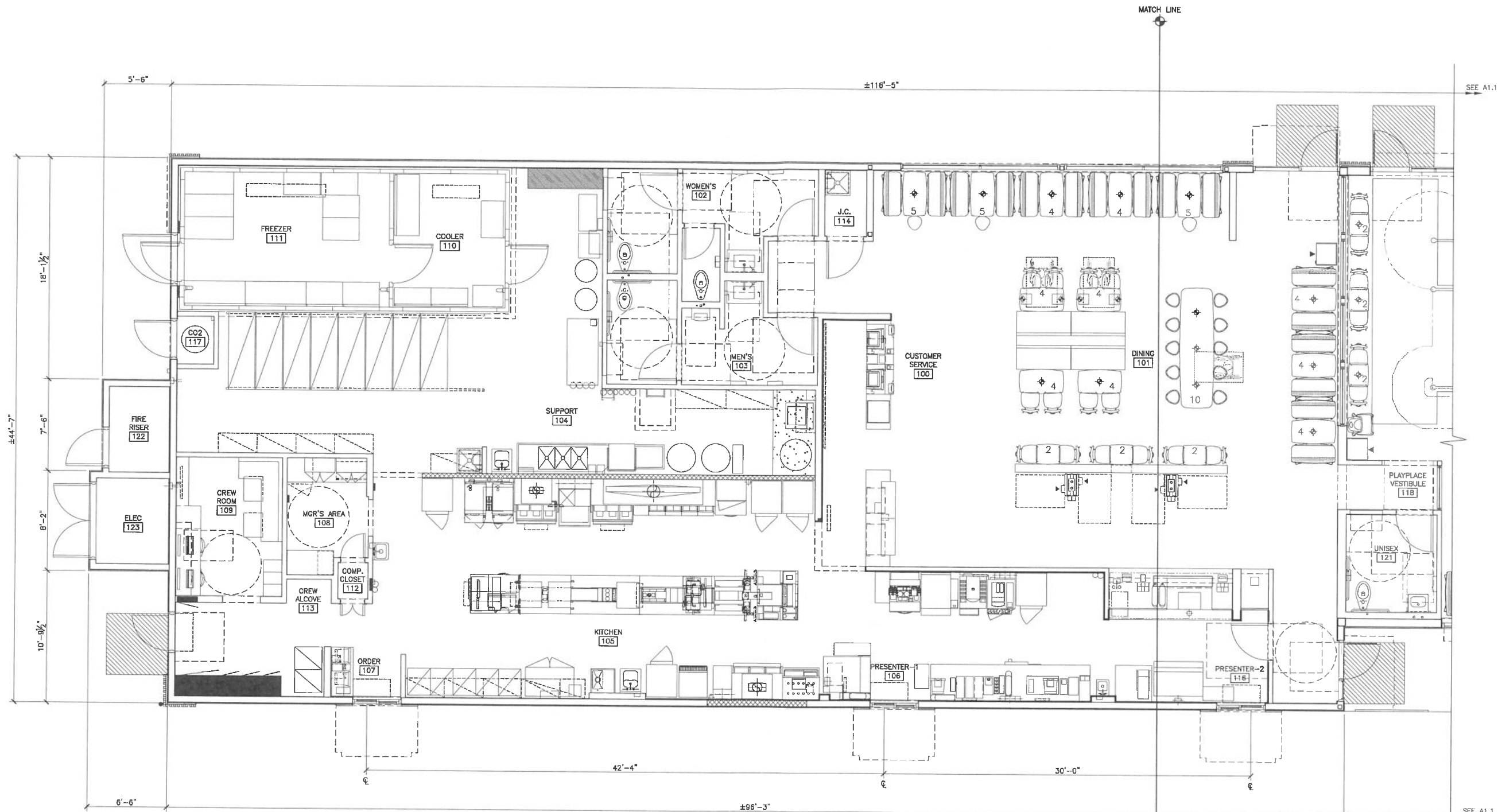
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1 PARTIAL FLOOR PLAN
A1.0 1/4" = 1'-0"
(SEE PARTIAL PLAN 1/A1.1 FOR CONTINUATION OF FLOOR PLAN)



SHEET NO.		TITLE		DRAWN BY		DATE		REVISION		REVISION		REVISION	
A1.0		McDONALD'S #7436 SEASIDE - CANYON DEL REY		LB/CB		03/20/19		DATE		DATE		DATE	
FLOOR PLAN		REBUILD - R320		REVIEWED BY		RMF		DATE		DATE		DATE	
		WOOD BEARING WALLS AND WOOD ROOF FRAMING											
		STUCCO/BATTEN/METAL PANEL FINISHES											
		SITE ADDRESS											
		004-1284 1518 CANYON DEL REY, SEASIDE, CA 93955											
		MCD17201.0 SEASIDE - PLANNING USE PERMIT											
		Professional of Record:											
		PM DESIGN											
		Architectural Solutions Group											
		2455 Bennett Valley Rd. Suite A-102 San Jose, CA 95128											
		BY											
		REV											
		DATE											
		03/20/19											
		ISSUED FOR USE PERMIT REVIEW											
		02/21/19											
		ISSUED FOR CLIENT REVIEW											
		RMF											
		RMF											



1
A1.1

REV	DATE	DESCRIPTION	BY
	03/20/19	ISSUED FOR USE PERMIT REVIEW	RMF
	02/21/19	ISSUED FOR CLIENT REVIEW REVIEW	RMF

Professional of Record:



**Architectural
Solutions Group**

2455 Bennett Valley Rd.
Suite A-102
Santa Rosa, CA. 95404

Sec

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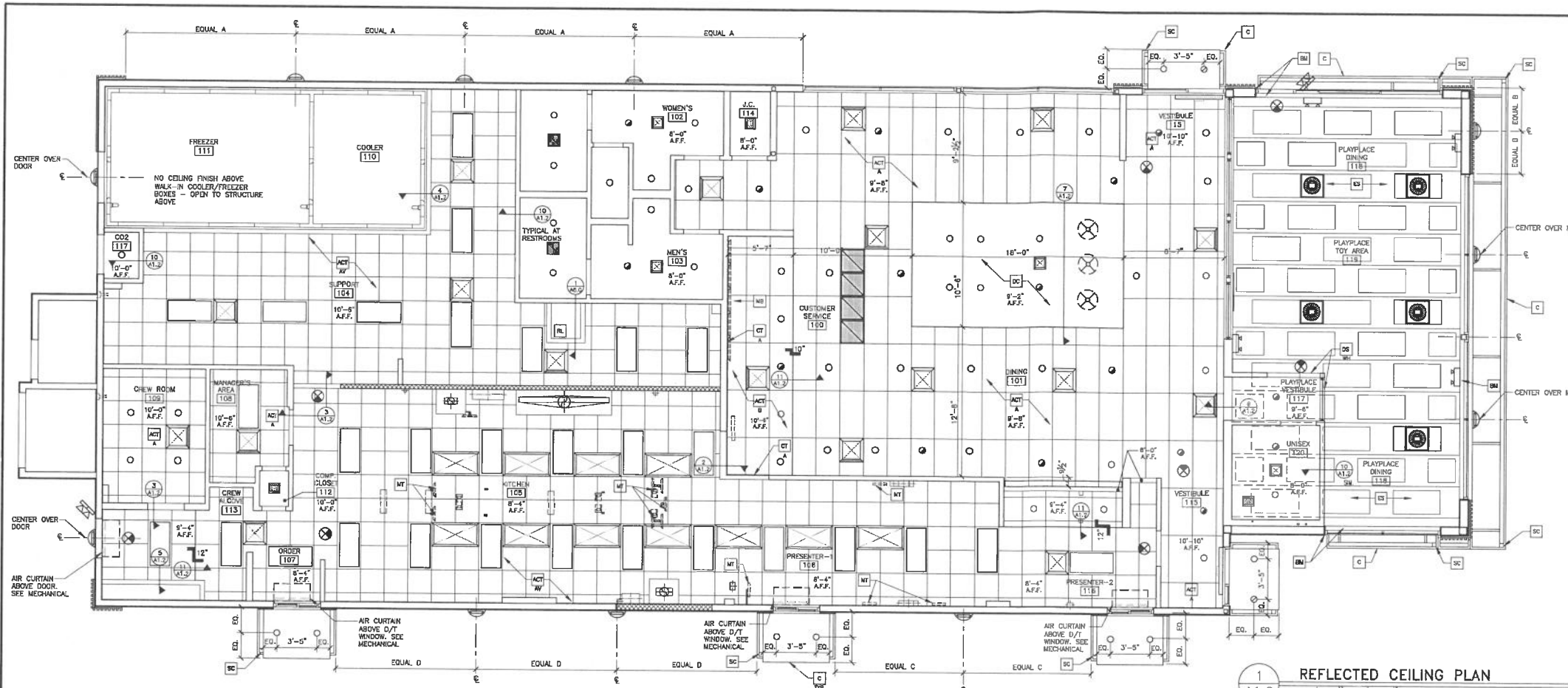
PREPARED FOR:  McDonald's USA, LLC

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SHEET NO.	TITLE	DRAWN BY
A1.1	McDONALDS #7436	LEJ/CB
	SEASIDE — CANYON DEL REY	STD ISSUE DATE
	DESCRIPTION	CJ/20/19
	REBUILD — BB20	REVIEWED BY
	WOOD BEARING WALLS AND WOOD ROOF FRAMING	DATE ISSUED
	STUCCO PARTIAL/METAL PANEL FINISHES	CJ/20/19
	90-15-1984	1515 CANYON DEL REY, SEASIDE, CA 94065

MCD17201.0 SEASIDE - PLANNING USE PERMIT

\\PDS\GLOCAL\MOO-SHARED\A\01-PROJECTS\AMERICAN CANYON\MCDONALD'S - MCD 2017\MCD17201.0 - SEASIDE 01-DRAWINGS\01-ARCHITECTURAL\02-PLANNING\02-17201-PLAN-A1.2.DWG 3/20/2019 1:55 AM JEN M. RUST



KEY NOTES

ACT ACOUSTICAL CEILING TILE - VERIFY FINISHES WITH DECOR COMPANY

ACT AV ACOUSTICAL CEILING TILE - VINYL FACED COLOR: WHITE - SEE ROOM FINISH SCHEDULE

ACT B ACOUSTICAL CEILING TILE: USG 24"x24" PREMIER HI-LITE CLIMAPLUS KAPOK PANELS. UNPERFORATED COLOR: FLAT BLACK 205 GRID: USG 15/16" DX/DXL COLOR: BLACK

ACT BY ACOUSTICAL CEILING TILE: VINYL FACED USG 24"x24" PREMIER HI-LITE CLIMAPLUS KAPOK PANELS. UNPERFORATED COLOR: FLAT BLACK 205 GRID: USG 15/16" DX/DXL COLOR: BLACK

