



A G E N D A
CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
Council Chamber
440 Harcourt Avenue
Wednesday, June 12, 2019
7:00 PM

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

3. PLANNING COMMISSION

John Owens	Chair
Michael Spalletta	Vice Chair
Keith Dodson	Commissioner
Denise Ross	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
William Silva	Commissioner

4. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

5. PUBLIC COMMENT

Members of the public wishing to address the City Council on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

6. APPROVAL OF MINUTES

A. May 22, 2019

7. BUSINESS ITEMS

A. COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT APPLICATION NO. UP-19-07: E&E CAPLOW LIVING TRUST, PROPERTY OWNER, AND HALA IBRAMIM (PM DESIGN GROUP), AND SILVIA WYTKIND (MCDONALD'S), APPLICANTS, ARE REQUESTING APPROVAL OF COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT 19-07 FOR THE REESTABLISHMENT OF A DRIVE-THROUGH RESTAURANT IN THE LAGUNA GRANDE SHOPPING CENTER AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL REGIONAL COMMERCIAL (CCRG) ZONING DISTRICT (APN'S 011-561-024 AND 011-561-025). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 2, SECTION 15302 (B) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. ITEM CONTINUED FROM THE MAY 22, 2019 REGULAR MEETING OF THE PLANNING COMMISSION.

RECOMMENDATION: In accordance with Seaside's Local Coastal Program and Seaside Municipal Code a nonconforming drive-thru restaurant can be reestablished under a variety of circumstances, including if it were involuntary destroyed, as specific to this drive-thru restaurant. A Coastal Development Permit and a Use Permit are required for the reestablishment of the drive-through restaurant.

8. REPORTS FROM COMMISSIONERS

9. REPORTS FROM STAFF

10. ADJOURNMENT

Next Regularly Scheduled Meeting:

June 26, 2019
Seaside City Hall
7:00 p.m.

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER

Wednesday, May 22, 2019
7:00 PM

1. **CALL TO ORDER**

Chair Owens called the meeting to order at 7:00 PM.

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

3. **PLANNING COMMISSION**

PRESENT: Evans, La Mica, Owens, Ross, Silva, Spalletta

ABSENT: Dodson

4. **REVIEW OF AGENDA**

No changes were requested.

5. **PUBLIC COMMENT**

No requests to speak.

6. **APPROVAL OF MINUTES**

A. **May 8, 2018**

Action: Approved Unanimously

7. **BUSINESS ITEMS**

A. COASTAL DEVELOPMENT PERMIT 19-02 (USE PERMIT APPLICATION NO. UP-19-07): E&E CAPLOW LIVING TRUST, PROPERTY OWNER, AND ROBERT FORLOINE (PM DESIGN GROUP), AND SILVIA WYTKIND (MCDONALD'S), APPLICANTS, ARE REQUESTING A USE PERMIT FOR THE REESTABLISHMENT OF A DRIVE-THRU RESTAURANT IN THE LAGUNA GRAND SHOPPING CENTER AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL REGIONAL COMMERCIAL (CCRG) ZONING DISTRICT (APN'S 011-561-024 AND 011-561-025). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 2, SECTION 15302 (B) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Planner Beth Rocha presented the item and spoke to the previous Commission concerns regarding pedestrian access crossing the drive-thru. She noted that staff worked with the architects to address the majority of the concerns and she detailed the changes made to improve safety including surface treatment, guard rails and entry/exit modifications. The Commission questioned what percentage of the total business is drive through, walk up from the street and walk in from the parking lot, they discussed traffic flow impacts to Canyon Del Rey and Del Monte intersection, other potential orientations and the purpose of moving the building location to the front of the parcel. They discussed other safety features and safety

statistics at other McDonald's locations but the Commission expressed the health and safety of the people does not seem to have been prioritized.

The Architect spoke to the different renditions of site plans that were considered and the Owner Landon Hoffman answered that over 70% of historical business is drive through. He spoke to efforts to work with staff to make it safe as well as comply with the existing design guidelines.

Chair Owens invited comments from the public.

- A citizen questioned how it was determined if it would have a Play Place and questioned who conducts their ADA review.
- A citizen questioned if the number of parking spaces meets the density requirements for the facility.

The Commissioners expressed that there is a lot of activity where the most vulnerable citizens are crossing, and safety should be prioritized. They also expressed that they want it to be a walkable City but that Canyon Del Rey is not a walkable street due to the volume and speed of traffic.

On motion by Commissioner Silva and seconded by Commissioner Evans and passed unanimously, the Planning Commission denied Use Permit Application 19-07 and Coastal Development Permit 19-02 and ask staff to come up with a creative solutions responsive to the market demands for a facility that is driven by vehicle business, to prioritize safety, stay within the General Plan guidelines but be creative to assist the Applicant to be responsive to the market.

RESULT: Denied 6-0

Staff will come forward with a resolution with findings for denial at the next meeting.

B. USE PERMIT APPLICATION NO. 19-10: CLAY AND LISA MATHEWS, PROPERTY OWNER, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING USE PERMIT APPROVAL FOR AN EXTERIOR STAIRWAY LEADING TO A 478 SQUARE FOOT ROOF DECK ABOVE A NEW TWO-CAR GARAGE ATTACHED TO A ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN# 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Senior Planner Medina spoke to the project site at 1565 Ord Grove to construct a new two car garage, convert an existing garage into a dining area, and construct a second story roof deck with exterior stairway accessed from the rear of the property. He detailed the property aspects including slope, setbacks, and views from the street from the proposed roof deck. He noted that a holly tree that will be affected, but the cypress tree will be preserved and that the applicant was responsive to the staff requests for architectural style. The Commission discussed the affected trees.

Chair Owens invited comments from the applicant architect and the public.

- The architect spoke to the intent to change an insignificant roof line pitch to add additional space to the house, covered parking, a dining area and curb appeal.

On motion by Commissioner La Mica, seconded by Commissioner Evans and passed by the following vote the Planning Commission approved the application to allow the roof deck as proposed, and requested the application add the requirement for additional irrigation to the new trees, and that the requirement be forwarded to the Board of Architectural Review.

RESULT: Approved 6-0

C. USE PERMIT APPLICATION NO. UP-19-11: ISLAMIC SOCIETY OF MONTEREY, PROPERTY OWNER, AND AGHA BILAL, APPLICANT, ARE REQUESTING APPROVAL OF A 168 SQUARE FOOT GAZEBO THAT WILL BE SITED WITHIN THE FRONT YARD OF AN EXISTING RELIGIOUS MEETING PLACE LOCATED AT 405 ELM AVENUE IN THE MEDIUM DENSITY (RM) RESIDENTIAL ZONING DISTRICT (APN # 011-305-016). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 3 SECTION 15303(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Senior Planner Medina spoke to the project site at the North East corner of Elm and Imperial noting the property was initially developed as a grange hall and has been modified for use by the Islamic Society of Monterey County who is seeking to add a pre-manufactured gazebo to be placed off the front foyer entrance of the building.

The applicant spoke to fact that there is no outdoor overhang or waiting location at their location for times of bad weather and that it would be very useful for their congregation.

On motion by Commissioner Denise Ross and seconded by Commissioner Arlington La Mica and passed by the following vote the Planning Commission Approved Use Permit Application UP 19-11 approving a gazebo to be placed in the front yard of the existing meeting place.

RESULT: Approved 6-0

8. REPORTS FROM COMMISSIONERS

None.

9. REPORTS FROM STAFF

None.

10. ADJOURNMENT

The meeting was adjourned at 8:55 PM.

Respectfully submitted,

Lesley Milton-Rerig, City Clerk

John Owens, Chair



CITY OF SEASIDE STAFF REPORT

Item No.: 7.A.

TO: Planning Commission

BY: Beth Rocha, Associate Planner

DATE: June 12, 2019

SUBJECT: COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT APPLICATION NO. UP-19-07: E&E CAPLOW LIVING TRUST, PROPERTY OWNER, AND HALA IBRAMIM (PM DESIGN GROUP), AND SILVIA WYTKIND (MCDONALD'S), APPLICANTS, ARE REQUESTING APPROVAL OF COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT 19-07 FOR THE REESTABLISHMENT OF A DRIVE-THROUGH RESTAURANT IN THE LAGUNA GRANDE SHOPPING CENTER AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL REGIONAL COMMERCIAL (CCRG) ZONING DISTRICT (APN'S 011-561-024 AND 011-561-025). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 2, SECTION 15302 (B) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. ITEM CONTINUED FROM THE MAY 22, 2019 REGULAR MEETING OF THE PLANNING COMMISSION.

PURPOSE & RECOMMENDATION

In accordance with Seaside's Local Coastal Program and Seaside Municipal Code a nonconforming drive-thru restaurant can be reestablished under a variety of circumstances, including if it were involuntary destroyed, as specific to this drive-thru restaurant. A Coastal Development Permit and a Use Permit are required for the reestablishment of the drive-through restaurant.

BACKGROUND

The proposed project was initially introduced at a regular of the Planning Commission on April 24, 2019. After receiving the staff presentation and public comment the Planning Commission provided detailed feedback to the applicant regarding issues with the proposed site plan and items for consideration:

1. Explore changing the two-way traffic driveway accessed from Canyon Del Rey to

a one- way "Exit Only" driveway to reduce the number of vehicles navigating the site and potentially posing safety issues to pedestrians. Additionally, the one-way, "Exit-Only" driveway modification would likely decrease on-site vehicular congestion, increase pedestrian safety, and reduce the potential of creating another point of congestion on Canyon Del Rey, compounding upon the congested conditions at the adjacent Starbucks.

2. Provide construction specifications/details/elevations for the physical barriers/traffic calming elements/signs that will notify vehicles in the drive-through of pedestrians in the ADA path of travel and that will prevent drive-through vehicles from exiting/accessing certain portions of the site.
3. Provide a diagram showing traffic flow on site: vehicles entering from Canyon Del Rey, vehicles navigating the site, vehicles exiting the drive-through.

Upon closing the public hearing, the Planning Commission acted to unanimously continue the Public Hearing to the regular meeting of the Planning Commission on June 12, 2019. At the May 22, 2019 Planning Commission Meeting, the Planning Commission acted to adopt a motion to deny the application and directed City staff to return with a Resolution containing findings and evidence in support of the denial. The Draft Resolution for denial is provided as Attachment 1. The evidence listed in support of each finding is based on the verbal testimony entered into the record by the Commission.

The staff reports from the previous meetings to provide additional background on the project description, proposed site layout/improvements, analysis of zoning issues can be accessed from the web links listed below:

April 24, 2019 Regular Meeting, Item 8C -

<https://seasideca.civicclerk.com/Web/Player.aspx?id=2649&key=-1&mod=-1&mk=-1&nov=0>

May 22, 2019 Regular Meeting, Item 7A -

<https://seasideca.civicclerk.com/Web/Player.aspx?id=2650&key=-1&mod=-1&mk=-1&nov=0>

ATTACHMENTS

1. Attachment 1: Draft Resolution
 2. Attachment 2: Proposed Plans
-

RESOLUTION NO. 19-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA, DENYING COASTAL DEVELOPMENT PERMIT 19-02 AND USE PERMIT APPLICATION NO. UP-19-07 TO ALLOW FOR THE CONSTRUCTION OF A 5,241 SQUARE-FOOT RESTAURANT AND ASSOCIATED SITE IMPROVEMENTS (DRIVEWAY ACCESS, PARKING LOT, DRIVE-THRU WINDOW/AISLE, LANDSCAPING) AT 1516 CANYON DEL REY BOULEVARD IN THE COASTAL REGIONAL COMMERCIAL (CCRG) ZONING DISTRICT.

WHEREAS, McDonald's, applicant, has applied for a Coastal Development Permit 19-02 and Use Permit 19-07:

1. In accordance with Title 18 (Coastal Implementation Plan) of the Seaside Municipal Code (SMC), the applicant is requesting the approval of a Coastal Development Permit and Use Permit for the construction of a new one-story, 5,241 square foot McDonald's restaurant with associated site improvements (driveway access, parking lot improvements, drive-thru aisle, landscaping) on a 29,342 square foot lot at 1516 Canyon Del Rey Boulevard (APN: 011-561-024 and 011-561-025).

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and the Seaside Local Coastal Program, and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed Coastal Development Permit and Use Permit at duly noticed public hearings held on April 24, 2019 and May 22, 2019, and

WHEREAS, in accordance with the Guidelines for Implementation of the California Environmental Quality Act (CEQA). The project is Categorically Exempt Class 2, Section 15302 (b) from the California Environmental Quality Act: "Replacement of a commercial structure with a new structure of substantially the same size, purpose, and capacity."

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for the denial Coastal Development Application No. CDP-19-02 and Use Permit Application UP-19-07:

1. **The establishment, maintenance, or operation of the use or structure applied for will under the circumstances of the particular case, be detrimental to health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvement in the neighborhood, or to the general welfare of the City.**

Evidence: The proposed development is inconsistent with the City's General Plan Policy LU-4-1: The location of the commercial structure, parking lot, access driveways, and drive-through facility will result in detrimental impacts to the health, safety, and general welfare of the community. The development does not provide a safe path of travel for restaurant visitors, including children, from the parking areas to the front entrance(s) of the restaurant. Additionally, the primary point of entry to the restaurant from the parking area requires visitors cross the exit point of the drive-through facility. Lastly, the ADA path of travel also crosses the exit point of the drive-through facility in an area with limited visibility.

2. The design, location, size, and operating characteristics of the proposed activity are incompatible with the existing and planned future land uses in the vicinity.

Evidence: The proposed business will be incompatible with the following design elements to provide a vibrant and aesthetically attractive commercial land use:

1. Adhering to urban design principles that emphasize the placement of the front façade and entrances nearest a major public thoroughfare should not be prioritized over on-site pedestrian safety for those parking on-site and walking to the restaurant.
2. The proposed building placement, drive-through aisle location, and accessible path of travel create potential safety hazards for pedestrians navigating an auto-oriented space and precarious pedestrian environment.
3. The building orientation should be changed to allow for the ADA path of travel to access the primary restaurant entrances without crossing any on-site lanes of vehicular travel.

3. Granting the permit would be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

Evidence: The project site design and conditions do not ensure that the proposed development will not create any adverse impact on the health, safety, and general welfare of the community and visitors to the restaurant.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Seaside, State of California, on the 12th of June 2019, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

COASTAL DEVELOPMENT PERMIT APPLICATION NO. CDP-19-01 and UP-19-07

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature (*if different from above*)

Date

ABBREVIATIONS:

AC - ASPHALT CONCRETE
BFP - BACKFLOW PREVENTOR
CB - CATCH BASIN
C.I. - CURB INLET
CL - CENTER LINE
CLF - CHAIN LINK FENCE
CONC - CONCRETE
D.I. - DROP INLET
DWY - DRIVEWAY
E - ELECTRIC LINE
EB - ELECTRIC BOX
EM - ELECTRIC METER
EV - ELECTRIC VAULT
F - FACE OF CURB
FDC - FIRE DEPT. CONNECTION
FH - FIRE HYDRANT
FL - FLOWLINE
G - GAS LINE
GM - GAS METER
GP - GUARD POST
GV - GAS VALVE
HCR - HANDICAP RAMP
IRR - IRRIGATION
J - JOINT POLE
JT - JOINT TRENCH
MW - MONITORING WELL
OH - OVERHEAD UTILITY
PI - POST INDICATOR VALVE
PG&E - PACIFIC GAS & ELECTRIC
PL - PROPERTY LINE
PLNTR - PLANTER
PP - POWER POLE
PUE - PUBLIC UTILITY EASEMENT
R/W - RIGHT OF WAY
SD - STORM DRAIN LINE

SL - STREET LIGHT
SMT - SURFACE MOUNTED TRANSFORMER
SS - SANITARY SEWER LINE
SSCO - SANITARY SEWER CLEANOUT
SW - SIDEWALK
T - TELEPHONE LINE
TEL - TELEPHONE BOX
TC - TOP OF CURB
TP - TELEPHONE POLE
TSB - TRAFFIC SIGNAL
TSB - TRAFFIC SIGNAL CONTROL BOX
UG - UNDERGROUND UTILITY
VG - VALLEY GUTTER
W - WATER MAIN
WM - WATER METER
WV - WATER VALVE
YL - YARD LIGHT

SYMBOLS:

MONUMENT (AS NOTED)
FD. PROPERTY CORNER (AS NOTED)
CHAIN LINK FENCE
FIRE HYDRANT
STORM DRAIN MANHOLE
MANHOLE
SANITARY SEWER MANHOLE
TELEPHONE MANHOLE
TREE
YARD LIGHT

UTILITY NOTE

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

BASIS OF BEARINGS:

THE BASIS OF BEARING OF THIS SURVEY IS THE NORTHWESTERLY LINE OF PARCELS E-1 AND E-2 AS SHOWN ON 12 C&T 60, THE BEARING OF WHICH IS S53°34'18"W.