BM BREAK METAL SOFFIT - SEE WALL SECTIONS FOR CONSTRUCTION AND FINISHES

C ALUMINUM CANOPY WITH INTEGRAL GUTTER AND SCUPPER - SEE 4/A5.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS - SEE ELEVATION FOR COLOR AND FASCIA LOCATIONS

CT A WALL TILE: EUROWEST - LANDSTONE COLLECTION COLOR: COAL SIZE 4"x12", PATTERN: STACK BOND GROUT: MAPEI 47 CHARCOAL -JOINT TO BE 1/8" MAX. COORDINATE WITH THE MCDONALD'S AREA CONSTRUCTION MANAGER

DC SUSPENDED DECORATIVE CEILING TREATMENT - SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION

DS DROPPED SOFFIT

DC-WH BOTTOM TO ALIGN WITH GYP BD AT EXTERIOR WINDOW HEAD MAY BE REPLACED BY ELEMENT BY DECOR SUPPLIER - CONFIRM WITH AREA CONSTRUCTION MANAGER

ES EXPOSED STRUCTURE ABOVE - UNDERSIDE OF DECK AND JOISTS TO BE PAINTED "BRIGHT WHITE", ALL EXPOSED ENDS OF ROOFING FASTENERS TO BE CLIPPED ACOUSTICAL CEILING PANELS TO BE MOUNTED ON UNDERSIDE OF ROOF DECKING - CENTER PANELS BETWEEN BOWSTRING TRUSSES, EVENLY SPACED, COORDINATE AND AVOID LIGHT FIXTURE POSITIONING

MB MENU BOARD WITH BEZELS BY OTHERS UNDER SEPARATE PERMIT - SEE ELEC PLANS

MT CEILING MOUNTED MONITOR: A) VERIFY MONITOR LOCATIONS WITH MCDONALD'S PROJECT MANAGER PRIOR TO INSTALLATION. B) SEE DETAIL 6/A1.2 FOR INSTALLATION METHOD

RL ROOF LADDER OPENING

SC INTEGRAL GUTTER SCUPPER

GENERAL NOTES

- SEE SHT A6.0 FOR CEILING FINISHES.
- SEE SHT A1.0 FOR MENU BOARD DROPPED SOFFIT LOCATION DIMENSIONS
- GENERAL CONTRACTOR SHALL COORDINATE HVAC DIFFUSER LOCATION WITH DECOR & MECHANICAL PLANS AND REPORT ANY DISCREPANCIES TO ARCHITECT.
- REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR DIFFUSER AND LIGHTING INFORMATION.
- PROVIDE USG V15 CEILING TILE RETENTION CLIPS IN ALL VESTIBULE AREAS

REV	DATE	DESCRIPTION
BY		
REV		
DATE		
DESCRIPTION		

Professional of Record:

PM DESIGN
Architectural Solutions Group
2455 Bennett Valley Rd.
Suite A-102
Santa Rosa, CA, 95404

Seal

2 VALANCE SECTION 1"=1'-0"

ROOF JOIST (SEE STRUCT. DWGS)
1/2" PLYWD. GUSSET EA. SIDE
DBL 2x4 FLAT w/10d NAILS @ 12" O.C.
(2 ROWS STAGGERED)
B/ TRUSS ELEV. VARIES
2x4 DIAG. BRACING @ 48" O.C.
CONT. 2x6
2x VERT. STUDS @ 16" O.C.
CEILING AS SCHEDULED
F.R.P. OVER 1/2" PLYWD. EXTEND 6" ABOVE CLG. LINE
CONT. 2x PLATE
B/ SOFFIT 6'-8" A.F.F.

3 CEILING TRANSITION w/ SOFFIT 1"=1'-0"

PROVIDE LATERAL BRACING TO STRUCT. ABOVE @ 4'-0" O.C. SEE 2/A1.0 FOR PARTITION TYPE "A"
CEILING ELEV. AS SCHEDULED
1/2" GYP. BD. EXTENDED 6" ABOVE CLG. LINE (TYP.)
CEILING ELEV. AS SCHEDULED
CONT. 2x4 PLATE
PROVIDE MTL. CORNER BEAD MOULDING (TYP.)
BOTTOM OF SOFFIT 3" BELOW LOWEST SURROUNDING CEILING UNLESS NOTED OTHERWISE ON CEILING PLAN

4 CEILING DETAIL AT COOLER 1 1/2"=1'-0"

CONSTRUCTION AS PER SURROUNDING PARTITION TYPE INDICATED ON FLOOR PLAN
CEILING AS SCHEDULED
B/ SOFFIT 6'-0" A.F.F.
METAL CASING BEAD AROUND OPENING
F/C PANEL
MTL. CLOSURE PIECE @ 3 SIDES OF OPENING BY K.E.S. FASTEN TO F/C & WALL

5 CEILING DETAIL AT SWITCHGEAR 1 1/2"=1'-0"

CONSTRUCTION AS PER SURROUNDING PARTITION TYPE INDICATED ON FLOOR PLAN - FINISH MATERIAL ON OUTSIDE SURFACE ONLY
CEILING AS SCHEDULED
METAL CASING BEAD AROUND OPENING
TOP OF ELECTRICAL SWITCHGEAR

6 MONITOR INSTALLATION DETAIL 1 A1.2 N.T.S.

3/4" DIA THREADED ROD DRILLED BETWEEN DOUBLE 2x4 PROVIDE DOUBLE NUT & 3" OVER-SIZED STEEL WASHER BOTH SIDES
WOOD ROOF JOIST
DBL 2x4 FLAT w/ 10d NAILS @ 12" O.C. 2 ROWS STAGGERED
2x4 ON EDGE (SPANNING A MIN. OF 2 PANEL POINTS). INSTALL ONE BOLT ABOVE EACH BOTTOM CHORD PIN TO HOLD 2X'S IN PLACE OUTLET & JUNCTION BOX - SEE ELECTRICAL.
CEILING AS SCHEDULED
THREADED ROD TO PROJECT BELOW CEILING TO RECEIVE MONITOR BRACKET COVER w/ 3" BEAUTY TUBE PROJECT THRU CEILING 2 INCHES NOTCH REAR SIDE OF BEAUTY TUBE WITH 3/4" x 3" OPENING FOR CABLES & WIRING.
MONITOR BRACKET

7 CEILING TRANSITION w/ SOFFIT 1 1/2"=1'-0" COORDINATE w/ DECOR

ROOF JOIST - ROOF ASSEMBLY - UNISTRUT CONNECTION FOR THREADED ROD
B/ DROP SOFFIT - SEE CLING. PLAN
CEILING AS SCHEDULED
23-3/4"x23-3/4"x3/4" PLYWOOD BACKER ABOVE CEILING TILES WITH THREADED ROD CONNECTION
SEATING AND DECOR PROVIDED LAMINATED SOFFIT. G.C. TO COORDINATE ELECTRICAL/LIGHTING
3/8" THREADED ROD
CORNER BRACKET. MIN. 1" OF ROD THROUGH BRACKET

8 DETAIL NOT USED 1 A1.2 -

9 GYP BD CEILING DETAIL 1 1/2"=1'-0" A0610WB1

* REFER TO 1/A1.2 FOR CEILING HEIGHTS
PLAYPLACE VESTIBULE
2x LEDGER W/ 2- DW SCREWS TO EACH STUD
1/2" PLYWOOD DECKING
2x FRAMING @ 24" O.C.
GYP. BOARD
STUD BLOCKING
CEILING AS SCHEDULED
PARTITION TYPE AS SHOWN ON FLOOR PLAN
GYPSUM BOARD CEILING
S.S.T. "U" HANGER
METAL CASING BEAD AROUND OPENING

10 GYP BD CEILING DETAIL 1 1/2"=1'-0" A0610WB1

CEILING AS SCHEDULED
2x LEDGER W/ 2- DW SCREWS TO EACH STUD
2x FRAMING @ 24" O.C.
R-19 BATT. INSULATION @ CO2 ROOM
STUD BLOCKING
PARTITION TYPE AS SHOWN ON FLOOR PLAN
GYPSUM BOARD CEILING
S.S.T. "U" HANGER

11 ACOUSTIC CEILING TRANSITION 1 A1.2 N.T.S. COORDINATE w/ DECOR

CEILING AS SCHEDULED
TRANSITION TRIM 10" TRANSITION @ SERVICE: USG COMPASSO, BLACK 12" TRANSITION @ KITCHEN: USG COMPASSO, FLAT WHITE
10" OR 12" SEE PLAN
4" - 6"

MCD17201.0 SEASIDE - PLANNING USE PERMIT

PREPARED FOR:

M. McDonald's USA, LLC

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03/20/19	LE/DB	STD
03/20/19	REVIEWED BY	DATE ISSUED
03/20/19	DATE ISSUED	03/20/19