BENCHMARK:

CITY BENCHMARK #20: UPPER EDGE OF BRONZE DISC ABOVE DROP INLET IN THE NORTHEASTERLY RETURN OF DEL MONTE AVENUE AND ELM STREET

ELEVATION = 21.237 (CITY DATUM)

NOTES:

- THE SITE IS ZONED CRG (REGIONAL COMMERCIAL)
- SETBACKS PER ZONING:
FRONT: 0' (POSSIBLE SETBACK DUE TO PROXIMITY TO A COASTAL ZONE)
SIDE: 30' TOTAL BETWEEN PARCELS, 18' ON ONE SIDE AND 12' ON THE OTHER
REAR: 0' (POSSIBLE SETBACK DUE TO PROXIMITY TO A COASTAL ZONE)
- FLOOD ZONE IS DESIGNATED 'X' PER COMMUNITY PANEL NUMBER 06053C0326G, DATED 6/21/2017.
- PARCEL 4 IS PARCEL C OF TRACT 739 AND IS THE PARCEL HOME DEPOT IS SITTING ON IN THE SHOPPING CENTER. IT IS A NON-EXCLUSIVE EASEMENT OVER THE COMMON AREAS FOR PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS. IT IS NOT PLOTTED AS THE CORNER OF THIS PARCEL IS APPROX. 300' FROM THE McDONALD'S PARCEL AND WOULD ONLY BE USED AS ACCESS TO THE NORTHEAST AND ROBERTS AVE, ULTIMATELY LEADING TO DEL MONTE BLVD. VIA OLYMPIA BLVD. (SEE VICINITY MAP)

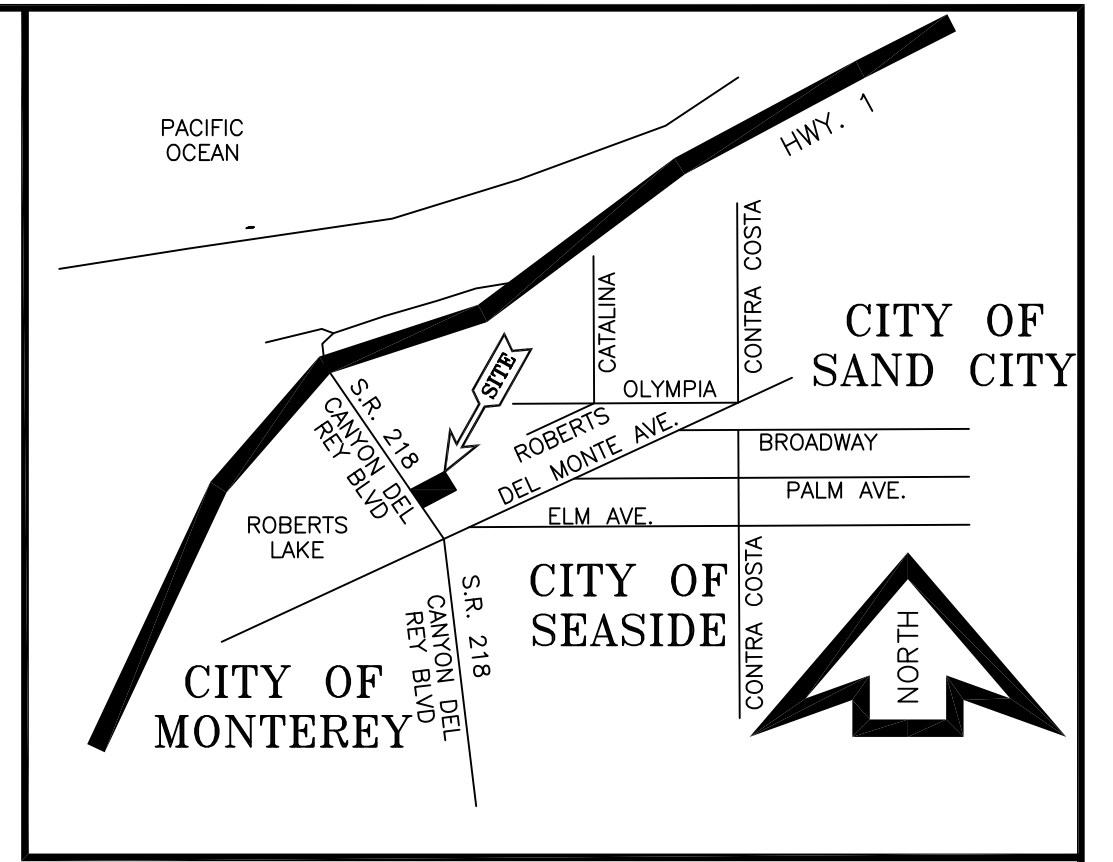
UTILITY REFERENCES:

STORM DRAIN - CITY OF SEASIDE
440 HARCOURT AVENUE
SEASIDE, CA 93955
(831) 899-6885

SEWER - CITY OF SEASIDE
440 HARCOURT AVENUE
SEASIDE, CA 93955
(831) 899-6885

WATER - CAL-AM WATER COMPANY
9670 BLUE LARKSPUR LANE
MONTEREY, CA 94303
(831) 646-3253

ELECTRICAL - & NATURAL GAS - PACIFIC GAS AND ELECTRIC
2311 GARDEN ROAD
MONTEREY, CA
(831) 648-3231



VICINITY MAP N.T.S.

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF SEASIDE, COUNTY OF MONTEREY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:

PARCELS "E-1" AND "E-2", AS SAID PARCELS ARE SHOWN ON THAT CERTAIN MAP ENTITLED "TRACT NO. 739, OFFICIAL MAP OF LAGUNA GRANDE REDEVELOPMENT PROJECT", FILED AUGUST 1, 1974 IN VOLUME 12 OF CITIES AND TOWNS AT PAGE 60, RECORDS OF MONTEREY COUNTY, CALIFORNIA, SAID MAP IS HERINAFTER REFERRED TO AS THE "TRACT 739 MAP", SAID PARCELS BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID PARCEL E-1, THENCE ALONG THE SOUTHEASTERLY LINES OF SAID PARCEL E-1 AND SAID PARCEL E-2, NORTH 53° 33' 20" EAST 171.63 FEET TO THE MOST EASTERLY CORNER OF SAID PARCEL E-2; THENCE ALONG THE NORTHEASTERLY LINE OF SAID PARCEL E-2, NORTH 36° 25' 42" WEST 118.13 FEET TO THE MOST NORTHERLY CORNER OF SAID PARCEL E-2; THENCE ALONG THE NORTHWESTERLY LINES OF SAID PARCEL E-2 AND SAID PARCEL E-1 SOUTH 53° 34' 18" WEST 174.25 FEET TO THE MOST WESTERLY CORNER OF SAID PARCEL E-2, SAID POINT LYING ON A 7,450 FOOT RADIUS NON-TANGENT CURVE, HAVING A RADIAL BEARING AT SAID POINT OF SOUTH 52° 45' 22" WEST; THENCE, SOUTHEASTERLY ALONG SAID CURVE, SAID CURVE BEING THE SOUTHWESTERLY LINE OF SAID PARCEL E-1 THROUGH A CENTRAL ANGLE OF 00° 54' 33" AND AN ARC LENGTH OF 118.21 FEET TO THE POINT OF BEGINNING.

PARCEL 2:

A NON-EXCLUSIVE EASEMENT FOR RIGHT OF WAY PURPOSES OVER A STRIP OF LAND 60 FEET WIDE AND A STRIP OF LAND 30 FEET WIDE, AS AN APPURTENANT TO SAID PARCEL 1, AS SHOWN ON THE TRACT 739 MAP.

PARCEL 3:

NON-EXCLUSIVE EASEMENTS ON, OVER AND UNDER THE "PARKING SITE" (AS SUCH TERM IS DEFINED AND DESCRIBED IN THE "AGENCY GRANT DEED DATED" APRIL 12, 1976, RECORDED APRIL 23, 1976 IN REEL 1049 OF OFFICIAL RECORDS OF MONTEREY COUNTY AT PAGE 232, BEING PARCELS A-1, A-2, A-3, A-4, A-5, B, AND I AS SAID PARCELS ARE SHOWN ON THE TRACT 739 MAP, FOR THE INSTALLATION AND MAINTENANCE OF UTILITIES: FOR THE ERRECTING, CONSTRUCTING, MAINTAINING AND OPERATING OF SIGNS AND OTHER ADVERTISING AND DIRECTIONAL FACILITIES; AND FOR PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, ALL AS DEPICTED AND FULLY DEFINED IN AND LIMITED BY THE AGENCY GRANT DEED.

PARCEL 4:

A NON-EXCLUSIVE EASEMENT OVER AND UPON THE COMMON AREA PORTION OF PARCEL C AS SAID PARCEL IS SHOWN ON THE TRACT 739 MAP (BEING THE "LAND EASEMENT AREA" DEPICTED, DEFINED AND DESCRIBED IN THE AGENCY GRANT DEED), FOR PARKING AND VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS, AS DEPICTED AND FULLY DEFINED IN AND LIMITED BY THE AGENCY GRANT DEED.

REFERENCES:

- CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NO. FWMN-TO17001644, DATED DECEMBER 18, 2017.
- TRACT MAP NO. 7398, 12 CITIES AND TOWNS 60

EXCEPTIONS PER REFERENCE 1:

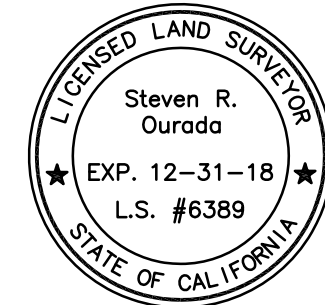
- TAXES
- TAXES
- LIEN OF SUPPLEMENTAL TAXES, IF ANY
- THE HEREIN PROPERTY IS WITHIN THE BOUNDARIES OF MONTEREY REGIONAL PARK DISTRICT OPEN SPACE AND COASTAL PRESERVATION DISTRICT (INST #2017019116) NON-SURVEY RELATED AND NOT PLOTTED.
- ANY ASSESSMENTS OR CHARGES DUE TO THE MONTEREY REGIONAL WATER POLLUTION CONTROL AGENCY.
- DITCH/PIPELINE EASEMENT (BOOK 183, PAGE 291) UNABLE TO PLOT PER RECORD DATA.
- P.G.&E. EASEMENT (VOL. 1808, PAGE 367) UNABLE TO PLOT PER RECORD DATA.
- NEIGHBORHOOD REDEVELOPMENT PROGRAM (REEL 656, PAGE 728; AND AMENDMENTS), ESTABLISHES DEVELOPMENT STANDARDS AND USES, NON-SURVEY RELATED, NOT PLOTTED.
- EASEMENTS ON MAP (12 C&T 60), 10' TELEPHONE EASEMENT, AFFECTS EASTERLY CORNER OF PARCEL 1
- 10' SANITARY SEWER EASEMENT, AFFECTS PORTIONS OF PARCEL 1
- C.C.&R.'s (REEL 1049, PAGES 232 AND 267; REEL 721; REEL 1826, PAGE 604; REEL 2263, PAGE 715), PROVIDES RECIPROCAL ACCESS AND UTILITY EASEMENTS ACROSS PARCELS 1 AND 2.
- PUBLIC UTILITY EASEMENTS (1049 O.R. 267), EASEMENTS FROM LEGAL DESCRIPTION AND SHOWN AS PARCELS 2, 3 AND 4.
- SHOPPING CENTER EXPANSION AGREEMENT (INST #9889903), PROVIDES BLANKET EASEMENT OVER PARKING AREAS FOR RECIPROCAL ACCESS AND UTILITIES, BLANKET IN NATURE AND NOT PLOTTED.
- SIGN AGREEMENT (INST # 9889904), PROVIDES FOR CONSTRUCTION AND USE OF FREEWAY SIGNAGE.
- RECORD INFORMATION GIVES APPROXIMATE LOCATIONS ONLY AND IS NOT PLOTTED.
- DEEDS OF TRUST
22. GENERAL NOTES AND TITLE COMPANY REQUIREMENTS.

SURVEYOR'S CERTIFICATE

TO: McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY;
McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION;
McDONALD'S CORPORATION, A DELAWARE CORPORATION; AND
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7, 8, 9, 11, 17 AND 18 OF TABLE A THEREOF, AND THAT IT COMPLIES WITH THE REQUIREMENTS PROVIDED BY McDONALD'S CORPORATION. THE FIELD WORK WAS UPDATED ON MARCH 28, 2018.

DATE: MARCH 30, 2018
SIGNED: Steven R. Ourada
STEVEN R. OURADA, L.S. #6389



L/C: 004-1284

A.L.T.A. SURVEY

1516 CANYON DEL REY BLVD

APN: 011-561-024 & -025

CITY OF SEASIDE COUNTY OF MONTEREY STATE OF CALIFORNIA

Prepared for McDONALD'S CORPORATION

OURADA ENGINEERING

5805 FLEET COURT
ROCKLIN, CALIFORNIA 95765

PHONE: (916) 624-1221

JOB NO.

MC-1492

SHEET 1 OF 1

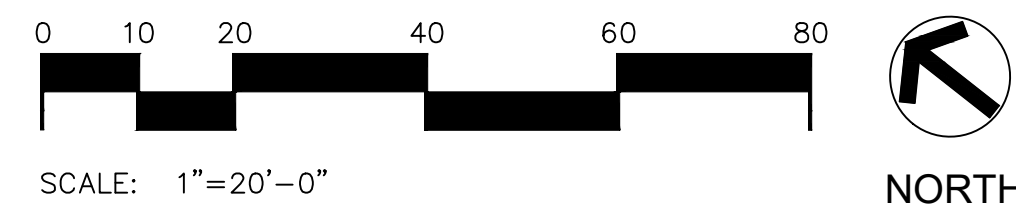
DRAWN BY: SRO

DATE: 03/30/2018

MC1492 ALTA 2018.DWG

Diagram illustrating the layout of a crosswalk area, showing various elements and their corresponding details:

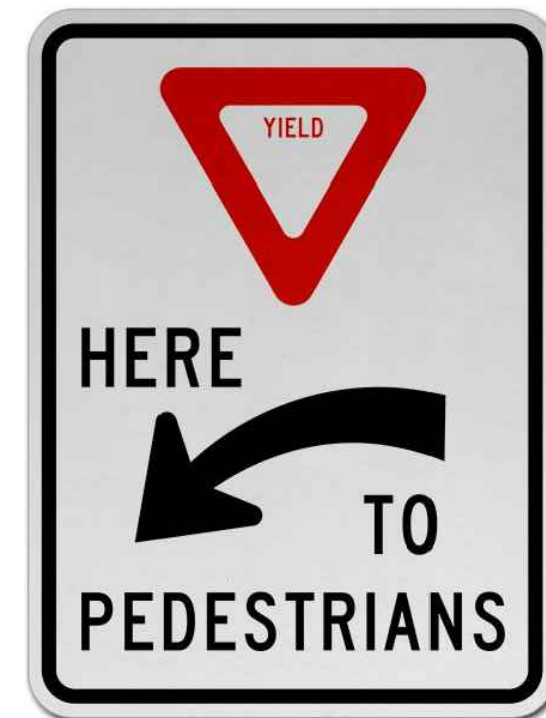
- GUARD RAIL, DETAIL 1/SP1C
- DO NOT ENTER SIGN, DETAIL 5/SP1
- YIELD TO PEDESTRIAN SIGN, DETAIL 2/SP1C
- LANDSCAPE AREA
- PATH OF TRAVEL



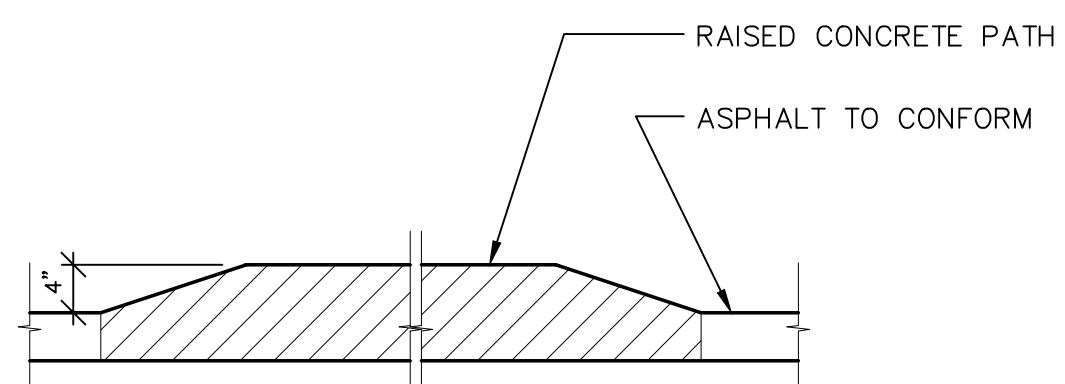
SP1C	-
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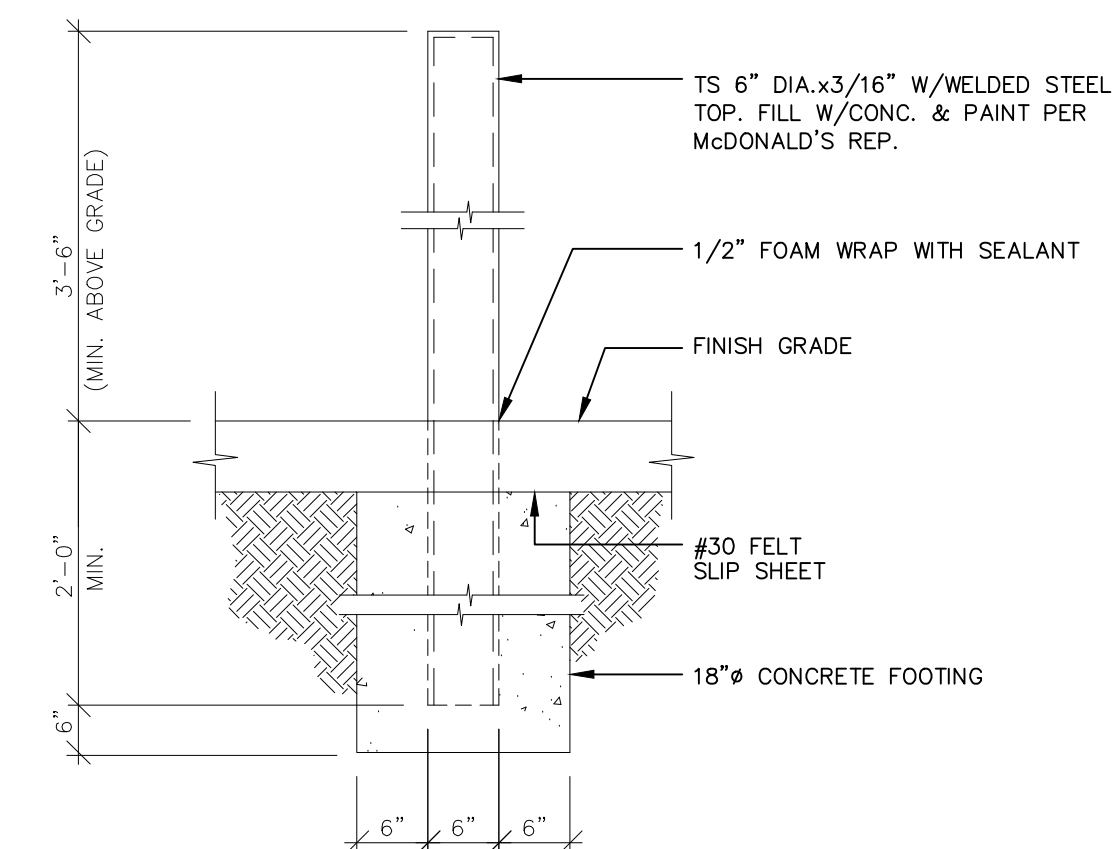
1 GUARD RAIL DETAIL
SP1C 1/2" = 1'-0"



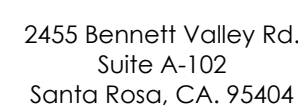
SP1C



SP1C



SP1C 3/4"=1'-0"

Professional of Record:

Seal

PREPARED FOR: © 2019 McDonald's USA, LLC

 **McDonald's USA, LLC**

SP 1 C

D PAVEMENT MARKINGS

Standard Stencil and Paint Color:

These are available at the Pavement Stencil Company 1-800-250-5547. The following description is what you would say as you order. There are no part numbers associated with these.

Stencils:

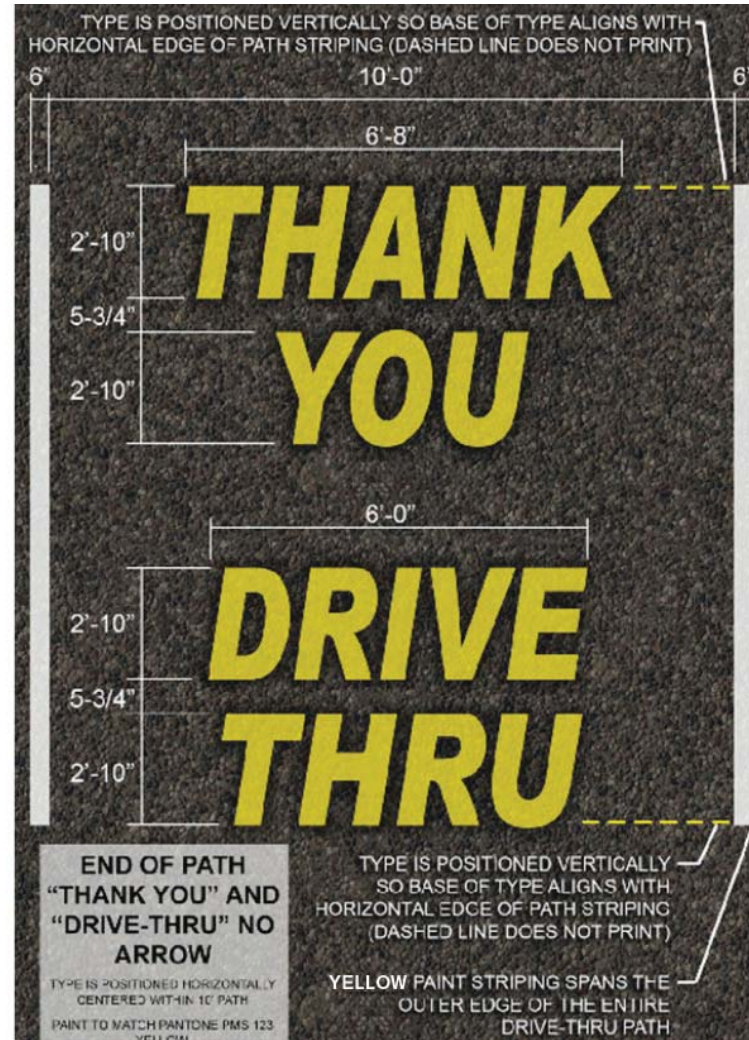
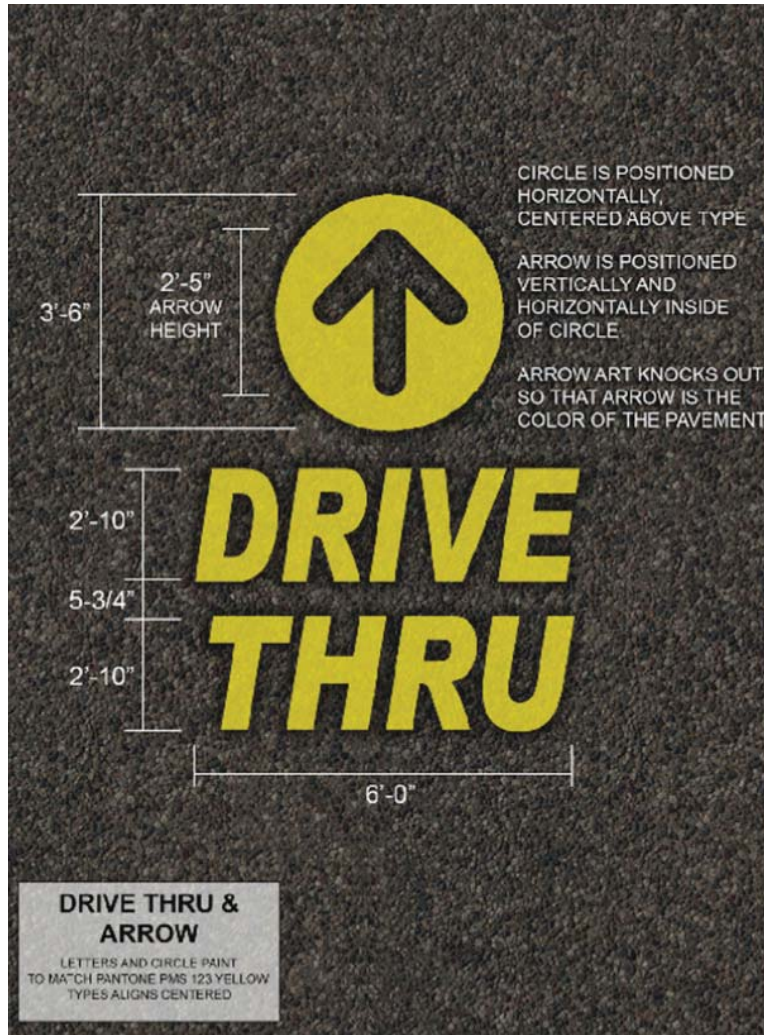
1. **Drive Thru**
2. **Round Circle (directional arrow)**
3. **Thank You**
4. **Double-Headed Arrow** for a Double Drive-Thru is made up of three components that the lot striping company has. The first piece is a PC Shaft 12" W by 36" L, a PC Reversible curved Shaft 12" W by 51" L and the last piece is a Ph Arrow Head 38" L by 36" W.
5. **Lane Stripe** is a 6" wide done by the lot striping company.
6. **Pull forward/Park Stripe** is 8" wide done by company lot striping (stall stripe width to match existing parking lot stalls).

Paint Color:

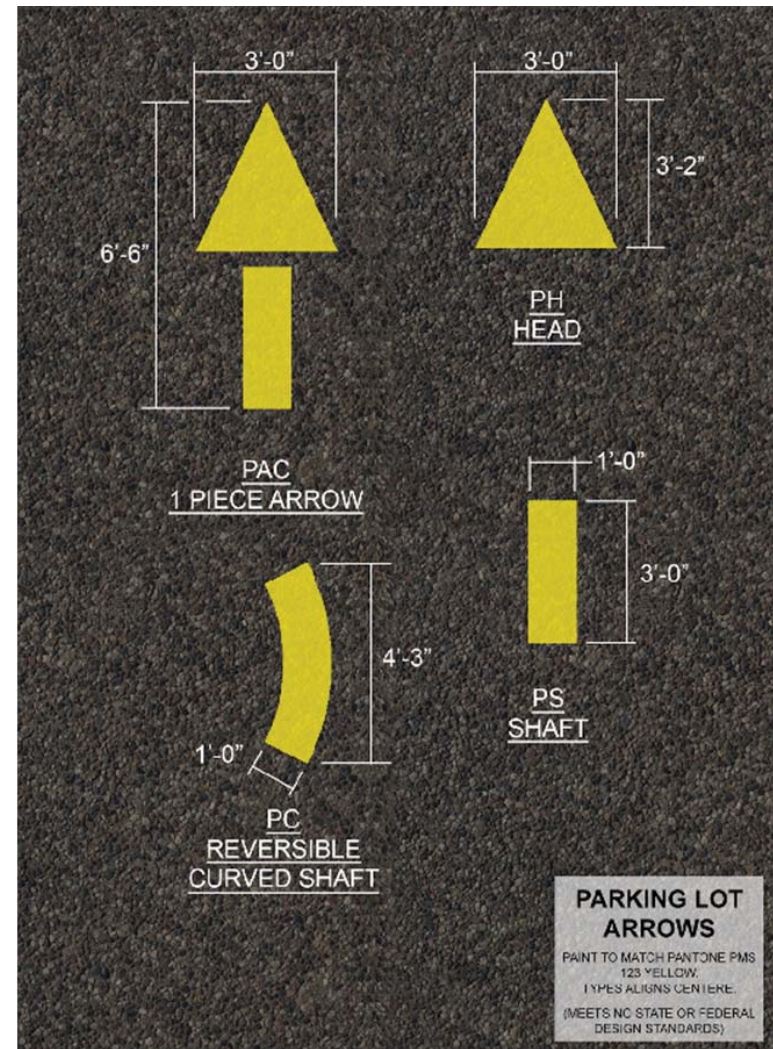
This is for all drive-thru directional striping including the painted stripe for the lane. The paint color should match PMS 123 Yellow.

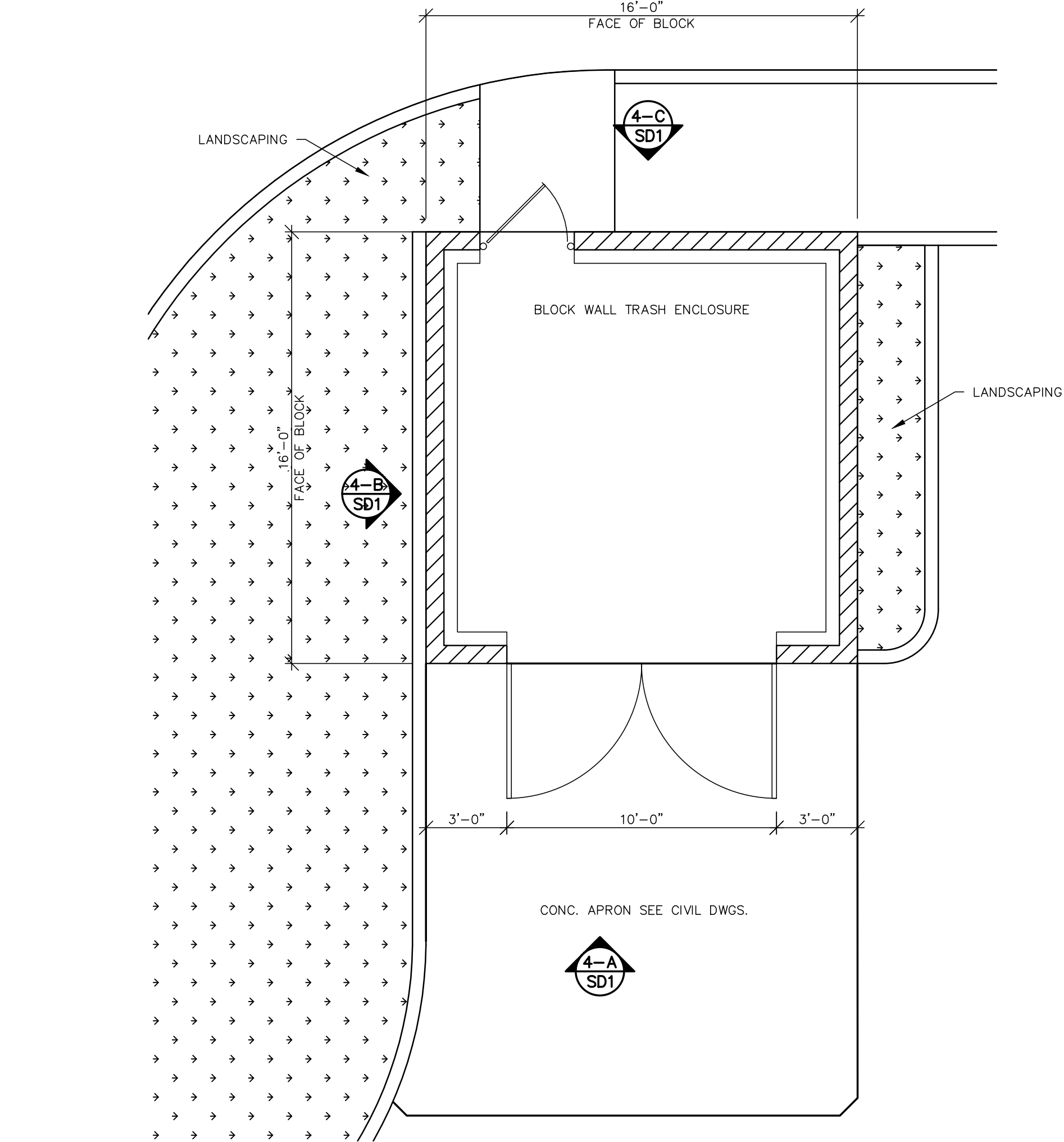


PAVEMENT MARKINGS TEMPLATES

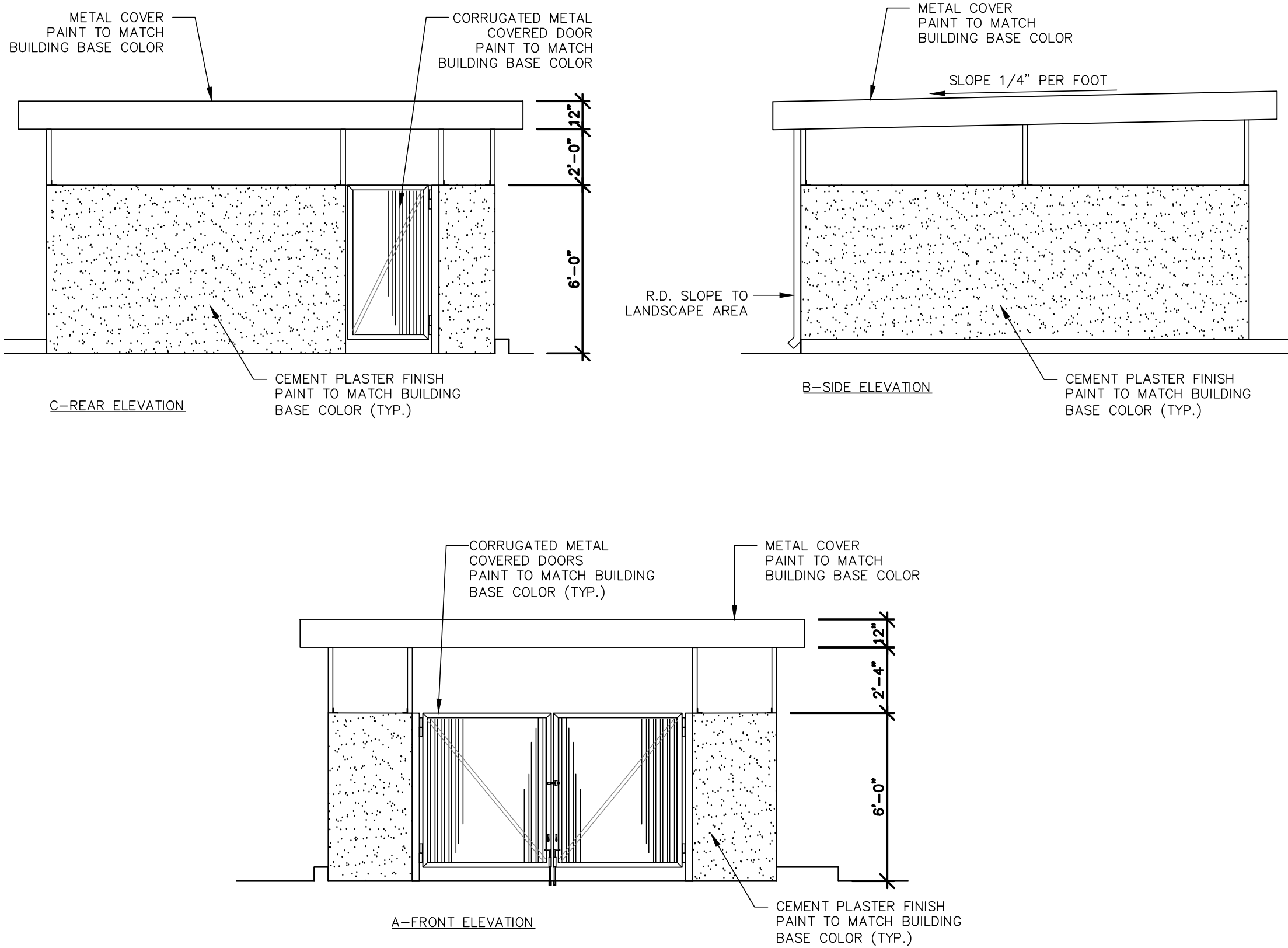


PAVEMENT MARKINGS TEMPLATES





2
SD1 ENLARGED TRASH ENCLOSURE
1/4" = 1'-0"



4
SD1 TRASH ENCLOSURE ELEVATIONS
1/4" = 1'-0"

NOTE:
SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION

REV	DATE	DESCRIPTION	BY
03/20/19		ISSUED FOR USE PERMIT REVIEW	RMF
02/21/19		ISSUED FOR CLIENT REVIEW	RMF

Professional of Record:

PM DESIGN
Architectural
Solutions Group

2455 Bennett Valley Rd.
Suite A-102
Santa Rosa, CA, 95404

Seal

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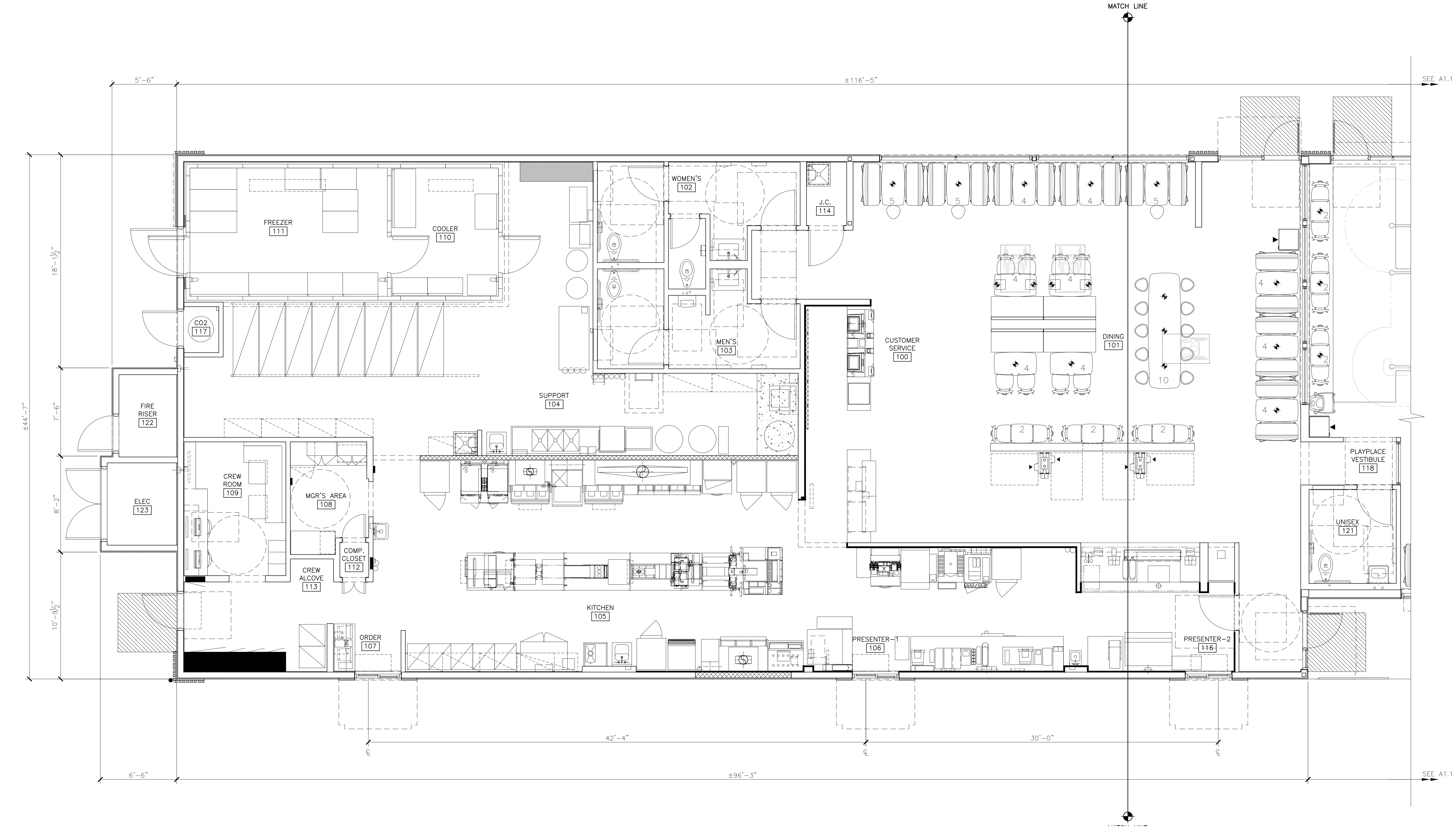
McDonald's USA, LLC

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TITLE	DRAWN BY	STD	ISSUE DATE	REVIEWED BY	DATE
McDONALDS #7436 SEASIDE - CANYON DEL REY	LB/CB		03/20/19	RMF	
DESCRIPTION REBUILD - BB20 WOOD BEARING WALLS AND WOOD ROOF FRAMING STUCCO/BATTEN/METAL PANEL FINISHES				DATE ISSUED	03/20/19
SITE ID 004-1284				SITE ADDRESS	1516 CANYON DEL REY, SEASIDE, CA 93955

SD1
SITE DETAILS

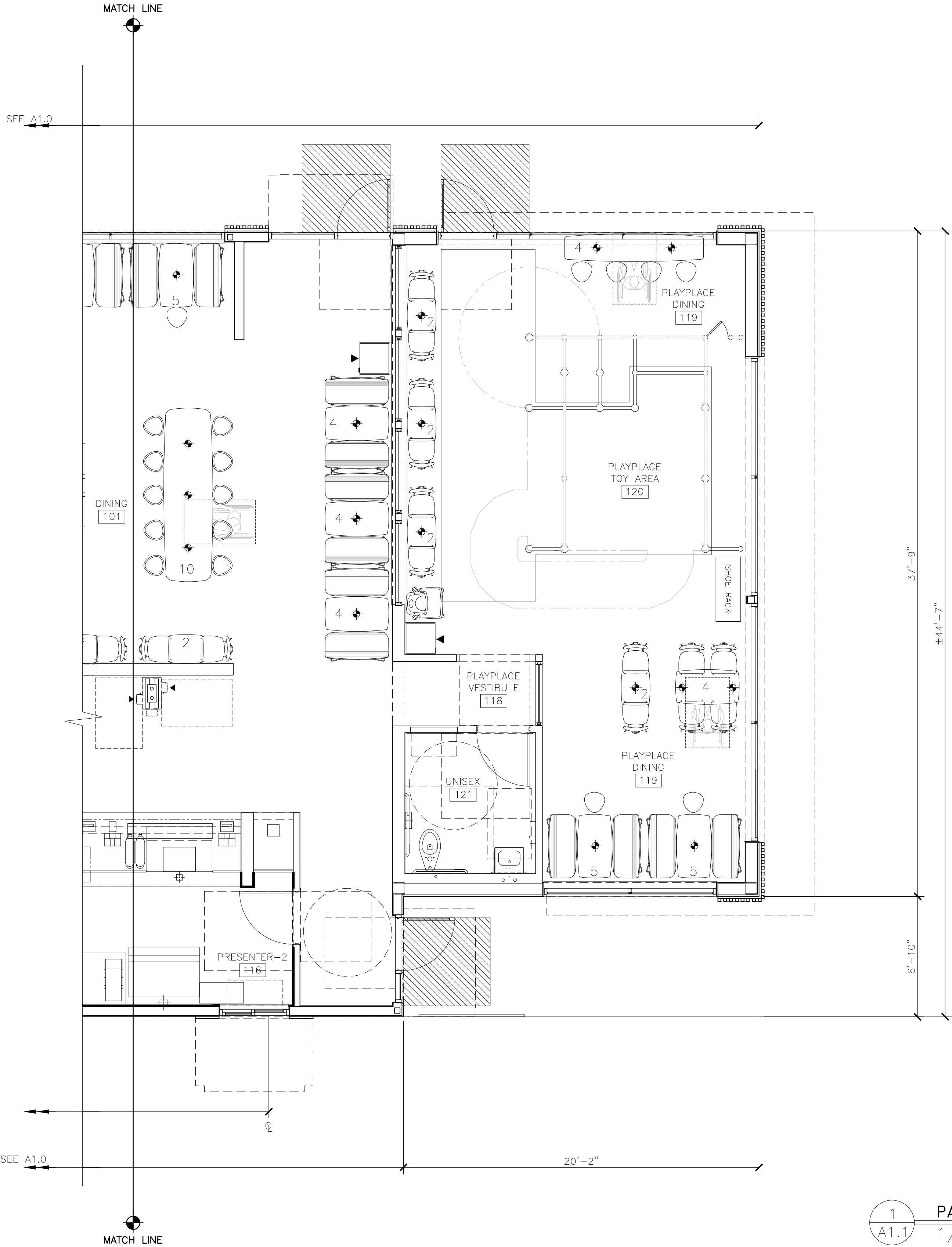
\\PDESIGN\LOCAL\PMDS\SHARED\A001-PROJECTS\AMERICAN CANYON\MCDONALD'S_MCD 2017\MCD17201.0 - SEASIDE\01 DRAWINGS CURRENT\01 ARCHITECTURAL\02 PLANNING\02.17201_A-PLANDWG 3/20/2019 1:48 AM\JEAN M. RUSIT



1
A1.0
PARTIAL FLOOR PLAN
1/4"=1'-0"
(SEE PARTIAL PLAN 1/A1.1 FOR CONTINUATION OF FLOOR PLAN)

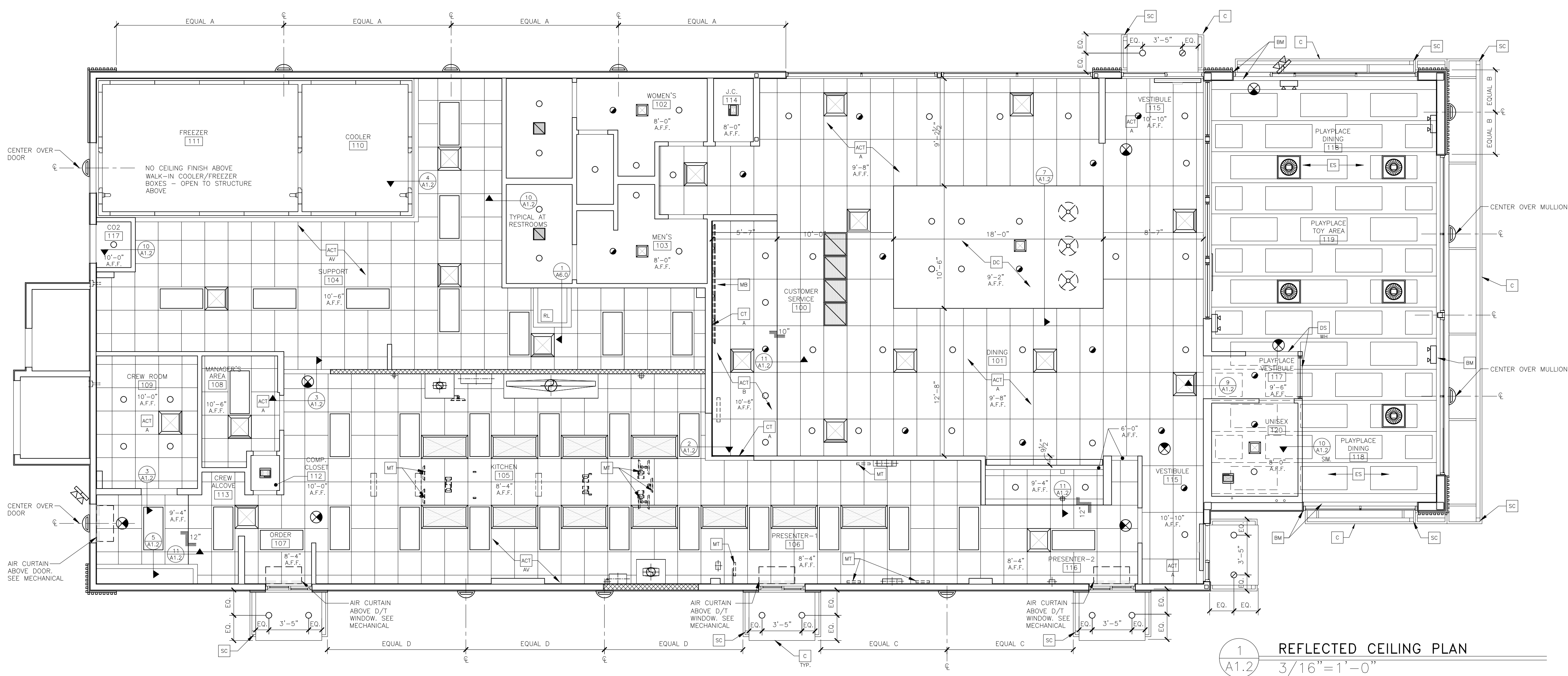
SHEET NO.	TITLE	DRAWN BY LB/CB	STD ISSUE DATE 03/20/19	REVIEWED BY RMF	DATE ISSUED 03/20/19	SITE ID 004-1284	SITE ADDRESS 1516 CANYON DEL REY, SEASIDE, CA 93955	FLOOR PLAN	A1.0	Seal	© 2019 McDonald's USA, LLC	McDonald's USA, LLC	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.	Professional of Record:	PM DESIGN Architectural Solutions Group 2455 Bennett Valley Rd. Suite A-102 Santa Rosa, CA, 95404	REV	DATE	DESCRIPTION	BY

\\PDESIGN\LOCAL\PMDS\SHARED\001-PROJECTS\AMERICAN CANYON\MCDONALD'S_MCD 2017\MCD17201.0 - SEASIDE\01 DRAWINGS CURRENT\01-ARCHITECTURAL\02-PLANNING\02-17201_A-PLANDWG 3202019 1148 AM JEAN M. RUSIT



1
A1.1
PARTIAL FLOOR PLAN
1/4"=1'-0"
(SEE PARTIAL PLAN 1/A1.0 FOR CONTINUATION OF FLOOR PLAN)

SHEET NO.	TITLE	DRAWN BY LB/CB	STD. ISSUE DATE 03/20/19	REVIEWED BY RMF	DATE ISSUED 03/20/19	BY	DESCRIPTION	DATE	REV	BY
A1.1 FLOOR PLAN	MCDONALD'S #7436 SEASIDE - CANYON DEL REY DESCRIPTION REBUILD - BB20 WOOD BEARING WALLS AND WOOD ROOF FRAMING STUCCO/BATTEN/METAL PANEL FINISHES SITE ID 004-1284	1516 CANYON DEL REY, SEASIDE, CA 93955	PREPARED FOR: McDonald's USA, LLC	Professional of Record: PM DESIGN Architectural Solutions Group 2455 Bennett Valley Rd. Suite A-102 Santa Rosa, CA, 95404	Seal	RMF	ISSUED FOR CLIENT REVIEW	02/21/19	RMF	ISSUED FOR CLIENT REVIEW