DATE ISSUED: 03/20/19

TITLE: MCDONALD'S #7436 SEASIDE - CANYON DEL REY

DESCRIPTION: REBUILD - BB20 WOOD BEARING WALLS AND WOOD ROOF FRAMING STICCO/ANTEN/METAL PANEL FINISHES

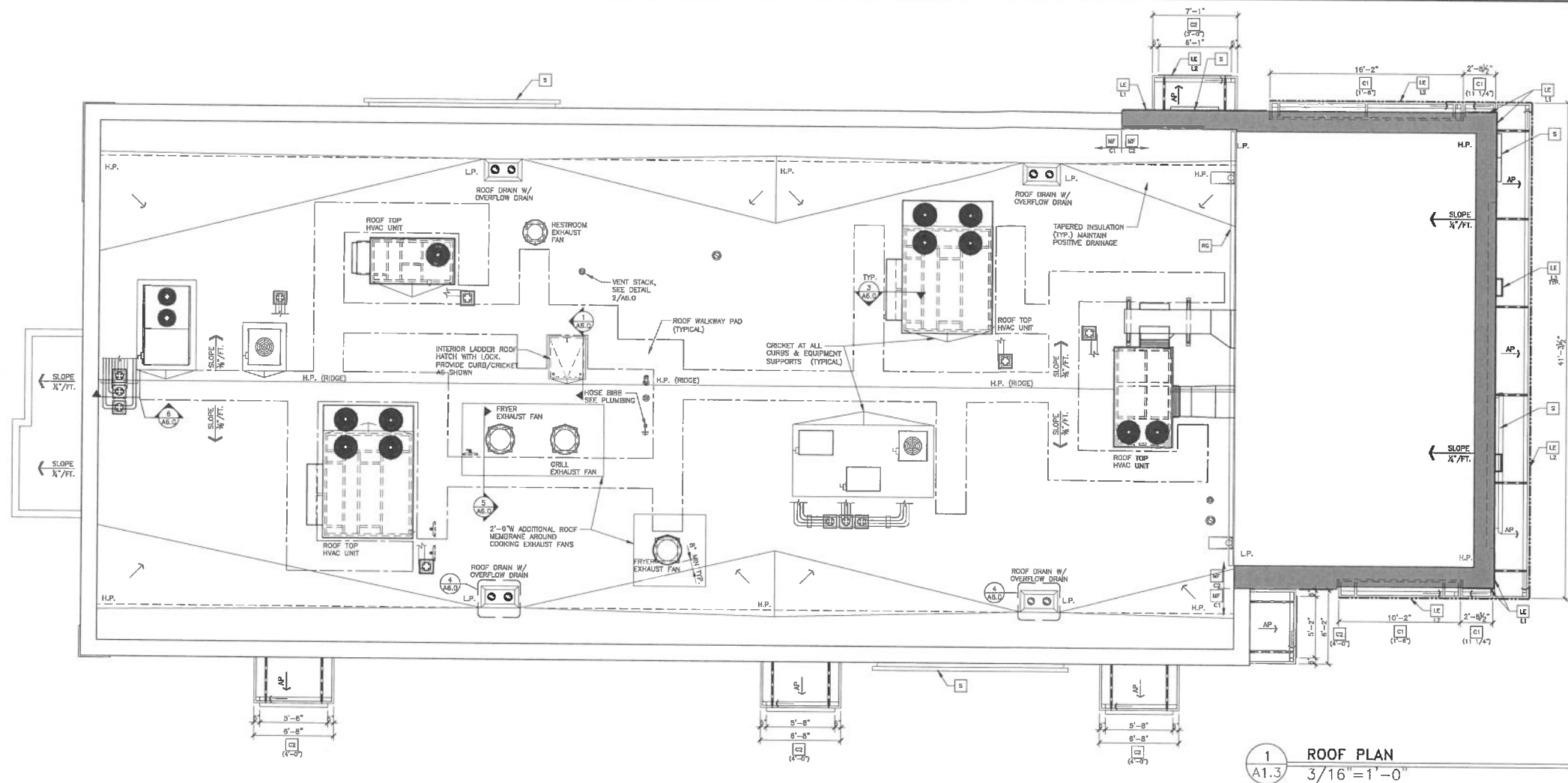
SITE ID: 004-1284

1516 CANYON DEL REY, SEASIDE, CA 92085

SHEET NO. **A1.2**

REFLECTED CLG. PLAN

\\PDESIGN\LOCAL\PMDC-SHARED\AC\01-PROJECTS\AMERICAN CANYON\MCDONALD'S\ - MCD 2017\MCD17201.0 - SEASIDE\01-DRAWINGS CURRENT\01-ARCHITECTURAL\02-PLANNING\02-17201_A-PLAN-ALDWS 3/20/2019 11:55 AM JSM M. RUST



1 ROOF PLAN
A1.3 3/16"=1'-0"

LEGEND

- L.P. LOW POINT
H.P. HIGH POINT
— DIRECTION OF DRAINAGE
AP TRELLIS SYSTEM WITH ALUMINUM INFILL PANELS. SLOPE TO EDGE @1/4"PER FT.

KEY NOTES

- C1 ALUMINUM CANOPY SYSTEM W/ FASCIA (COLOR: SEE ELEVATIONS)
C2 ALUMINUM CANOPY SYSTEM (COLOR: SEE ELEVATIONS)
LE ACCENT LIGHTING - SEE ELEVATIONS & ELECTRICAL
LI LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
MF METAL FASCIA
C1-COLOR:
C1 = WEATHERED ZINC
C2 = MATCH BM-2134-30 IRON MOUNTAIN BY BENJAMIN MOORE
RG CONTINUOUS RAIN GUTTERS AT RAISED ROOF. SLOPE TOWARDS AND DRAIN ONTO FLAT ROOF SPLASH BLOCKS-- SEE SECTIONS
S McDONALD'S SIGNAGE BY OTHERS UNDER SEPARATE PERMIT (SEE ELEVATIONS)

ROOFING NOTES

- SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2 OF THIS SHEET.
- PROVIDE PREFABRICATED METAL CURBS. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SHEETS. PROVIDE SHIMS TO LEVEL CURB AREAS WHERE ROOF DECK IS PITCHED.
- FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF HATCH. REFER TO STRUCTURAL DRAWINGS.
- CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

Seal

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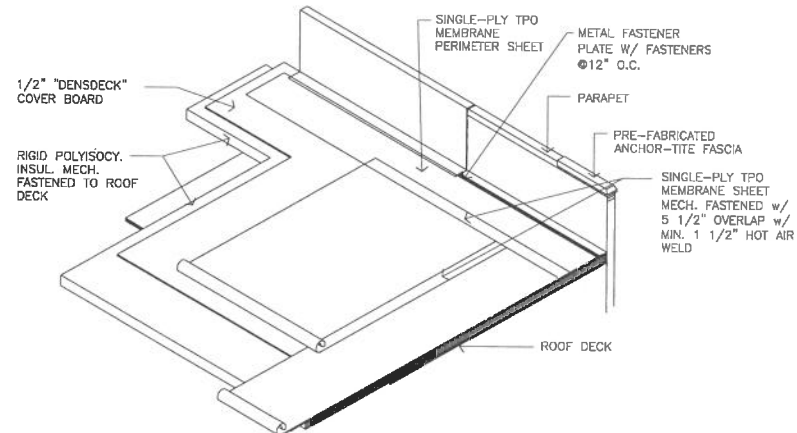
PROJECT NO. MCDONALD'S #7436
SEASIDE - CANYON DEL REY
DESCRIPTION REBUILD - BB20
WOOD BEARING WALLS AND WOOD ROOF FRAMING
STRUCTURAL/MECHANICAL/MATERIAL FINISHES
SITE ID 054-1284
SITE ADDRESS 1516 CANYON DEL REY, SEASIDE, CA 93555

SHEET NO. A1.3
ROOF PLAN

MCD17201.0 SEASIDE - PLANNING USE PERMIT

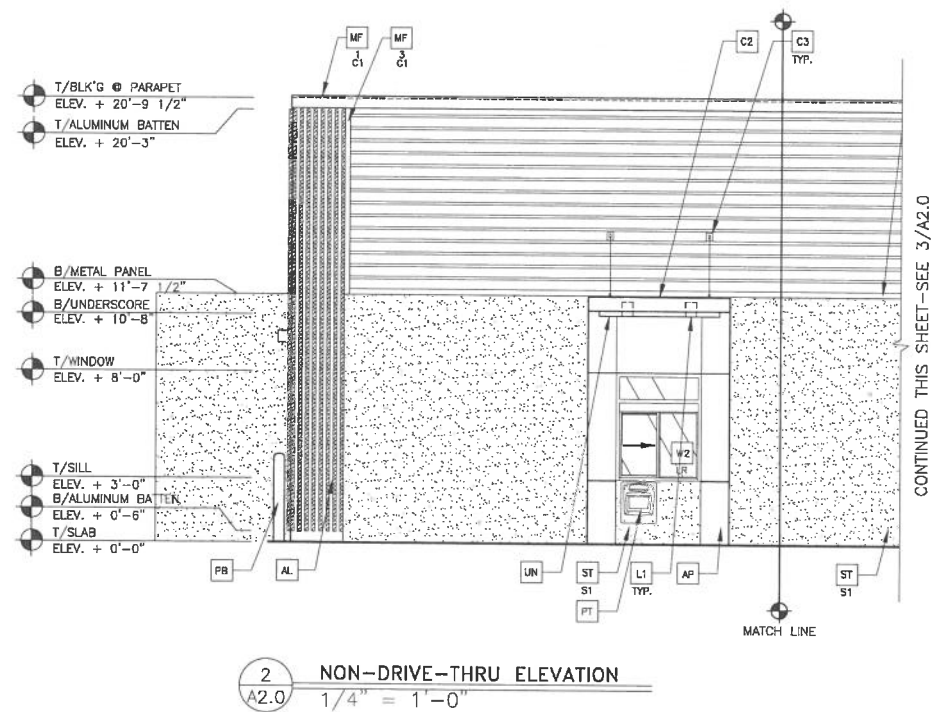
ROOFING SYSTEM

- MANUFACTURERS AND PRODUCTS:
A. JOHNS MANVILLE
JM-TPO
NO SUBSTITUTIONS ALLOWED
- SPECIFIED ROOFING SYSTEMS (AS SHOWN):
HEAT-WELDABLE SINGLE-PLY 60 MIL TPO ROOFING SYSTEM, INSTALLED OVER RIGID INSULATION ON WOOD ROOF DECK HAVING A SLOPE OF 3/8"/FT. MATERIALS SHALL BE AS FOLLOWS:
A. TPO ROOFING SYSTEM AS MANUFACTURED BY MANUFACTURER LISTED ABOVE TO COMPLY WITH ASTM E 108 OR UL 790, ASTM D-6878, AND FMG 1-90 FOR WIND UPLIFT.
B. FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER.
C. ACCESSORIES: PRE-FABRICATED CURBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING ETC. AS PER MANUFACTURER.
- WALKWAYS:
A. 30" WIDE WALKWAY ROLL, HOT AIR WELDED TO MEMBRANE.
B. PROVIDE WALKWAY FROM ROOF LADDER EXIT TO ALL ROOF TOP EQUIPMENT AS PER ROOF PLAN ABOVE.
C. INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION.
- RIGID INSULATION:
PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/ 1/2" "DENSDECK" COVER BOARD TO MEET A MINIMUM CONTINUOUS R-30 VALUE - THICKNESS AS REQUIRED. PROVIDE POSITIVE SLOPE TO ALL ROOF DRAINS. SEE ROOF PLAN. PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS. BOTTOM LAYER OF INSULATION TO HAVE INTEGRAL THERMAL BARRIER OR APPROVED ROOFING MANUFACTURER'S THERMAL UNDERLAYMENT SHEET. ASSEMBLY SHALL COMPLY WITH UL 1256 OR FMG 4450 AND ASTM C 1289, TYPE I OR II.
- TAPERED INSULATION:
PROVIDE TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. 1/4" PER FOOT MIN. REQUIRED.
- EXHAUST FANS:
PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.