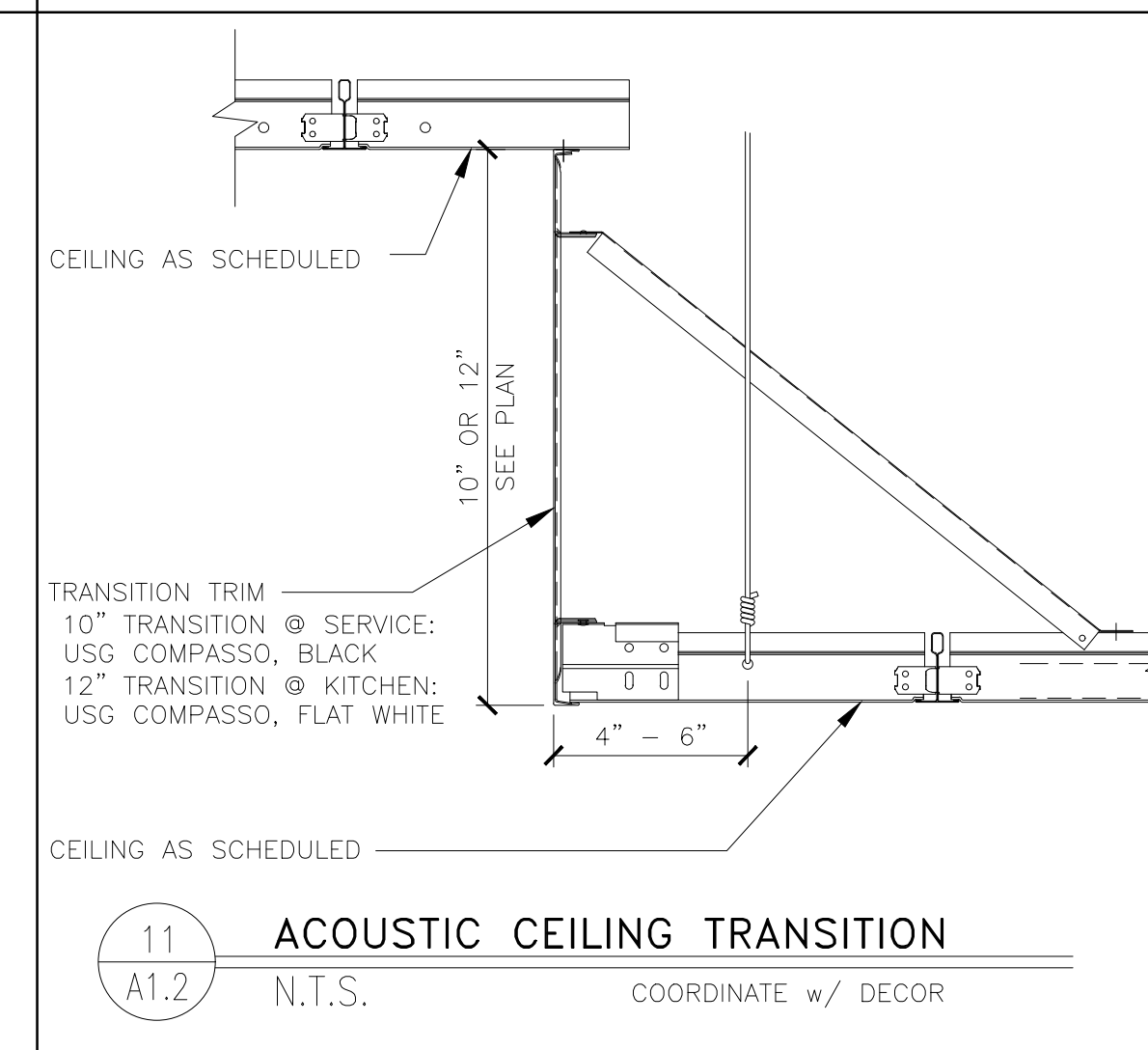
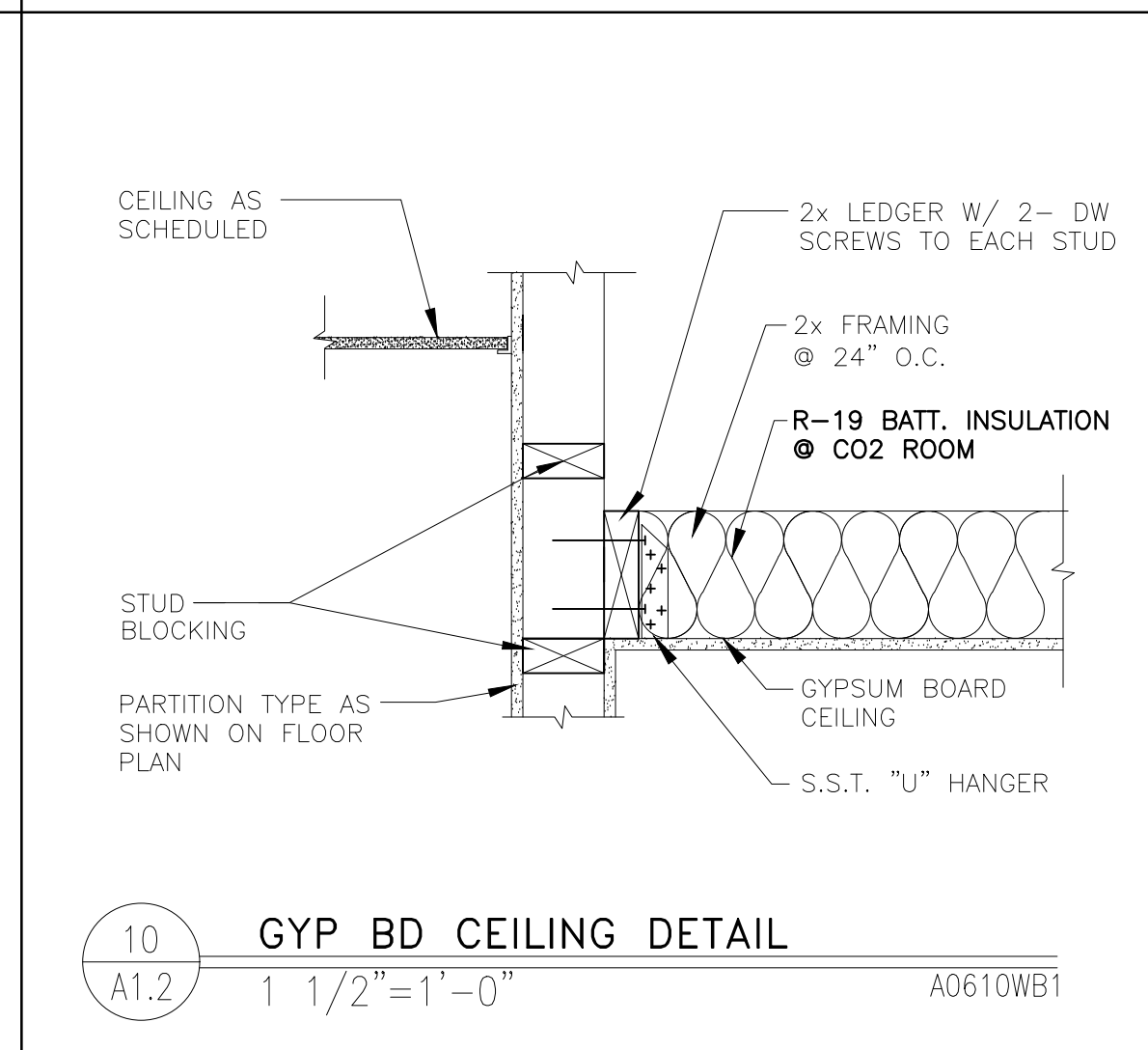
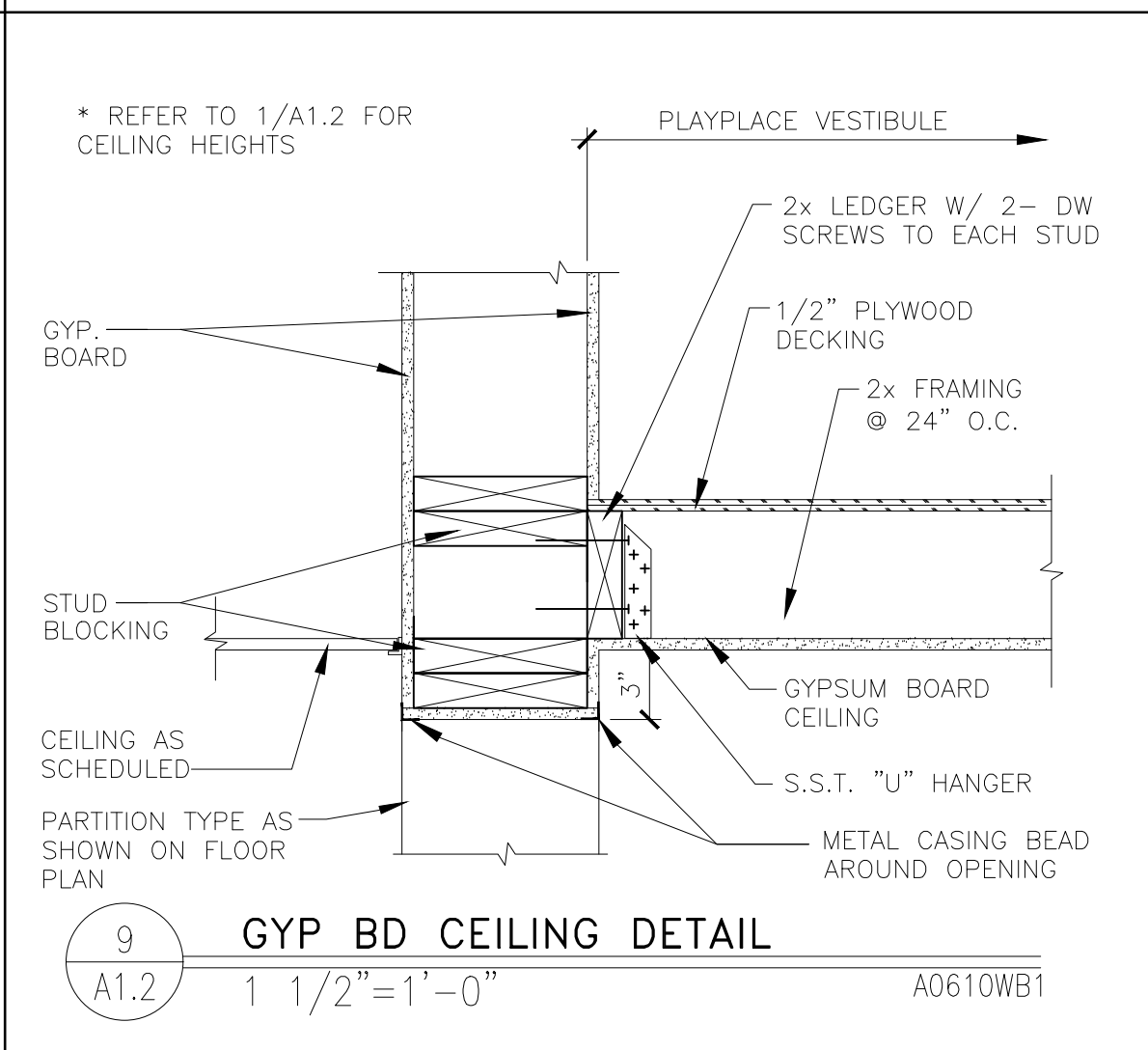
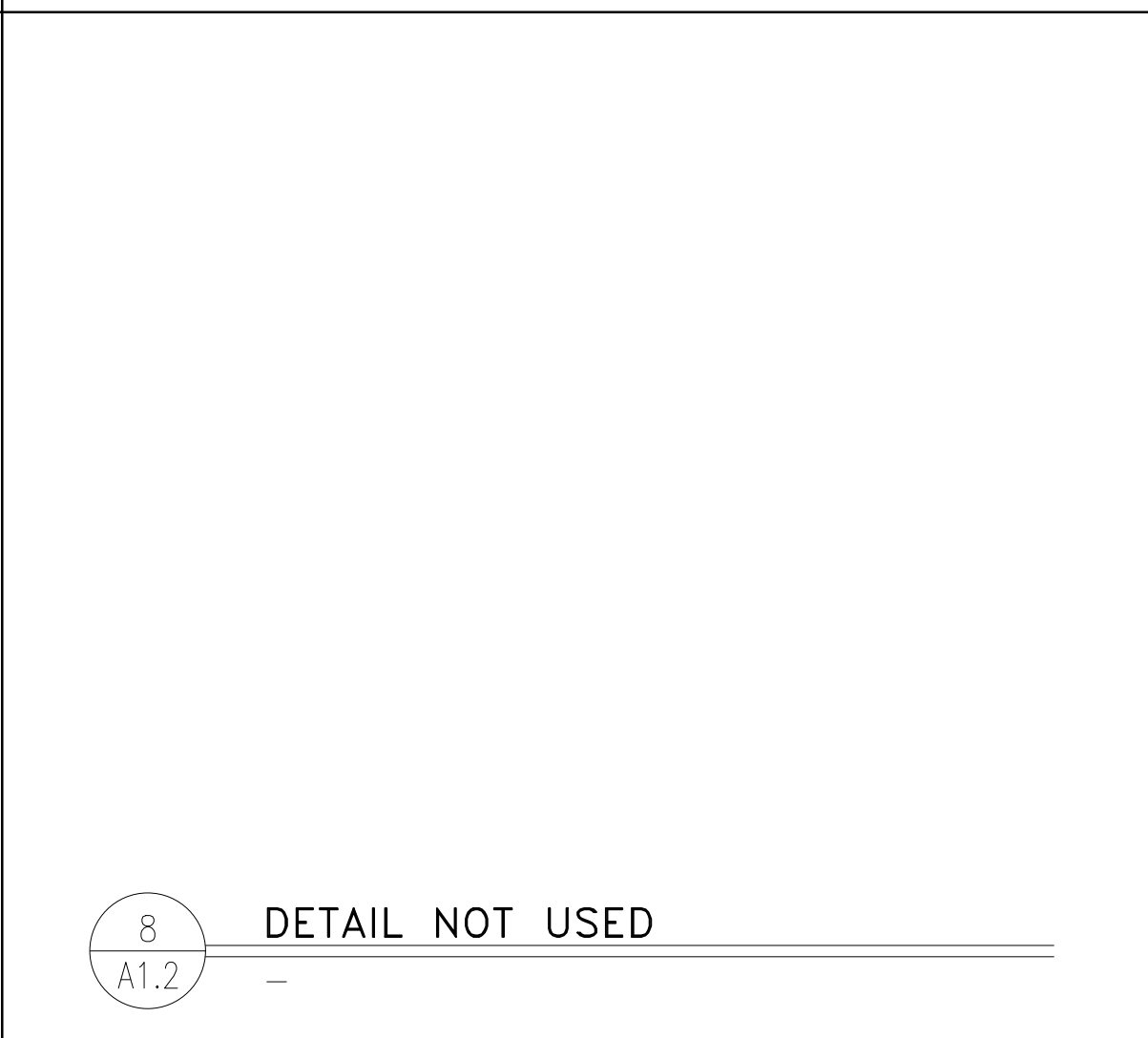
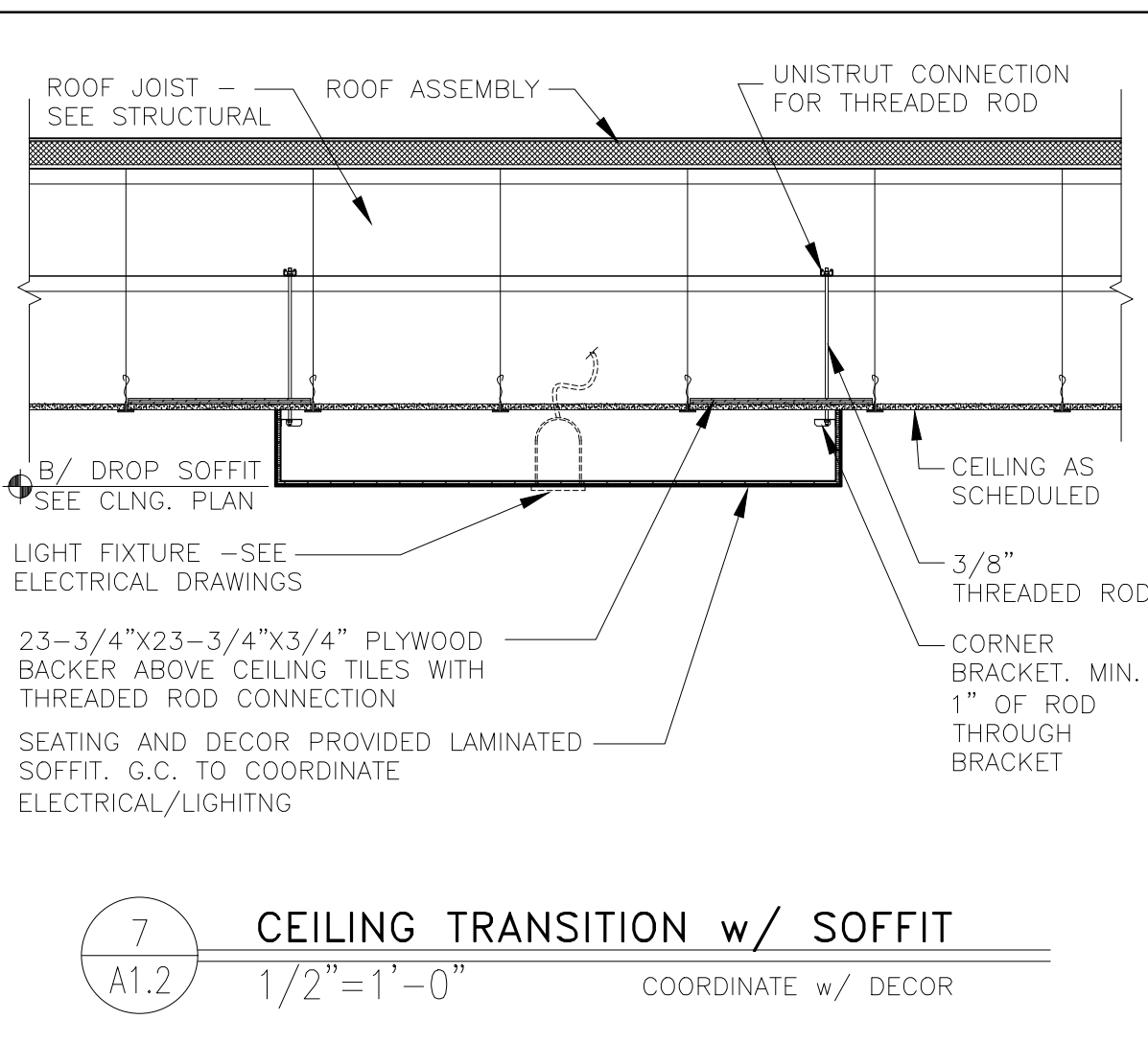