2 ROOFING SYSTEM
A1.3 N.T.S.

3 DETAIL NOT USED
A1.3



- | | |
|----|--|
| ST | STUCCO EXTERIOR FINISH - TO BE PAINTED |
| 51 | COLOR DESIGNATION:
51 - BENJAMIN MOORE HC-85 FAIRWEAV TAUPE |
| UN | METAL UNDERSCORE
COLOR: GOLD |
| W1 | EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE |
| W2 | DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 400 SERIES 48" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN; ELECTRONIC RELEASE |
| XC | COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = LEFT TO LEFT
UR = RIGHT TO RIGHT |

SHEET NO.	TITLE MCDONALDS #7436 SEASIDE — CANYON DEL REY	DRAWN BY LB/CB	PREPARED FOR: © 2019 McDonald's USA, LLC		Sejal	PM DESIGN Architectural Solutions Group 2455 Bennett Valley Rd. Suite A-102 Sanita Rosa, CA. 95404	REV	DATE	DESCRIPTION	BY
		STD ISSUE DATE 03/20/19	M. McDonald's USA, LLC							
		REVIEWED BY RMF								
		DATE ISSUED 03/20/19								
		DESCRIPTION WOOD BEARING WALLS AND WOOD ROOF FRAMING STUCCO/BENTEN/METAL PANEL FINISHES								
SITE ID 004-1284	SITE ADDRESS 1516 CANYON DEL REY, SEASIDE, CA 92083					03/20/19	ISSUED FOR USE PERMIT REVIEW	RMF		
						02/21/19	ISSUED FOR CLIENT REVIEW REVIEW	RMF		

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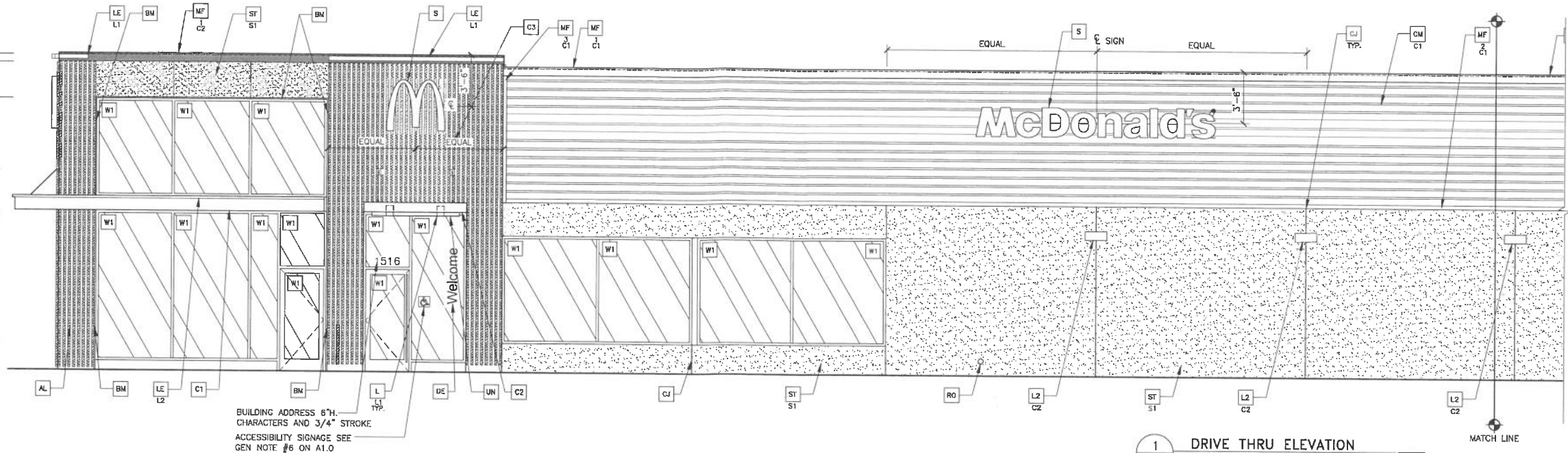
CONTINUED THIS SHEET-SEE 1/A2.1

- T/BLK'G @ PARAPET
ELEV. + 21'-7"
- T/ALUMINUM BATTEN
ELEV. + 21'-0 1/2"
- T/WINDOW
ELEV. + 18'-7"

- C.L./TIEBACK
ELEV. + 13'-8"

- T/WINDOW & B/CANOPY
ELEV. + 10'-11"
- B/UNDERSCORE
ELEV. + 10'-8"

- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"



1 DRIVE THRU ELEVATION
A2.1 1/4" = 1'-0"

CONTINUED THIS SHEET-SEE 2/A2.1

REV	DATE	DESCRIPTION	BY

Professional of Record:

PM DESIGN
Architectural
Solutions Group

2455 Bennett Valley Rd.
Suite A-102
San Jose, CA 95128

Seal

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PREPARED FOR:

DATE	BY	DATE	BY	DATE	BY
03/20/19	LE/CS	03/20/19	LE/CS	03/20/19	LE/CS
03/20/19	REVIEWED BY	03/20/19	REVIEWED BY	03/20/19	REVIEWED BY
03/20/19	DATE ISSUED	03/20/19	DATE ISSUED	03/20/19	DATE ISSUED
03/20/19	DATE ISSUED	03/20/19	DATE ISSUED	03/20/19	DATE ISSUED

McDonald's #7436
SEASIDE - CANYON DEL REY
WOOD BEARING WALLS AND WOOD ROOF FRAMING
STUCCO/ALUMINUM PANEL FINISHES
004-1254
1516 CANYON DEL REY, SEASIDE, CA 92555

A2.1
ELEVATIONS

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
MFR: B+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, END CAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: RAL 7022
- AP ALPOLIC METAL PANEL (COLOR: CMC CHARCOAL)
- BM BREAK METAL PANEL
COLOR: GOLD PANTONE 123C
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GO TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- C4 CONTROL JOINT
1-TYPE: 1 = STUCCO
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1-COLOR: C1 = WEATHERED ZINC
- D HOLLOW METAL DOOR
PAINT: "AMHURST GRAY" BM-HC-167 BY BENJAMIN MOORE

- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
SQUEELA (865) 330-7337, ann.bowen@vsmato.com
GEX INTERNATIONAL (847) 543-4500, mcdonaldsdecor@gfi.com
- FB CO2 = CO2 = BULK CO2 FILL BOX (EGPM SCHEDULE ITEM 49.00)
RO = BULK OIL FILL BOX (EGPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: RAL 7022
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR: C1 = WHITE
C2= PLATINUM SILVER

- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SUM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA
C1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
C1-COLOR: C1 = WEATHERED ZINC
C2= RAL 7022

- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RWHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER
- RG CONTINUOUS RAIN GUTTER AT PLAYPLACE ROOF
COLOR: WEATHERED ZINC
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- ST STUCCO EXTERIOR FINISH - TO BE PAINTED
S1 COLOR DESIGNATION:
S1 = BENJAMIN MOORE HC-85 FAIRVIEW TAUPE
- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

MCD17201.0 SEASIDE - PLANNING USE PERMIT



CITY OF SEASIDE STAFF REPORT

Item No.: 8.D.

TO: Planning Commission

BY: Gloria Stearns, Community Development Manager

DATE: April 24, 2019

SUBJECT: USE PERMIT APPLICATION NO. UP-19-10. CLAY AND LISA MATHEWS, PROPERTY OWNER, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING USE PERMIT APPROVAL FOR AN EXTERIOR STAIRWAY LEADING TO A 539 SQUARE FOOT ROOF DECK ABOVE A NEW TWO-CAR GARAGE ATTACHED TO A ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PURPOSE & RECOMMENDATION

In accordance with Section 17.12.050 of the Seaside Municipal Code (Table 2-3 Residential Zone Development Standards), Note 6, exterior stairways that would lead to a roof deck within Residential Zone are permitted with the issuance of a use permit.

BACKGROUND

EXISTING SITE CONDITIONS

The subject site consists of an 8,712 square-foot parcel located on the north side of Ord Grove Avenue between Cross Street to the west and Mariposa Street to the east. The property is developed with a 1,656 square-foot, one-story single family dwelling with an attached 293 square-foot, one-car garage built in 1950's. The parcel is relatively flat with a gradual north to south slope within the front yard. The adjoining parcels consist of one-story single family dwellings on the north, south and west and a two-story single family dwelling to the east. Location Map is provided as Attachment 2. Aerial photo is provided as Attachment 3. Site Photographs is provided as Attachment 4.

PROJECT DESCRIPTION

The applicant is proposing convert an existing attached 290 square-foot one-car garage into a dining room and construct a new 480 square-foot two garage with a roof deck above in front of the existing one-car garage. Access to the roof deck will be provided by an exterior stairway on the east side of the new garage. Access to the new garage would be provided from the existing drive approach which would be widened to accommodate the expanded two-car garage. The proposed remodel will also include modifying the roof at the front of the existing dwelling from a 2/12 to 4/12 and adding a 200 square-foot covered front porch. With the added square footage from the converted garage, the residence would have 1,984 square feet of living area.

The proposed rooftop deck is located on the east side of the house and has a proposed top rail height of 2 feet above the highest roofline (approximately 15 feet from the ground). The finished floor of the deck will be three feet below the top rail. Proposed additions would match the existing painted stucco exterior walls, asphalt shingle roof, painted galvanized gutter and downspouts, and painted wood roof overhangs. Project plans are provided as Exhibit A to Attachment 1 (Draft Resolution).

ENVIRONMENTAL REVIEW

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301(e)(1): Class 1 consists of additions to existing structures involving negligible or no expansion of use.

Evidence: The proposed roof deck would consist of an accessory use to the single family that would not have any impact on the environment or materially affect the use and/or mass of the dwelling..

STAFF ANALYSIS

A use permit shall be filed under the use permit process outlined in Section 17.62.070.F to determine whether the following findings can be made concerning the proposed project:

Finding 1

The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Single Family Low Density Residential. Roof decks consist of an accessory use that would be allowed in a single family dwelling with design review approval. With an exterior stairway, the design review approval is subsequent to the granting of a use permit. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use and Urban Design Goals and Policies: The General Plan provides the following guidelines with respect to Streetscapes/View sheds and land use compatibility:

- Goal UD-3: Provide and maintain a streetscape system that protects views and enhances the visual quality and continuity within the community.

- Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.
- Goal LU-4 – Ensure that new development compliments existing land uses and enhances the character of the community and its neighbors.
- Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: *The project proposal is compatible with the overall design and scale of surrounding residential land uses. The placement of an exterior stairway on the east side elevation of a two-car garage leading to the roof deck above garage will not detract from the character of the neighborhood in that stairway would be screened from public view on Ord Grove Avenue and would have a solid screen on the staircase facing the adjoining single family dwelling to the east. Furthermore, the modifications to raise the height of the existing roof line and the addition of the front covered porch on the main dwelling will serve to blend the mass and height of the new garage/roof deck into existing dwelling and minimize the appearance of a unbalanced pop-up appearance over one side of the dwelling.*

Single-Family Residential Design Guidelines

The proposed rooftop deck and addition of the garage and front porch will provide breaks in the roofline to provide interest and break-up of the massing. The following Single-Family Residential Design Guidelines support this proposed modification:

- “Architectural elements should be designed to eliminate the appearance of box-like buildings,” (II.A.iii.) *and*, “Avoid box-like appearance through variation in the roofline and building elevations” (III.C.iv.)
- The visual impact of the proposed rooftop deck is relevant to design review based on the following Single-Family Residential Design Guidelines item: “Secondary Story or Roof Decks should use appropriate screening measures to reduce privacy invasion (i.e., solid railing walls, latticework and landscaping)” (II.B.ii.c)

Evidence: *The neighborhood has a variety of architectural styles and colors, with ranch and mid-century modern as the predominant architectural styles. The the project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.*

Evidence: *Due to a grade differential between the uphill adjacent residences to the east and the project site, staff finds that the proposed rooftop deck will not significantly impact the viewshed of the adjacent properties.*

Finding 2

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Zoning Ordinance Conformance

The proposed additions will comply with all standards of development associated with the RS-8 zoning district as follows:

1. *Evidence: The applicant has incorporated design features and architectural styles of the existing structure such as wood railing, plaster siding, panel garage door with transom windows to have a contextual relationship with the existing neighborhood. As a result of the grade for the garage located slightly above the street, the view of persons on the roof deck would be minimized from both the pedestrian viewpoint and vehicles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.*

Setbacks

Front – 15 feet required - 27 feet proposed

Side - 5 feet required - 5 feet on proposed on east side and 22 feet on west side will remain

Rear – 15 feet required – 83 feet proposed

Floor Area Ratio

45% allowed – 22.7% proposed

Lot Coverage

65% allowed – 45.3% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage proposed to eliminate non-conforming one-car garage.

Height

24 feet – The roof line on the dwelling will measure 17 feet with the roof deck measuring 13 feet to the parapet and 15 feet to the top rail.

Finding 3

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: The proposed exterior stairway has been designed to be screened from the public view and the adjoining properties. The height and scale of the roof deck is compatible with the existing building and adjacent buildings.

Finding 4

The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints

Evidence: The site is an existing residence in the RS-8 zoning district. Access to the roof deck will be provided by an exterior stairway. Extension of public utilities is not required for the proposed project. The completion of the exterior stairway will not alter the location of existing utilities or access to the roof deck from the ground level.

Finding 5

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

EVIDENCE: THE CITY OF SEASIDE'S FIRE DEPARTMENT, BUILDING DEPARTMENT AND PUBLIC WORKS DEPARTMENT HAVE REVIEWED THE CONCEPTUAL PROJECT PROPOSAL. THE FIRE DEPARTMENT, BUILDING DEPARTMENT AND PUBLIC WORKS DEPARTMENT HAD NO COMMENTS REGARDING THE PROPOSED ADDITION.

ATTACHMENTS

1. Attachment 1 - Draft Resolution
 2. Attachment 1 Exhibit A Project Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Aerial Photo
 5. Attachment 4 - Site Photos
-

RESOLUTION NO. 19-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, APPROVING A USE PERMIT TO ALLOW THE CONSTRUCTION OF AN UNENCLOSED EXTERIOR STAIRWAY LEADING TO A ROOF DECK AT 1565 ORD GROVE AVENUE IN THE SINGLE-FAMILY RESIDENTIAL (RS-8) ZONING DISTRICT.

WHEREAS, Clay and Lisa Mathews, property owners, have applied for a use permit to:

- A. Permit the construction of an unenclosed exterior stairway leading to a 539 square foot roof deck above an attached two-car garage on an existing single family residence.

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed Use Permit at a duly noticed public hearing held on April 24, 2019, and

WHEREAS, the project is Categorically Exempt, Class 1, Section 15301(e)(1) from the California Environmental Quality Act Guidelines.

Evidence: The proposed roof deck would consist of an accessory use to the single family that would not have any impact on the environment or materially affect the use and/or mass of the dwelling. The proposed modification would be exempt from CEQA review.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. UP-19-10:

- 1. The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.**

Evidence: In accordance with SMC Section 17.12.050, Table 2-3, Development Feature, Height limit, Note (6) states that exterior stairways that would lead to a second floor or roof deck are permitted with the issuance of a Use Permit

- (1) An attached exterior stairway must maintain a minimum 15-foot setback from the front property line. (Section 17.14.050, Table 2-3, Residential Zone Development Standards)

Evidence: The stairway will maintain a 5-foot setback from the east side property line. The stairway is in compliance with required maximum allowed projections.

Evidence: The applicant has incorporated design features and architectural styles of the existing structure such as wood railing, plaster siding, panel garage door with transom windows to have a contextual relationship with the existing neighborhood. As a result of the grade for the garage located slightly above the street, the view of persons on the roof deck would be minimized from both the pedestrian viewpoint and vehicles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.

Setbacks

Front – 15 feet required - 27 feet proposed

Side - 5 feet required - 5 feet on proposed on east side and 22 feet on west side will remain

Rear – 15 feet required – 83 feet proposed

Floor Area Ratio

45% allowed – 22.7% proposed

Lot Coverage

65% allowed – 45.3% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage proposed to eliminate non-conforming one-car garage.

Height

24 feet – The roof line on the dwelling will measure 17 feet with the roof deck measuring 13 feet to the parapet and 15 feet to the top rail.

Maximum allowed projection for an exterior stairway from a side property line is three feet (Section 17.30.100.E, Table 3-5 –Allowed Architectural Projections) - The existing stairway currently maintains a 5-foot setback from the north side property line.

An uncovered deck on a roof or second story must maintain a minimum five-foot from a side property line and with an allowed projection of three feet into a required 15-foot front yard setback. The stairway leading to the roof deck above the garage is maintaining a 5-foot setback from the eastern side property line and 27 foot setback from the front property line.

2. The proposed use is consistent with the General Plan and any applicable specific plan.
Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Low Density Single-Family Residential. This land use classification is intended for existing or planned detached single-family residential units, including exterior stairways. The project would be consistent with the following General Plan Goals and Policies:

Land Use Element

Goal UD-3: Provide and maintain a streetscape system that protects views and enhances the visual quality and continuity within the community.

Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.

Goal LU-4 – Ensure that new development compliments existing land uses and enhances the character of the community and its neighbors.

Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: The project proposal is compatible with the overall design and scale of surrounding residential land uses. The placement of an exterior stairway on the east side elevation of a two-car garage leading to the roof deck above garage will not detract from the character of the neighborhood in that stairway would be screened from public view on Ord Grove Avenue and would have a solid screen on the staircase facing the adjoining single family dwelling to the east. Furthermore, the modifications to raise the height of the existing roof line and the addition of the front covered porch on the main dwelling will serve to blend the mass and height of the new garage/roof deck into existing dwelling and minimize the appearance of a unbalanced pop-up appearance over one side of the dwelling.

Single-Family Residential Design Guidelines

The proposed rooftop deck and addition of the garage and front porch will provide breaks in the roofline to provide interest and break-up of the massing. The following Single-Family Residential Design Guidelines support this proposed modification:

Architectural elements should be designed to eliminate the appearance of box-like buildings,” (II.A.iii.) and, “Avoid box-like appearance through variation in the roofline and building elevations” (III.C.iv.)

The visual impact of the proposed rooftop deck is relevant to design review based on the following Single-Family Residential Design Guidelines item: “Secondary Story or Roof

Decks should use appropriate screening measures to reduce privacy invasion (i.e., solid railing walls, latticework and landscaping)” (II.B.ii.c)

Evidence: The neighborhood has a variety of architectural styles and colors, with ranch and mid-century modern as the predominant architectural styles. The the project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.

Evidence: Due to a grade differential between the uphill adjacent residences to the east and the project site, staff finds that the proposed rooftop deck will not significantly impact the viewshed of the adjacent properties.

3. The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: The exterior stairway is an accessory use to the main dwelling and therefore does not alter the operating characteristics of the dwelling or enjoyment of the other properties in the neighborhood.

4. The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The site contains adequate area for the stairway. The project site is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project.

5. Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: The proposed project is located in the Single-Family Residential (RS-8) zone and is compatible with the existing and planned future single-family residential land uses in the vicinity. The proposed stairway is consistent with the maximum side yard and front yard projections and height limitations allowed by the Zoning Code with a use permit, and does not create significant noise or privacy impacts that may be objectionable or detrimental to other permitted uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

NOW THEREFORE, BE IT FURTHER RESOLVED, that the Planning Commission approves Use Permit Application No. UP-19-10 subject to the following conditions:

Project Specific

Planning:

1. Except as modified by required conditions of approval, plans submitted for a Building Permit shall substantially conform to the plans identified as “Exterior Stair to Roof Deck” stamped as received on April 8, 2019, and approved on April 24, 2019. The use permit is

approved to allow an exterior stairway in accordance with the project plans provided as Attachment 1.

2. Minor modifications to the use permit consistent with Seaside Municipal Code Section 17.54.090.C may be made subject to the review and approval by the Zoning Administrator and the Planning Commission if such modifications are in keeping with the intent of the original approval.
3. Board of Architectural Review approval shall be received prior to the issuance of a Building Permit for the exterior stairway.

Fire Department:

1. Prior to the issuance of a Certificate of Occupancy, applicant shall comply with the requirements of the Seaside Fire Marshall for compliance with the 2016 California Building and Fire Code.

Building Department:

2. Projects must comply with the 2016 California Code of Regulations, Title 24, and California Law in effect at the time of the plan submittal.

Standard:

1. Use Permit approval is subject to revocation procedures contained in SMC 17.80.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner.
2. This Use Permit is subject to procedures and requirements of Chapter 17.64 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Seaside Municipal Code.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

5. The project shall comply with the requirements and the applicable ordinances of the Monterey Peninsula Water Management District (MPWMD).
6. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
7. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
8. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced construction within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.64.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.
9. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on the 24th day of April, 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