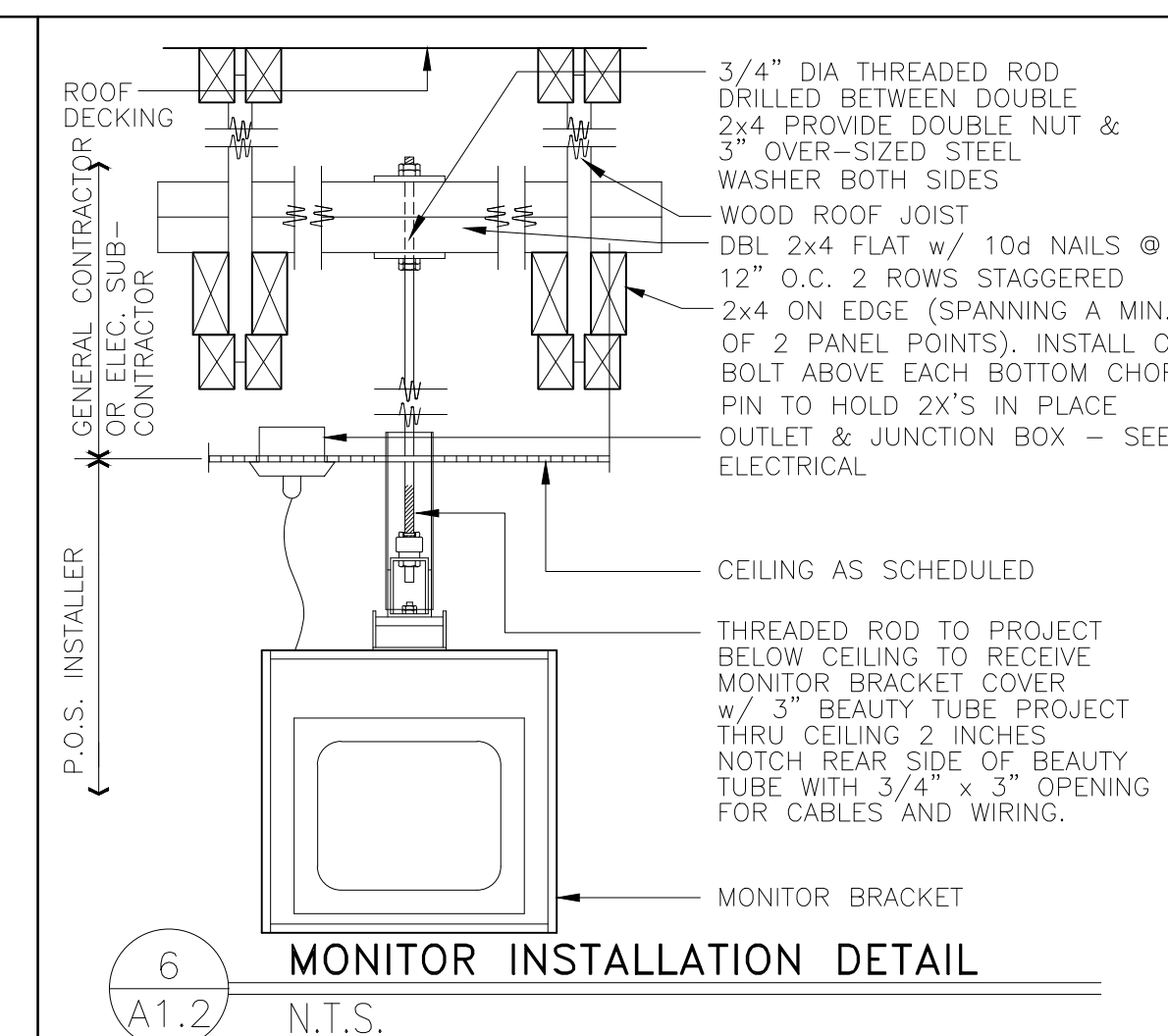
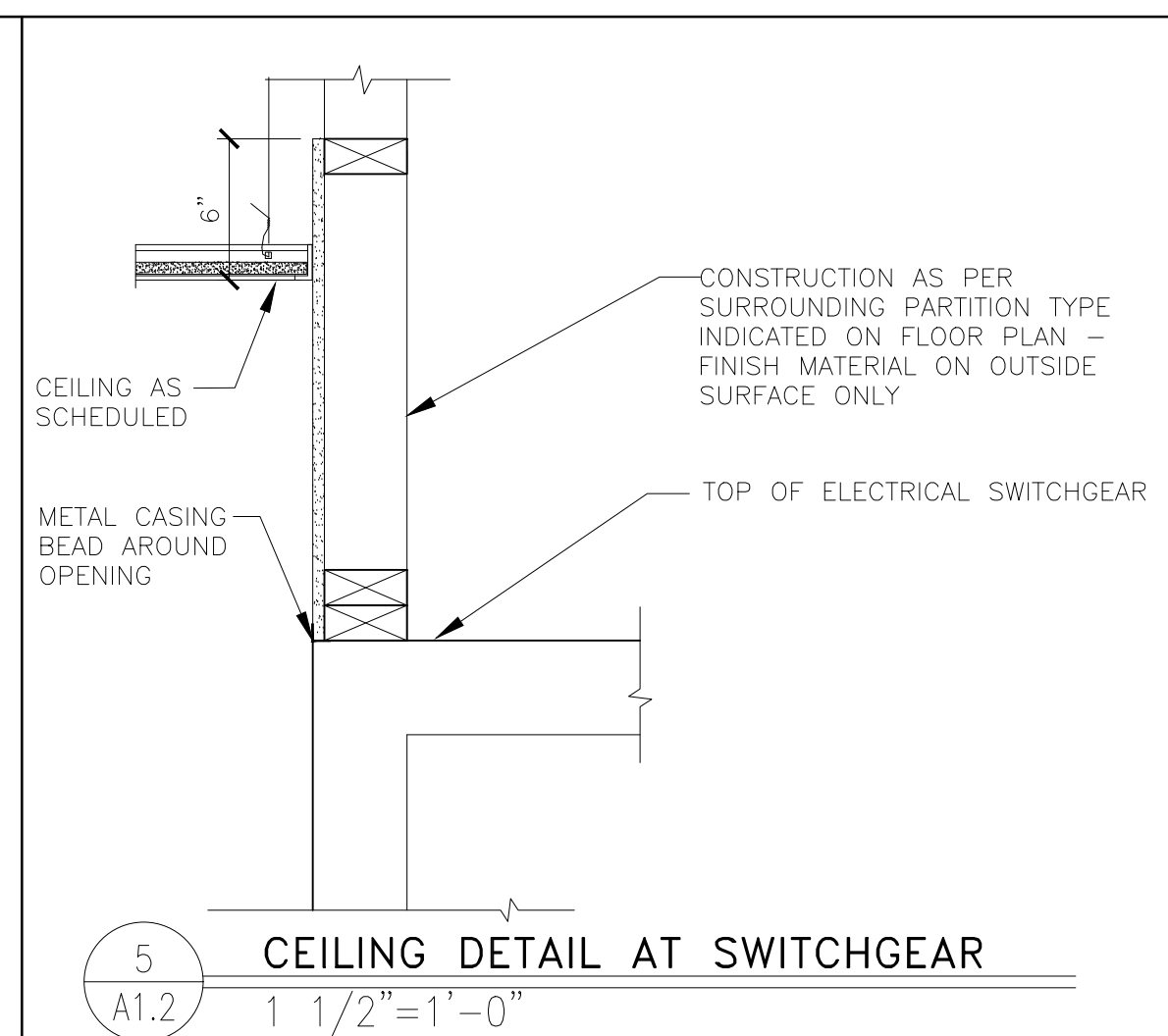
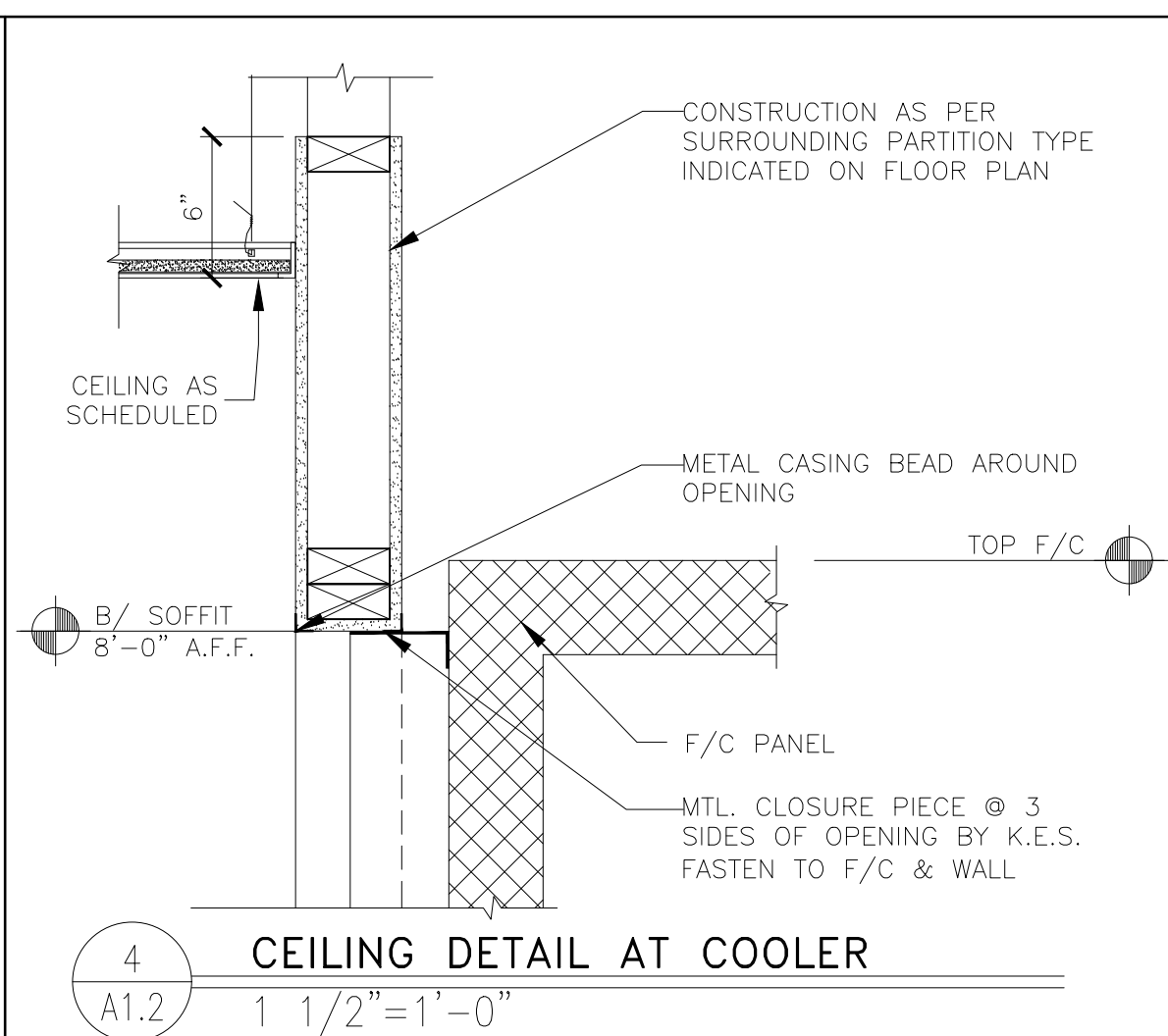
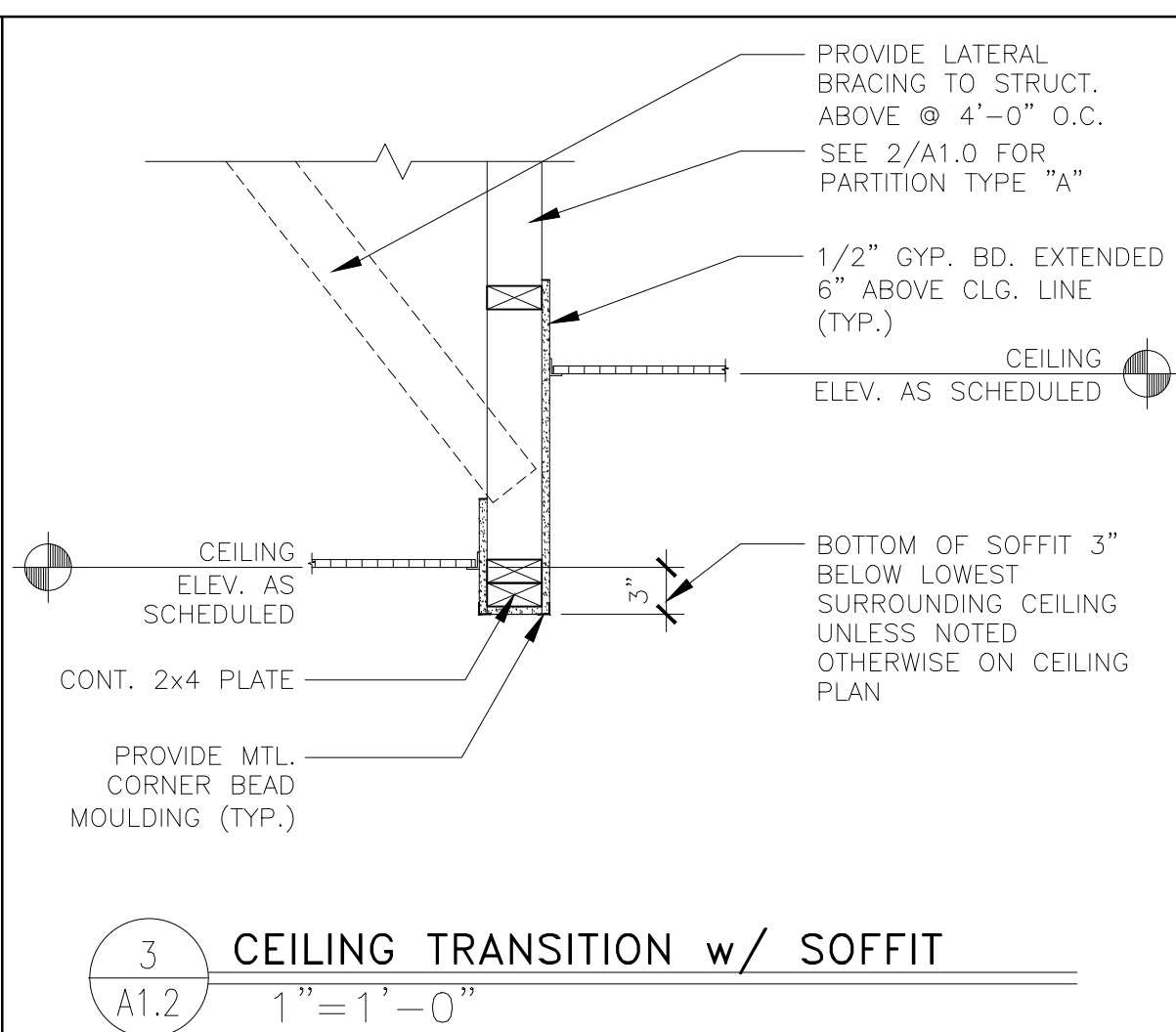
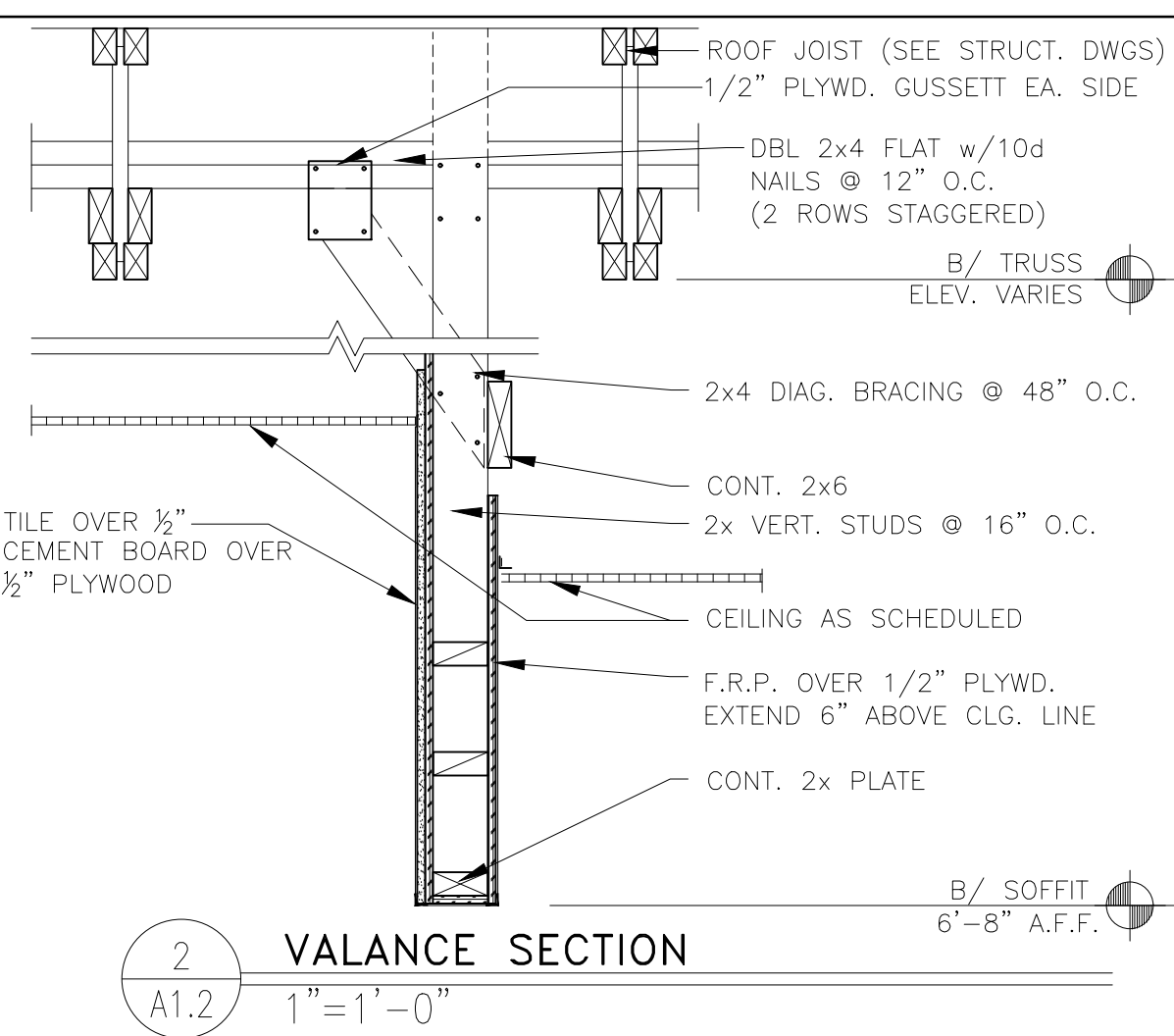