RESOLUTION No. 19-XX
USE PERMIT APPLICATION NO. UP-19-10

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

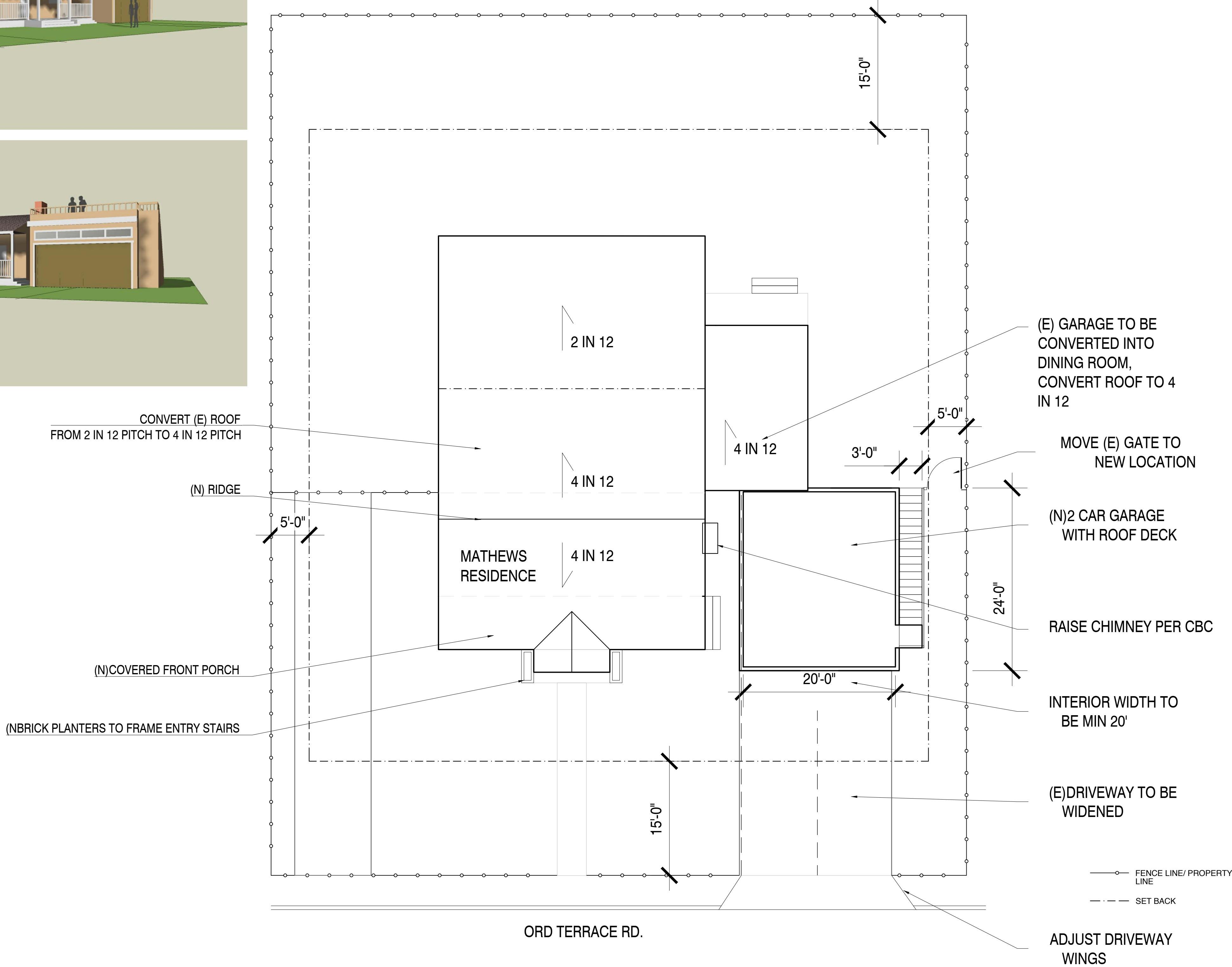
Property Owner's Signature (*if different from above*)

Date

Use of these plans and specifications shall be restricted to the original use for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication in any medium, in whole or in part, is prohibited. Title to the plans and specifications remains with the author without prejudice. Visual contact with these plans and specifications and construction shall constitute prima facie evidence of the acceptance of these conditions.



PROPOSED FRONT
VIEW FROM CITY
SIDEWALK



PROJECT DATA

OWNER	CLAY & LISA MATHEWS 1565 ORD GROVE AVE. SEASIDE CA. 93955
ARCHITECT	THOMAS RETTENWENDER, ARCHITECT LIC # C31723 PO BOX 6451, CARMEL-BY-THE SEA, CA 93921 E-MAIL: THOMAS@ECOLOGICDESIGNLAB.COM PHONE: 831-920-8333

PROJECT ADDRESS 1565 ORD GROVE AVE. SEASIDE CA. 93955

LOT AREA 8712 S F

SITE COVERAGE ALLOWED 65% = 5662 SF
PROPOSED = 3949 SF

FLOOR AREA	EXISTING RESIDENCE	1656
	EXISTING GARAGE	293
	PROPOSED MAIN HOUSE	1984
	PROPOSED GARAGE	480

SCOPE OF WORK

1. ADD 2 CAR GARAGE WITH ROOF DECK (539 SF)
2. CONVERT (E) 270 GARAGE INTO DINING ROOM
3. REPLACE '2 IN 12' ROOF WITH 6 IN 12 ROOF
4. ADD 200 SF COVERED FRONT PORCH

DRAWING LIST

- A-0 COVER SHEET AND SITE PLAN
- A-1 EXISTING FLOOR PLAN & ELEVATIONS
- A-2 PROPOSED FLOORPLAN
- A-3 PROPOSED ELEVATIONS
- A-4 PROPOSED ELEVATIONS

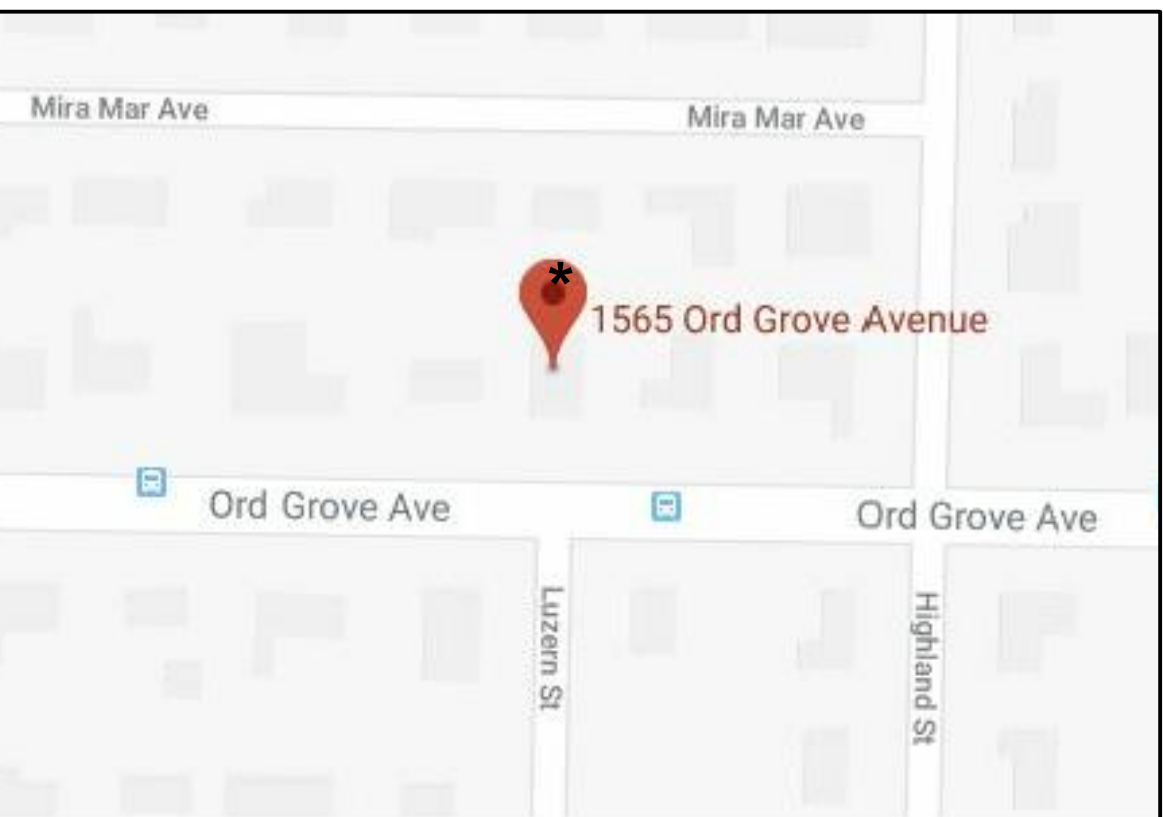
NOTES

THE APPROVAL OF THESE PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE, MUNICIPAL ORDINANCES, OR STATE LAWS

A. GENERAL

1. APPLICABLE CODES. ALL PROJECTS SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC) AND/OR CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA FIRE CODE (CFC), 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)

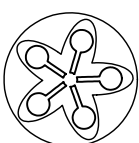
VICINITY MAP



DATE	FEB/19/2019	TITLE	COVER PAGE AND SITE PLAN
SCALE	NTS		
DRAWN BY	TR, LPG		
JOB NUMBER	# 1833		

MATHEWS RESIDENCE REMODEL

1565 ORD GROVE AVE. SEASIDE CA. 93955



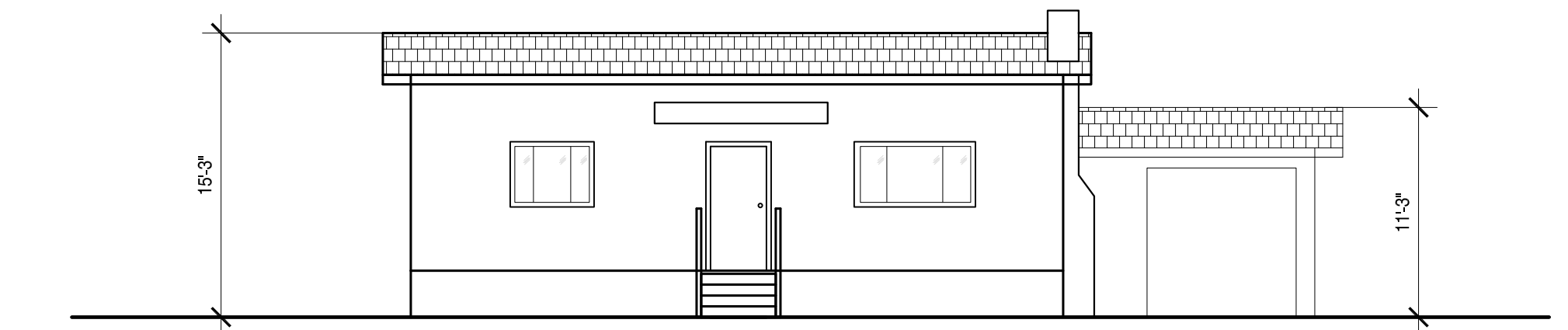
Ecologic Architects

Thomas Rettenwender, Architect
Post Office Box 6451 Carmel-by-the-Sea CA 93921 USA
(831) 920 8333
thomas@ecologicdesignlab.com