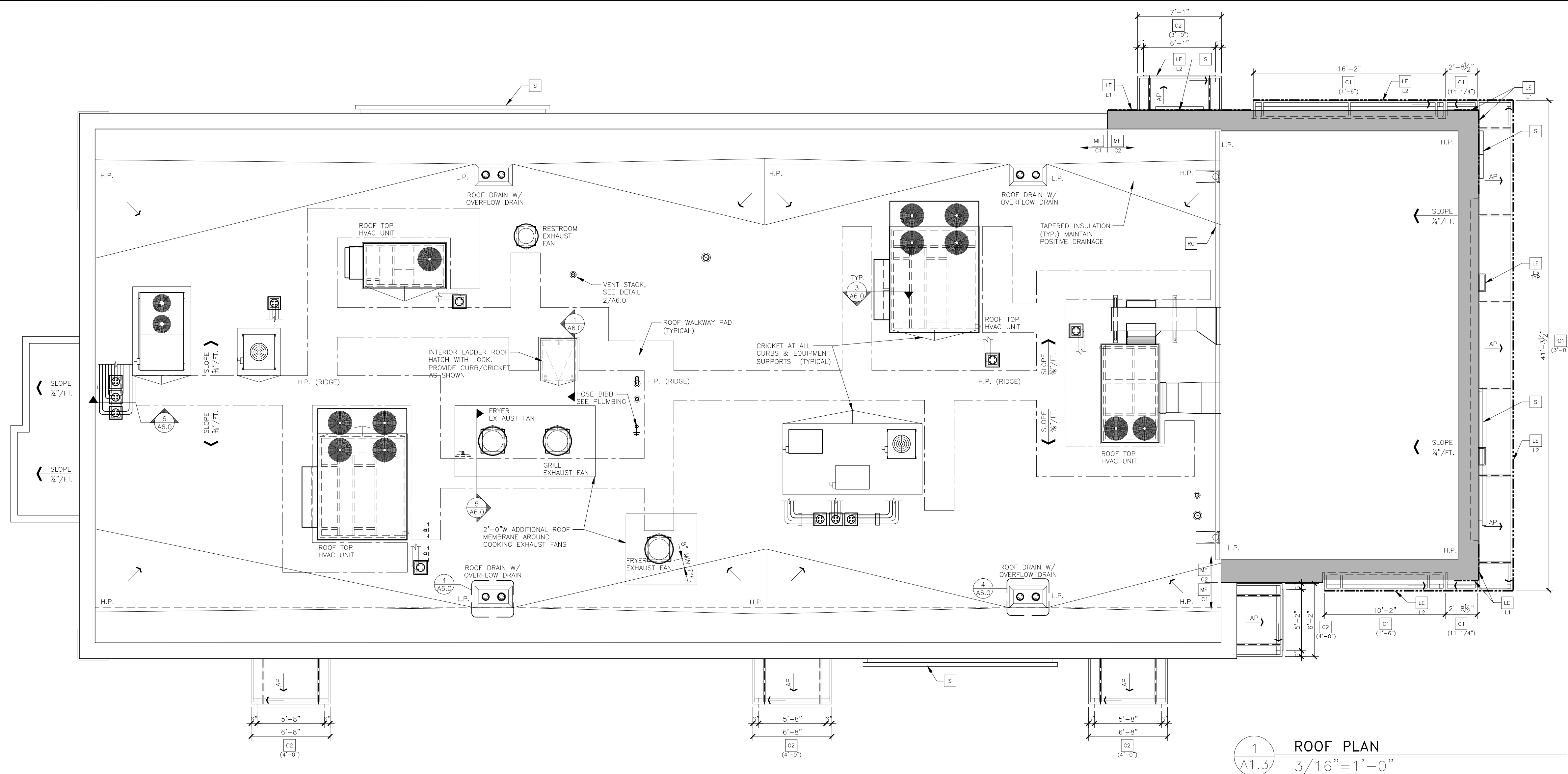
KEY NOTES

- | | |
|-------|---|
| ACI | ACOUSTICAL CEILING TILE – VERIFY FINISHES WITH DECOR COMPANY |
| A | |
| ACI | ACOUSTICAL CEILING TILE – VINYL FACED |
| AV | COLOR: WHITE – SEE ROOM FINISH SCHEDULE |
| ACI | ACOUSTICAL CEILING TILE: USG 24"x24" PREMIER HI-LITE CLIMAPLUS |
| B | KAPOK PANELS. UNPERFORATED |
| | COLOR: FLAT BLACK 205 |
| | GRID: USG 15/16" DX/DXL COLOR: BLACK |
| ACI | ACOUSTICAL CEILING TILE: VINYL FACED USG 24"x24" PREMIER HI-LITE |
| BV | CLIMAPLUS KAPOK PANELS. UNPERFORATED |
| | COLOR: FLAT BLACK 205 |
| | GRID: USG 15/16" DX/DXL COLOR: BLACK |
| BM | BREAK METAL SOFFIT – SEE WALL SECTIONS FOR CONSTRUCTION AND FINISHES |
| C | ALUMINUM CANOPY WITH INTEGRAL GUTTER AND SCUPPER – SEE 4/A5.0 FOR NOTES – SEE ROOF PLAN FOR DIMENSIONS – SEE ELEVATION FOR COLOR AND FASCIA LOCATIONS |
| CT | WALL TILE: EUROWEST – LANDSTONE COLLECTION |
| A | COLOR: COAL, SIZE 4"x12", PATTERN: STACK BOND |
| | GROUT: MAPEI 47 CHARCOAL – JOINT TO BE 1/8" MAX. |
| | COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER |
| DC | SUSPENDED DECORATIVE CEILING TREATMENT – SEE DECOR DRAWINGS FOR ADDITIONAL INFORMATION |
| DS | DROPPED SOFFIT |
| DC-WH | BOTTOM TO ALIGN WITH GYP BD AT EXTERIOR WINDOW HEAD |
| | MAY BE REPLACED BY ELEMENT BY DECOR SUPPLIER – CONFIRM WITH AREA CONSTRUCTION MANAGER |
| ES | EXPOSED STRUCTURE ABOVE – UNDERSIDE OF DECK AND JOISTS TO BE PAINTED "BRIGHT WHITE", ALL EXPOSED ENDS OF ROOFING FASTENERS TO BE CLIPPED ACOUSTICAL CEILING PANELS TO BE MOUNTED ON UNDERSIDE OF ROOF DECKING – CENTER PANELS BETWEEN BOWSTRIN TRUSSES, EVENLY SPACED, COORDINATE AND AVOID LIGHT FIXTURE POSITIONING |
| MB | MENU BOARDING WITH BEZELS BY OTHERS UNDER SEPARATE PERMIT – SEE ELEC PLANS |
| MT | CEILING MONITOR MONITOR: A) VERIFY MONITOR LOCATIONS WITH McDONALD'S PROJECT MANAGER PRIOR TO INSTALLATION. B) SEE DETAIL 6/A1.2 FOR INSTALLATION METHOD |
| RL | ROOF LADDER OPENING |
| SC | INTERGRAL GUTTER SCUPPER |

GENERAL NOTES

1. SEE SHT A6.0 FOR CEILING FINISHES.
2. SEE SHT A1.0 FOR MENU BOARD DROPPED SOFFIT LOCATION DIMENSIONS
3. GENERAL CONTRACTOR SHALL COORDINATE HVAC DIFFUSER LOCATION WITH DECOR & MECHANICAL PLANS AND REPORT ANY DISCREPANCIES TO ARCHITECT.
4. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR DIFFUSER AND LIGHTING INFORMATION.
5. PROVIDE USG V15 CEILING TILE RETENTION CLIPS IN ALL VESTIBULE AREAS

[illegible]



LEGEND

L.P. LOW POINT

H.P.	HIGH POINT
------	------------

← DIRECTION OF DRAINAGE

←^{AP} TRELLIS SYSTEM WITH ALUMINUM INFILL PANELS.
SLOPE TO EDGE @1/4"PER FT.

KEY NOTES

c1 ALUMINUM CANOPY SYSTEM W/ FASCIA (COLOR: SEE ELEVATIONS)

C2 ALUMINUM CANOPY SYSTEM (COLOR: SEE ELEVATIONS)

LE ACCENT LIGHTING - SEE ELEVATIONS & ELECTRICAL

L1 = SLIM

L3 = UP ONLY FLOOD FIXTURE

100 *Journal of Management Inquiry* 16(1)

MF METAL FASCIA
C1-COLOR:

C1 = WEATHER
C2 = MATCH

RG CONTINUOUS RAIN GUTTERS AT RAISED ROOF. SLOPE

□ TOWARDS AND DRAIN ONTO FLAT ROOF SPLASH BLOCKS-
SEE SECTIONS

☐ McDONALD'S SIGNAGE BY OTHERS UNDER SEPARATE PERM.

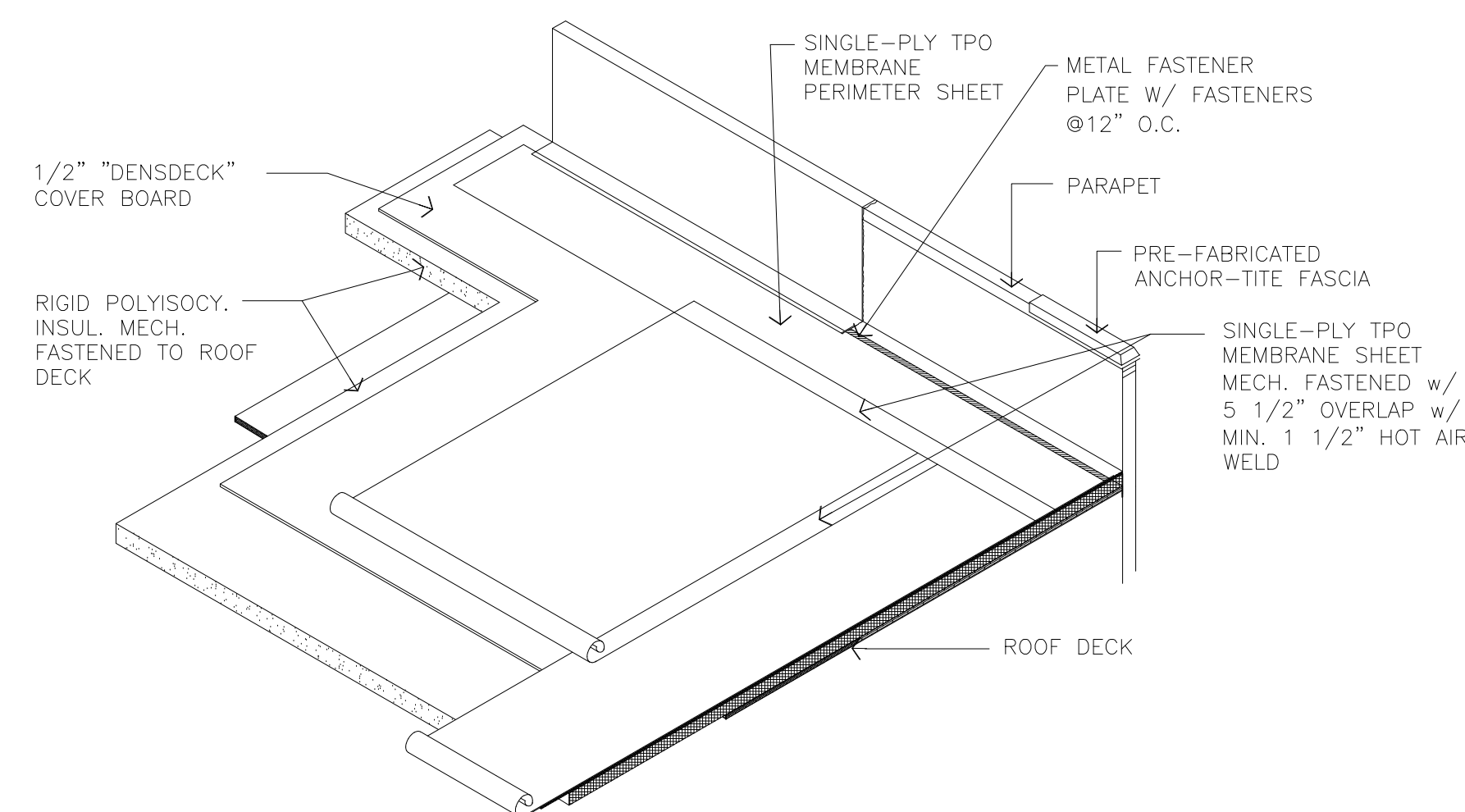
3 (SEE ELEVATIONS)

ROOFING NOTES

1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING HOT WELDED TO SEALING STRIP SECURED TO WOOD BLOCKING
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2 OF THIS SHEET.
3. PROVIDE PREFABRICATED METAL CURBS. COORDINATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ M, E, P & S SHEETS. PROVIDE SHIMS TO LEVEL CURB AREAS WHERE ROOF DECK IS PITCHED.
4. FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF HATCH. REFER TO STRUCTURAL DRAWINGS.
5. CRICKETS MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

ROOFING SYSTEM

1. MANUFACTURERS AND PRODUCTS:
A. JOHNS MANVILLE
JM-TPO
NO SUBSTITUTIONS ALLOWED
2. SPECIFIED ROOFING SYSTEMS (AS SHOWN):
HEAT-WELDABLE SINGLE-PLY 60 MIL TPO ROOFING SYSTEM, INSTALLED OVER RIGID INSULATION ON WOOD ROOF DECK PROVIDING A SLOPE OF 3/8"/FT. MATERIALS SHALL BE AS FOLLOWS:
A. TPO ROOFING SYSTEM AS MANUFACTURED BY MANUFACTOR LISTED ABOVE TO COMPLY WITH ASTM E 108 OR UL 790, ASTM D-6878, AND FMG I-90 FOR WIND UPLIFT.
B. FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER.
C. ACCESSORIES: PRE-FABRICATED CURBS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING ETC. AS PER MANUFACTURER.
3. WALKWAYS:
A. 30" WIDE WALKWAY ROLL, HOT AIR WELDED TO MEMBRANE.
B. PROVIDE WALKWAY FROM ROOF LADDER EXIT TO ALL ROOF TOP EQUIPMENT AS PER ROOF PLAN ABOVE.
C. INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION.
4. RIGID INSULATION:
PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/ 1/2" "DENSDECK" COVER BOARD TO MEET A MINIMUM CONTINUOUS **R-30** VALUE - THICKNESS AS REQUIRED, PROVIDE POSITIVE SLOPE TO ALL ROOF DRAINS. SEE ROOF PLAN. PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURERS RECOMMENDATIONS. BOTTOM LAYER OF INSULATION TO HAVE INTEGRAL THERMAL BARRIER OR APPROVED ROOFING MANUFACTURER'S THERMAL UNDERLAYMENT SHEET. ASSEMBLY SHALL COMPLY WITH UL 1256 OR FMG 4450 AND ASTM C 1289, TYPE I OR II.
5. TAPERED INSULATION:
PROVIDE TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. 1/4" PER FOOT MIN. REQUIRED.
6. EXHAUST FANS:
PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.

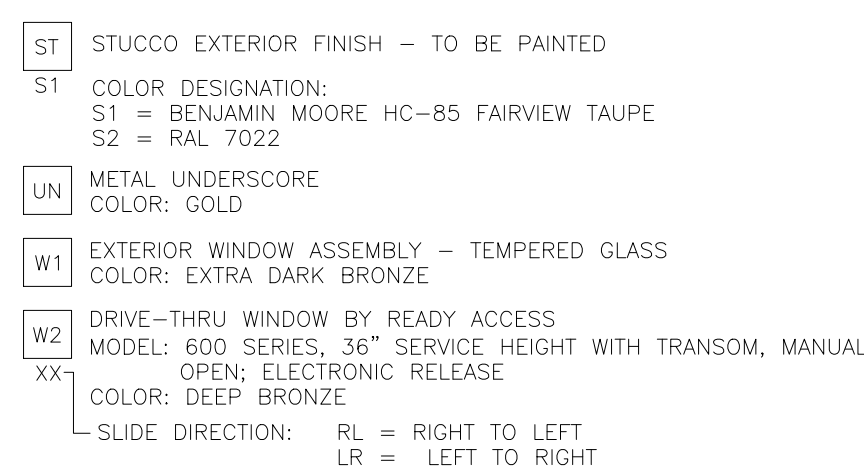
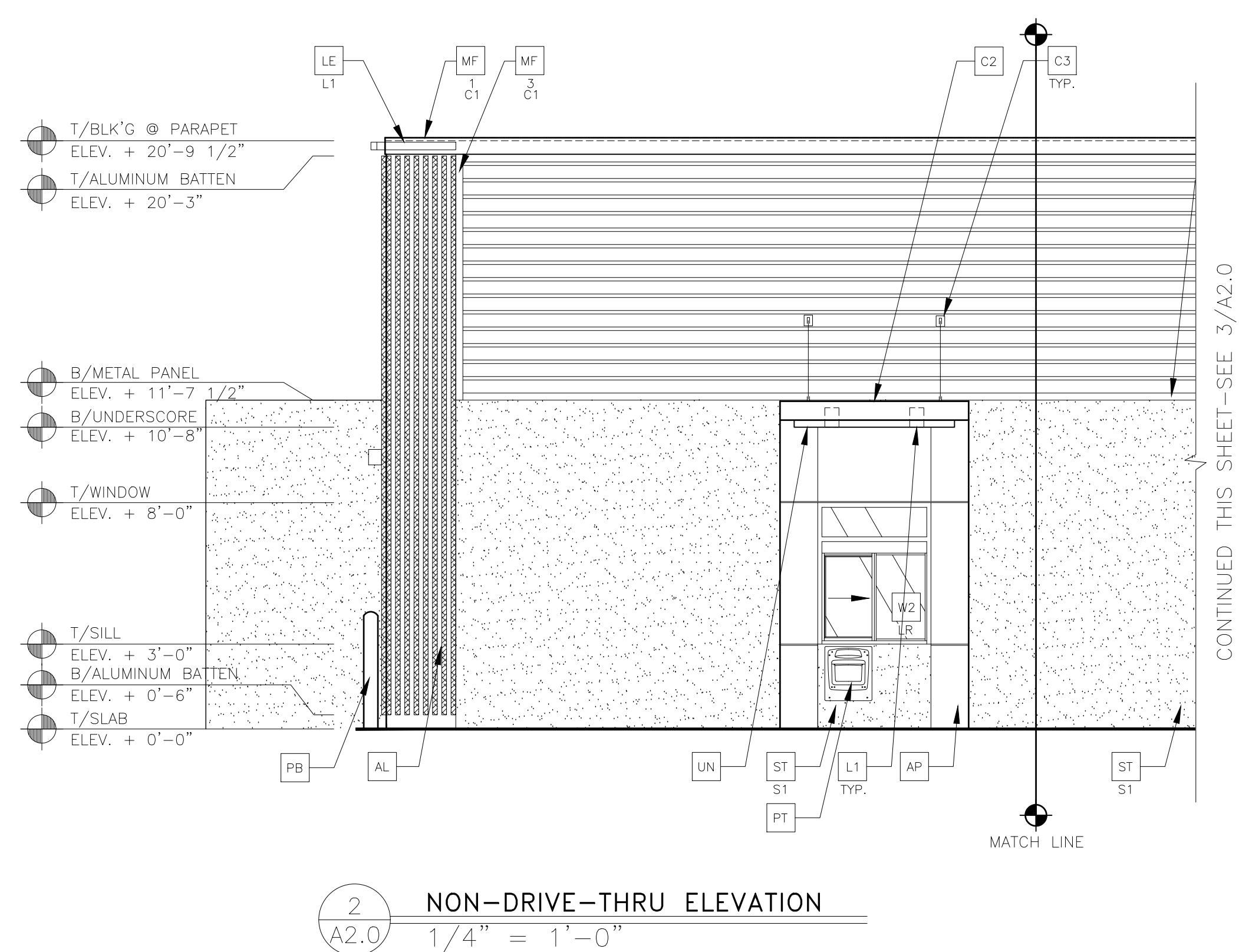


ROOFING SYSTEM

N.T.S.