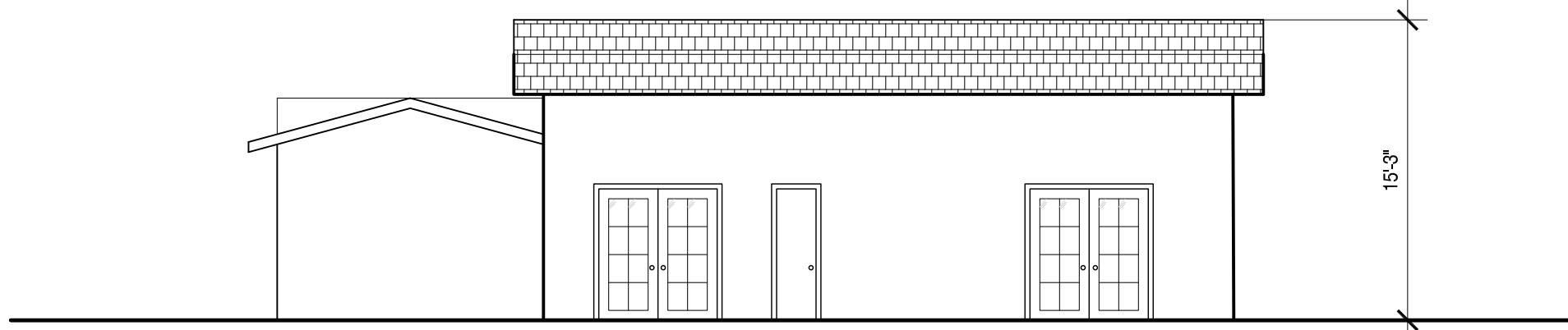
SHEET

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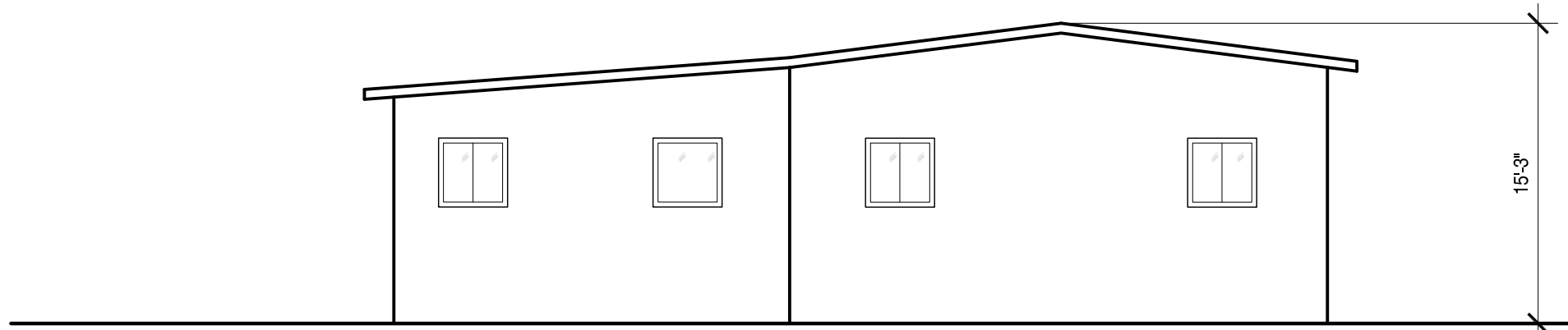
Use of these plans and specifications shall be restricted to the original date for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication for any purpose in whole or in part is prohibited. This to the plans and specifications remains with the architect without prejudice. Visual content on these plans and specifications shall constitute prima facie evidence of the existence of these conditions.



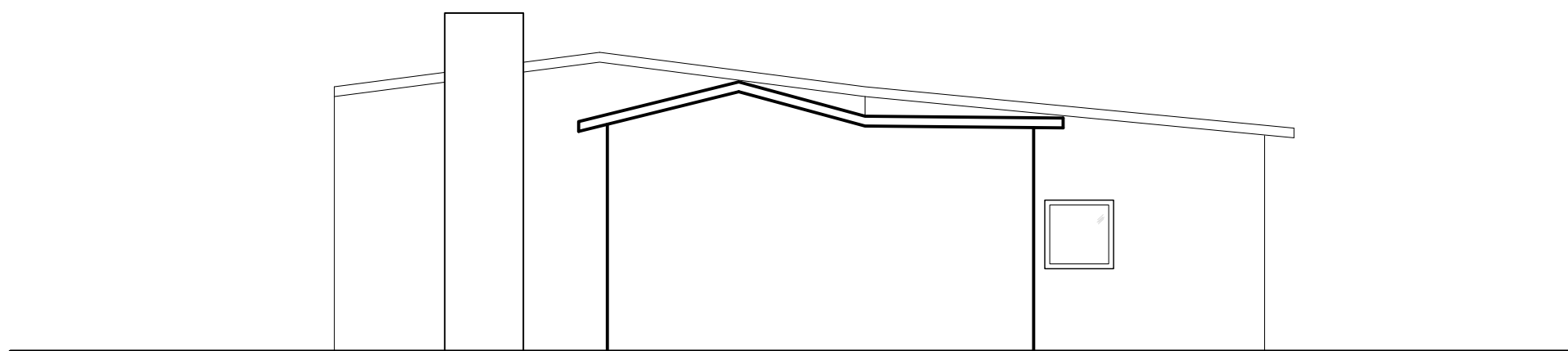
SOUTH



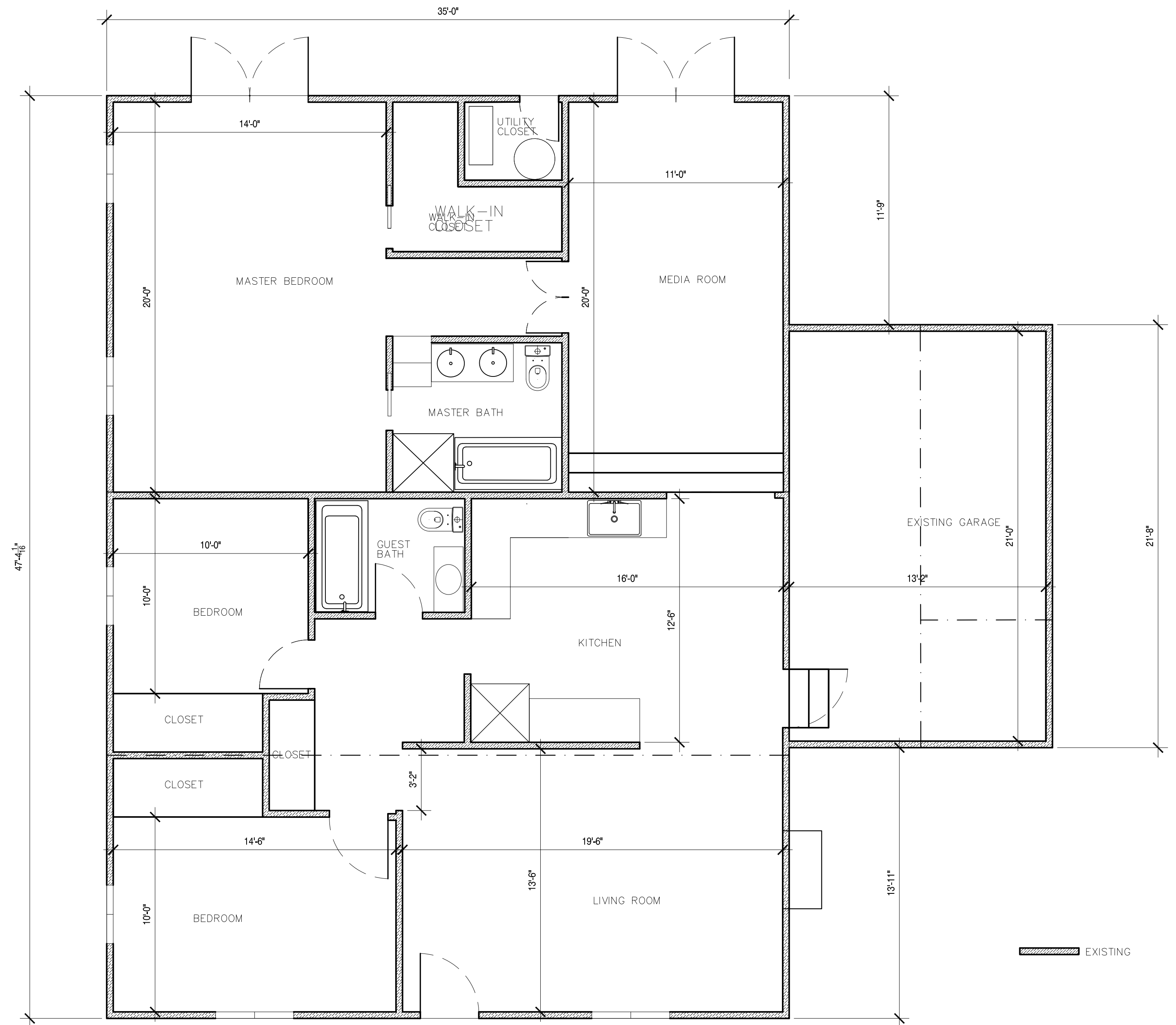
WEST



NORTH

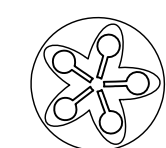


EAST



DATE	FEB/19/2019
SCALE	1/8" = 1'-0"
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE	EXISTING FLOORPLAN AND ELEVATIONS
MATHEWS RESIDENCE REMODEL	
1565 ORD GROVE AVE. SEASIDE CA. 93955	



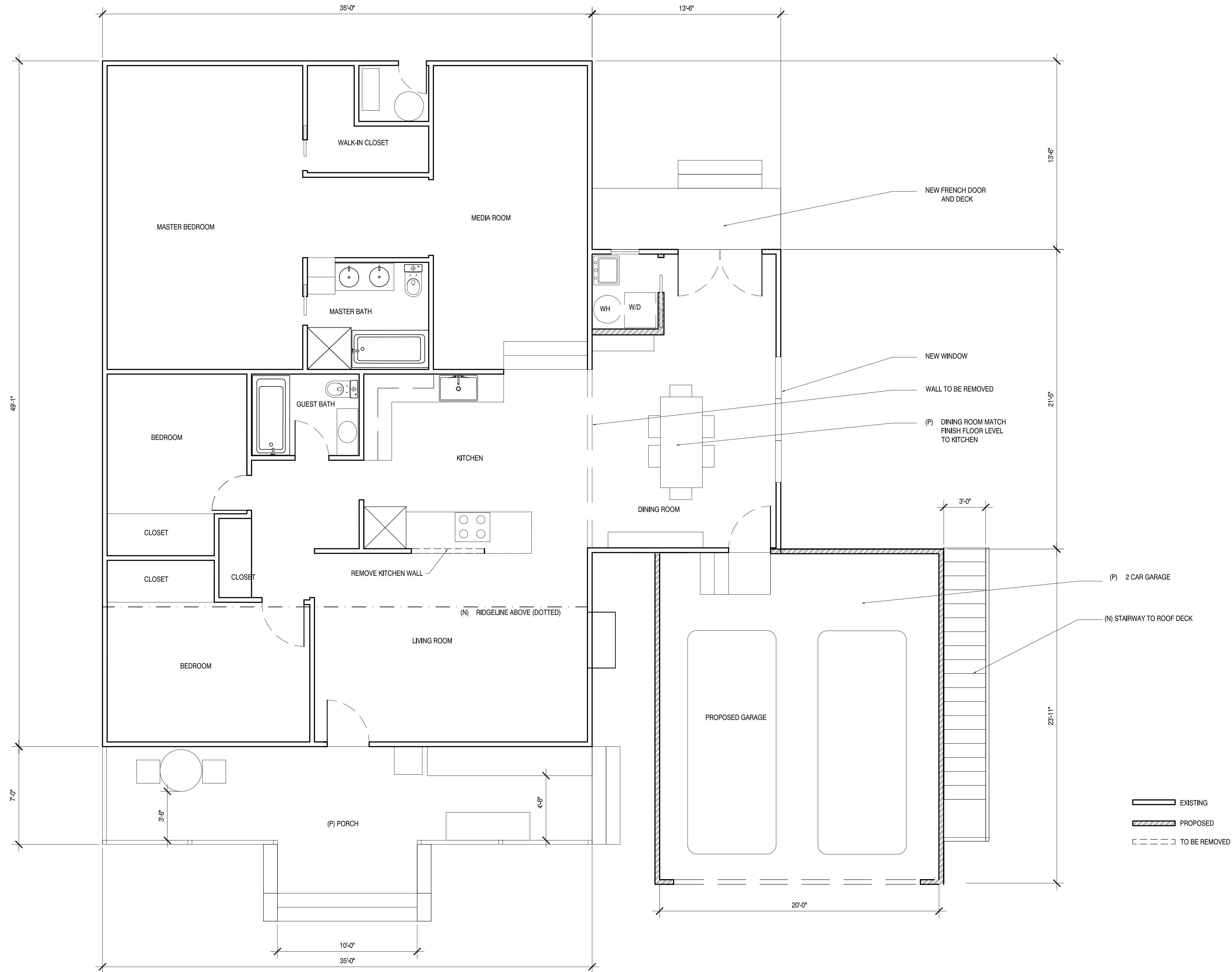
Ecologic Architects

Thomas Rettenwender, Architect
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thomas@ecologicdesignlab.com

SHEET

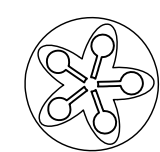
A-1

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DATE	FEB/19/2019
SCALE	1/4" = 1'-0"
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE	PROPOSED FLOORPLAN
MATHEWS RESIDENCE REMODEL	
1565 ORD GROVE AVE. SEASIDE CA. 93955	



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SHEET

A-2

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NEW FRONT PATIO



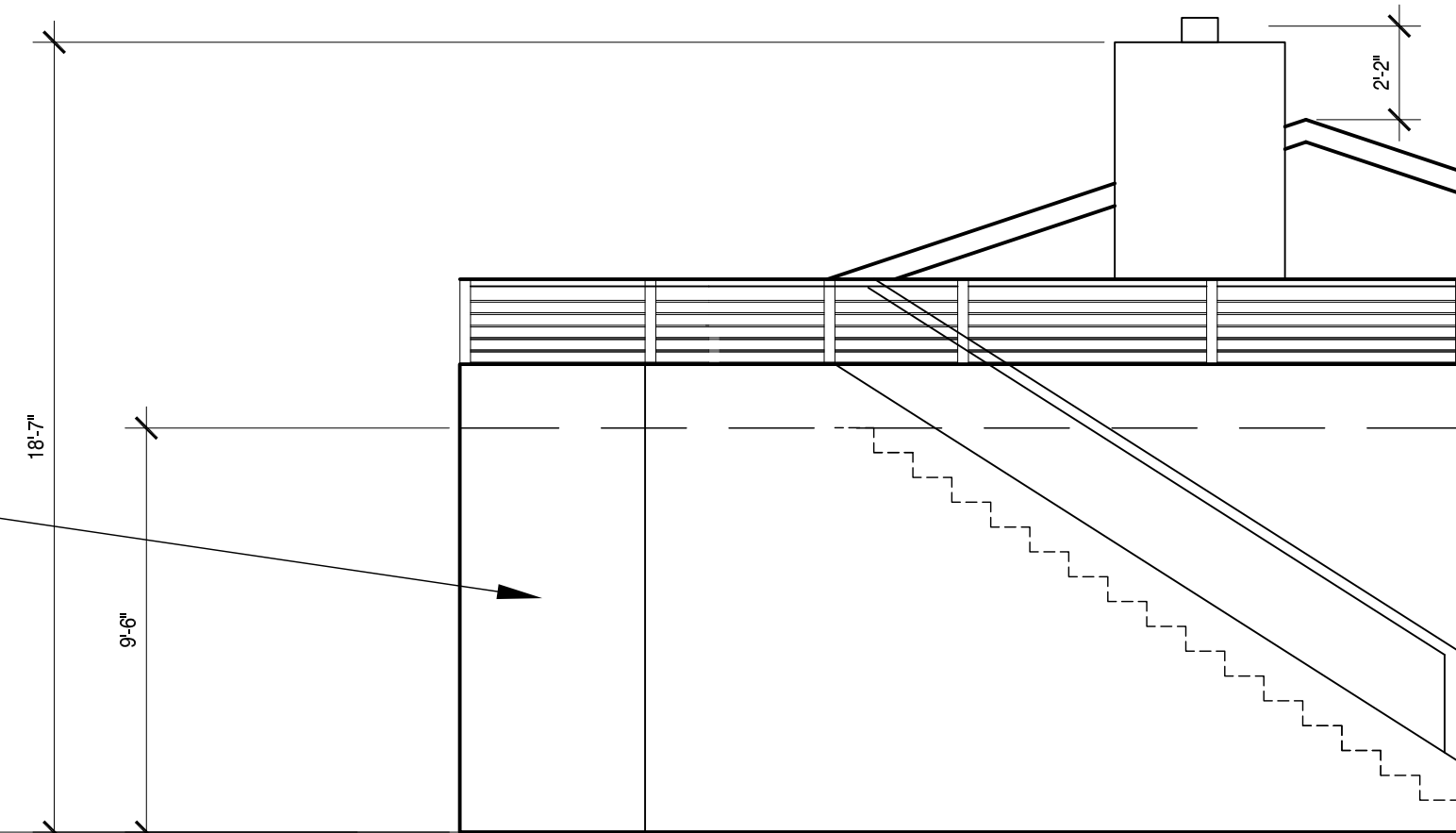
NEW 2 CAR GARAGE
WITH ROOF DECK

TRANSOME WINDOWS

F.F. OF ROOF DECK

SOUTH

NEW GARAGE WITH
ROOF DECK



NEW ROOF PITCH OVER
DINING ROOM

NEW PICTURE WINDOW
AT DINING ROOM

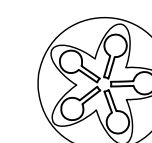
EAST



DATE	FEB/19/2019
SCALE	NTS
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE
PROPOSED ELEVATIONS

MATHEWS RESIDENCE REMODEL
1565 ORD GROVE AVE. SEASIDE CA. 93955



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SHEET

A-3

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NEW GARAGE AND
STAIR TO ROOF
DECK

NEW FRENCH
DOORS TO DINING
ROOM

NEW ROOF PITCH

NEW FRONT PATIO

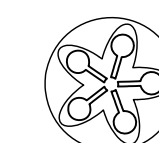
NORTH

WEST



DATE	FEB/19/2019
SCALE	NTS
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE	PROPOSED ELEVATIONS
MATHEWS RESIDENCE REMODEL	
1565 ORD GROVE AVE. SEASIDE CA. 93955	



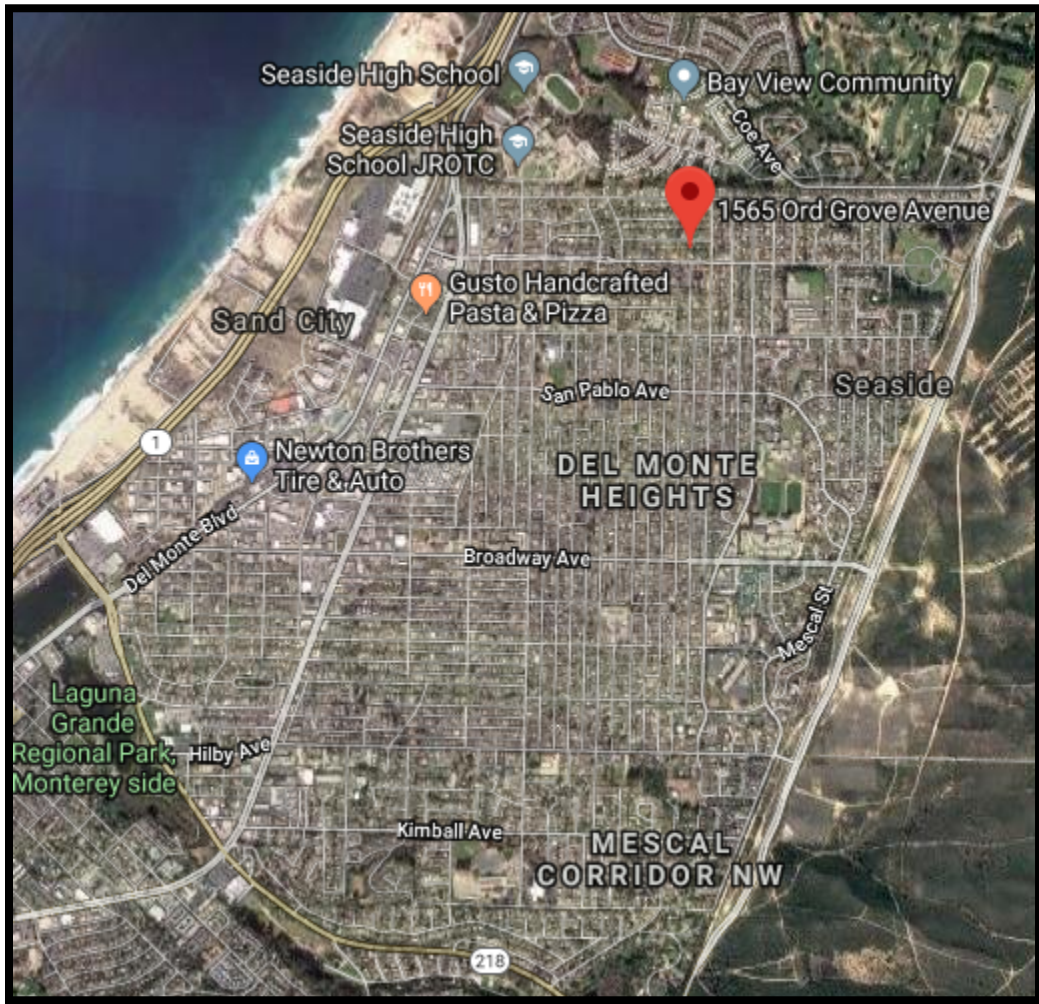
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SHEET

A-4

1565 Ord Grove Avenue



1565 Ord Grove Avenue



1565 Ord Grove Ave







Side yard view from subject property to residence on the east.