DETAIL NOT USED

SHEET NO.	TITLE	DRAWN BY STD LB/CB	PREPARED FOR ©2019 McDonald's USA, LLC McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of the contract documents on any other project without the express written consent of McDonald's USA, LLC is prohibited. The services of properly licensed architects and engineers in the reproduction of the contract documents for reuse on another project is not authorized.	REV	DATE	DESCRIPTION	BY
A1.3	McDONALDS #7436 SEASIDE — CANYON DEL REY	DESCRIPTION REBUILD BR20 WOOD BEARING WALLS AND WOOD ROOF FRAMING STUCCO/DATEN/METAL PANEL FINISHES	REVIEWED BY RMF	03/20/19	0.3/20/19	ISSUED FOR USE PERMIT REVIEW	RMF
	SITE /O SITE ADDRESS					ISSUED FOR CLIENT REVIEW REVIEW	RMF
	004-1284	1516 CANYON DEL REY, SEASIDE, CA 93955					



Professional of Record:

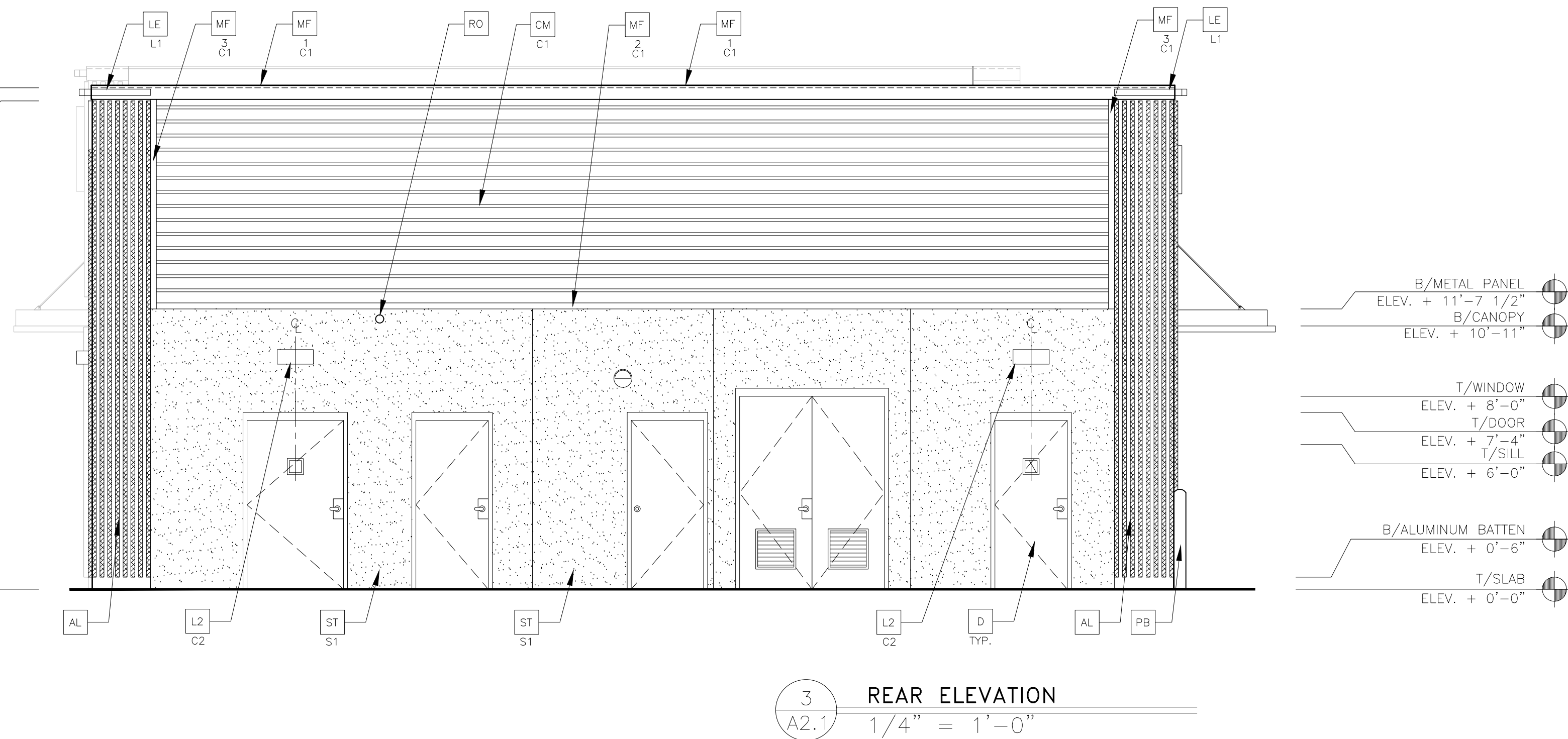
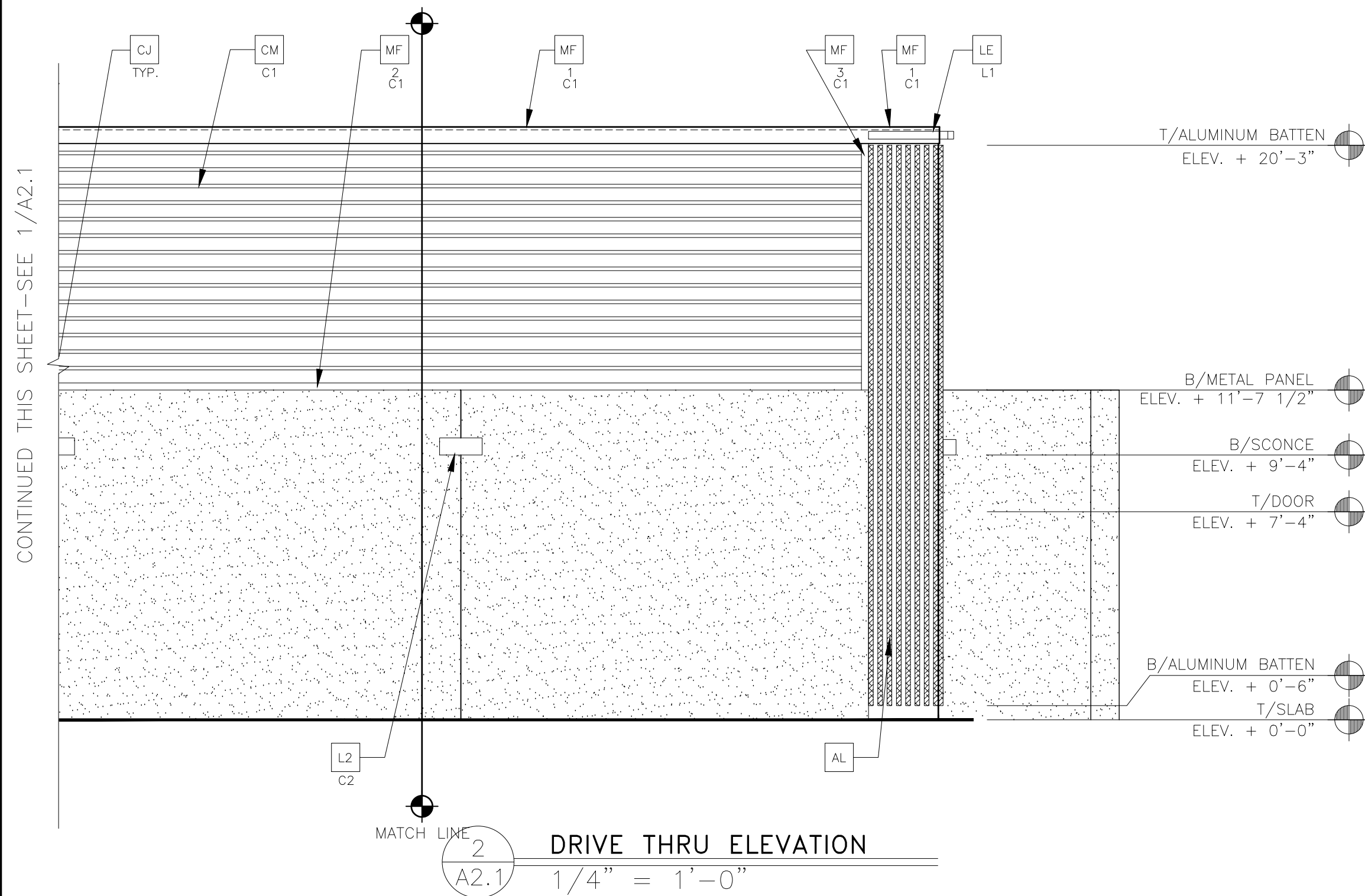
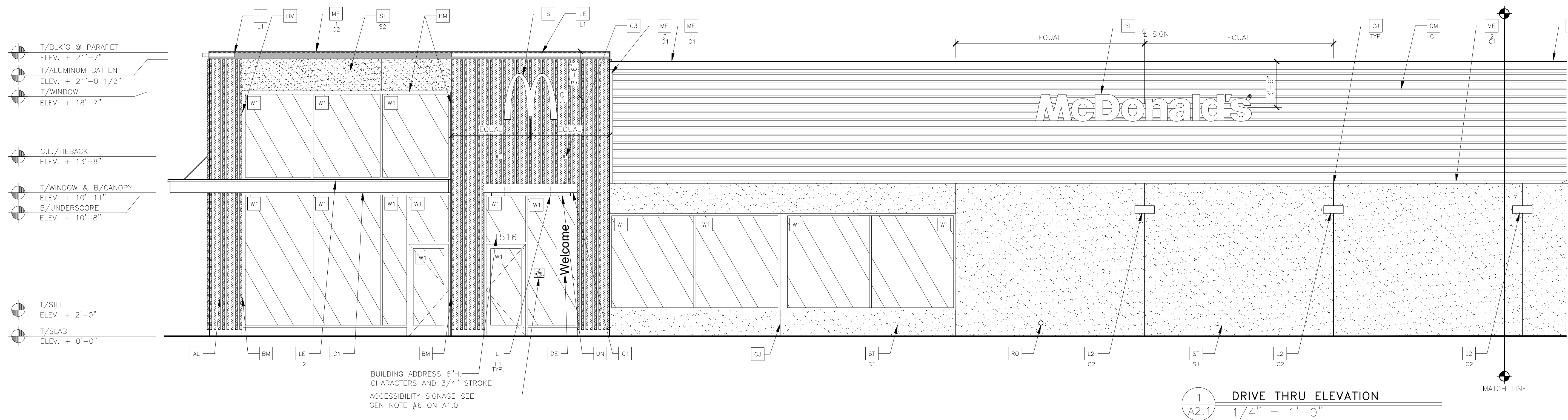
**PM
DESIGN**

**Architectural
Solutions Group**

2455 Bennett Valley Rd.
Suite A-102
Santa Rosa, CA. 95404

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SHEET NO.	TITLE	DRAWN BY
A2.0	McDONALDS #7436	LB/CB
	SEASIDE — CANYON DEL REY	STD. ISSUE DATE
		03/20/19
		REVIEWED BY
		RMT
	DESCRIPTION	DATE ISSUED
	REBUILD BB20	03/20/19
	WOOD BRATTEN WALLS AND WOOD ROOF FRAMING	
	STUCCO/GARDEN/METAL PANEL FINISHES	
	SITE NO. SITE ADDRESS	
	004-1284 1516 CANYON DEL REY, SEASIDE, CA 93955	



KEY NOTES:

- | | | | |
|----|---|----|---|
| AL | ALUMINUM BATTEN SYSTEM
MFR: 8+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRILL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, 5B,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH
SIDES AND ALL EDGES.
SUBSTRATE COLOR: RAL 7022 | C2 | ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022 |
| | | C3 | ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS |
| | | C4 | CONTROL JOINT
1-TYPE: 1 = STUCCO |
| AP | ALPOLIC METAL PANEL (COLOR: CNC CHARCOAL) | CM | 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1-COLOR:
C1 = WEATHERED ZINC |
| BM | BREAK METAL PANEL
COLOR: GOLD PANTONE 123C | D | HOLLOW METAL DOOR
PAINT: BENJAMIN MOORE HC-85 FAIRVIEW TAUPE |
| C1 | ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE | | |

- | | |
|-----|--|
| DE | DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com |
| FB | |
| CO2 | CO2 = BULK CO FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18) |
| GR | GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PANT: RAL 7022 |
| L1 | RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD |
| L2 | RADIAL SCENCE LIGHT FIXTURE - SEE ELECTRICAL |
| C1 | COLOR:
C1= WHITE
C2= PLATINUM SILVER |

- LE ACCENT LIGHTING - SEE ELECTRICAL
- L1 - LED LIGHT;
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CUP FURNITURE
L3 = UP ONLY FLOOD FURNITURE
- MF METAL FASCIA
- C1 TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
- COLOR:
C1 = WEATHERED ZINC
C2 = RAL 7022

- | | |
|----|--|
| PB | PIPE BOLLARD - PAINTED YELLOW |
| PT | (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER |
| RC | CONTINUOUS RAIN GUTTER AT PLAYPLACE ROOF
COLOR: WEATHERED ZINC |
| RO | ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING |
| S | MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT |

- | | |
|----|--|
| ST | STUCCO EXTERIOR FINISH - TO BE PAINTED |
| S1 | COLOR DESIGNATION:
S1 = BENJAMIN MOORE HC-85 FAIRVIEW TAUPE
S2 = RAL 7022 |
| UN | METAL UNDERSCORE
COLOR: GOLD |
| W1 | EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE |
| W2 | DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE |
| XX | SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT |

REV	DATE	DESCRIPTION	BY
	03/20/19	ISSUED FOR USE PERMIT REVIEW	RMF
	02/21/19	ISSUED FOR CLIENT REVIEW REVIEW	RMF

Professional of Record

Architectural
Solutions Group

2455 Bennett Valley Rd
Suite A-102
Santa Rosa, CA. 95404

Sea

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PREPARED FOR: **McDonald's USA, LLC**

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PREPARED FOR:

SHEET NO.	TITLE	DRAWN BY
A2.1	McDONALDS #7436	LB/CB
	SEASIDE — CANYON DEL REY	STD ISSUE DATE
	DESCRIPTION	03/20/19
	REBUILD — BR20	REVIEWED BY
	WOOD/GARTER WALLS AND WOOD ROOF FRAMING	RMF
	STUCCO/BALENT/METAL PANEL FINISHES	DATE ISSUED
	SITE ID	03/20/19
	SITE ADDRESS	
	1516 CANYON DEL REY, SEASIDE, CA 93955	
	004-1284	



MATERIAL LEGEND:



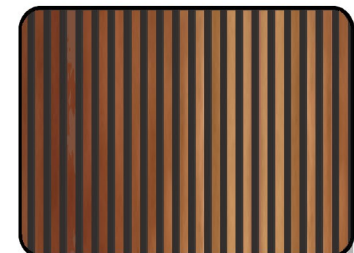
BENJAMIN MOORE
FAIRVIEW TUAPE
HC-85



RAL 7022



GOLD



ALUMINUM BATTEN SYSTEM
SUBSTRATE - RAL 7022



WEATHERED ZINC



WHITE





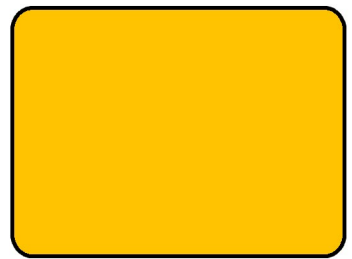
MATERIAL LEGEND:



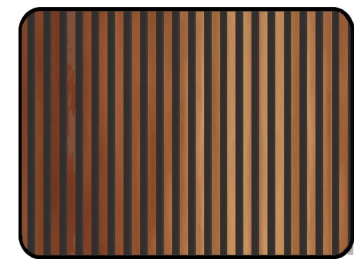
BENJAMIN MOORE
FAIRVIEW TUAPE
HC-85



RAL 7022



GOLD



ALUMINUM BATTEN SYSTEM
SUBSTRATE - RAL 7022



WEATHERED ZINC



WHITE

