



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL
REVIEW

SPECIAL MEETING
Council Chamber
440 Harcourt Avenue
Wednesday, July 10, 2019
4:00 PM

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

BOARD OF ARCHITECTURAL REVIEW

Kathleen Ventimiglia
Bani Khalsa
Mitsugu Mori
Keith Mitchell
LisAnne Sawhney

Chair
Vice Chair
Board Member
Board Member
Board Member

3. FIELD TRIP - 4:00 PM

The Board of Architectural Review will conduct field trips regarding Agenda Item 7A to 1892 Juarez Street, Application No. BAR-19-09 and Agenda Item 7B to 1565 Ord Gove Avenue, Application No. BAR-19-07. (1893 Nadina Street and 1894 Nadina Street will also be part of the field trip for application no. BAR-19-09) The Board of Architectural Review will depart from the parking lot in front of City Hall at 4:00 PM. For information about the field trip call 831-899-6707. The regular meeting will start at 5:30 PM.

4. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

5. PUBLIC COMMENT

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

6. APPROVAL OF MINUTES

A. APPROVAL OF MINUTES FOR JUNE 5, 2019 REGULAR MEETING

7. BUSINESS ITEMS

- A. BOARD OF ARCHITECTURAL REVIEW APPROVAL (FILE No. BAR-19-07) MARC AND JEANETTE DRANCHAK, PROPERTY OWNER, AND ALLEN ROBINSON, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A ROOFTOP DECK ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1892 JUAREZ STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN: 012-015-039). THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.1, EXISTING FACILITIES, FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JUNE 5, 2019 MEETING.**

RECOMMENDATION: In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code, a rooftop deck addition for a single family residential project is subject to design review approval by the Board of Architectural Review.

- B. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-07. CLAY AND LISA MATTHEWS, PROPERTY OWNERS, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 478 SQUARE FOOT ROOF DECK ABOVE A NEW TWO CAR GARAGE ATTACHED TO A ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JUNE 19, 2019 BAR MEETING.**

RECOMMENDATION: In accordance with Section 17.62.030.B.5 of the Seaside Municipal Code, publicly financed projects administered by the City are subject to design review approval.

8. REPORTS FROM BOARD MEMBERS

9. REPORTS FROM STAFF

10. ADJOURNMENT

Next Regularly Scheduled Meeting:
July 17, 2019
Seaside City Hall
5:30 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE

REGULAR MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, June 5, 2019
5:30 PM

1. CALL TO ORDER

Vice Chair Khalsa called the meeting to order at 5:30 PM.

BOARD OF ARCHITECTURAL REVIEW

PRESENT: Khalsa, Mitchell, Sawhney

ABSENT: Mori, Ventimiglia

2. ROLL CALL - ESTABLISHMENT OF QUORUM

3. REVIEW OF AGENDA

There were no changes to the agenda.

4. PUBLIC COMMENT

There were no requests to speak.

5. APPROVAL OF MINUTES

On motion by Board Member Keith Mitchell and seconded by Vice Chair Bani Khalsa and passed by the following vote the Board of Architectural Review approved minutes as presented.

RESULT:	Approved
AYES:	Bani Khalsa, Keith Mitchell
NOES:	None
ABSTAIN:	LisAnne Sawhney

A. APPROVAL OF MINUTES FOR MAY 15, 2019 REGULAR MEETING.

Action: Approved

6. BUSINESS ITEMS

A. APPROVE THE CONSTRUCTION OF TEMPORARY STORAGE FACILITIES AT CITY HALL

On motion by Board Member Keith Mitchell and seconded by Vice Chair Bani Khalsa and passed by the following vote the Board of Architectural Review Approved the Construction of Temporary Storage Facilities at City Hall as presented.

RESULT:	Approved
AYES:	Bani Khalsa, Keith Mitchell
NOES:	LisAnne Sawhney

Board member Sawhney stated in her reason for denial that she did not find the location of the site to be appropriate for temporary storage and that the approval should be conditioned to be allowed for no longer than six months.

B. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-08: MICHAEL AND REBECCA LANCASTER, PROPERTY OWNER, AND SAMUEL PITNICK, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 353 SQUARE-FOOT SECOND STORY ADDITION TO A ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1740 DARWIN STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.1 OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On motion by Board Member Keith Mitchell and seconded by Board Member LisAnne Sawhney and passed by the following vote the Board of Architectural Review continued item for a site visit and meeting for Wednesday, July 17th.

RESULT:	Continued
AYES:	Bani Khalsa, Keith Mitchell, LisAnne Sawhney
NOES:	None

C. BOARD OF ARCHITECTURAL APPLICATION NO. BAR-19-09. MARC DRAMCHAK, PROPERTY OWNER, AND ALLEN ROBINSON, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 506 SQUARE FOOT ROOF DECK ABOVE A NEW TWO-CAR GARAGE ATTACHED TO ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1892 JUAREZ STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-015-018 AND 039). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On motion by Board Member LisAnne Sawhney and seconded by Board Member Keith Mitchell and passed by the following vote the Board of Architectural Review continued item and requested a site visit to take place on Wednesday, July 10th and a discussion of item to be scheduled at the regularly scheduled meeting of Wednesday, July 17th.

RESULT:	Continued
AYES:	Bani Khalsa, Keith Mitchell, LisAnne Sawhney
NOES:	None

D. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-11. PETER LAVIN, PROPERTY OWNER AND CARY STIEBEL, APPLICANT ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE INSTALLATION OF A MURAL ON A WALL OF A COMMERCIAL BUILDING LOCATED AT 1902 FREMONT BOULEVARD. THE PROJECT IS CATEGORICALLY EXEMPT, CLASS 1, SECTION 15301 A (EXISTING FACILITIES) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On motion by Board Member Keith Mitchell and seconded by Board Member LisAnne Sawhney and passed by the following vote the Board of Architectural Review Approved the Installation of a Mural on a Wall of a Commercial Building Located at 1902 Fremont Blvd. as presented.

RESULT:

Approved

AYES:

Bani Khalsa, Keith Mitchell, LisAnne Sawhney

NOES:

None

7. REPORTS FROM BOARD MEMBERS

Board Member LisAnne Sawhney requested workshop on accessory dwelling units, views, and public notification process. Gloria Stearns, Community Development Director, is planning a Seaside Chats on ADU's at the Seaside Creates office located 656 Broadway Avenue. Chair Bani Khalsa requested staff provide updated language/policies to address second story buildings.

8. REPORTS FROM STAFF

None.

9. ADJOURNMENT

On motion, the meeting was adjourned at 7:29 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



CITY OF SEASIDE STAFF REPORT

Item No.: 7.A.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner

DATE: July 10, 2019

SUBJECT: BOARD OF ARCHITECTURAL REVIEW APPROVAL (FILE No. BAR-19-07) MARC AND JEANETTE DRANCHAK, PROPERTY OWNER, AND ALLEN ROBINSON, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A ROOFTOP DECK ADDITION TO AN EXISTING ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1892 JUAREZ STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN: 012-015-039). THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.1, EXISTING FACILITIES, FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JUNE 5, 2019 MEETING.

PURPOSE & RECOMMENDATION

In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code, a rooftop deck addition for a single family residential project is subject to design review approval by the Board of Architectural Review.

BACKGROUND

June 5, 2019 BAR Meeting

The applicant is requesting Design Review approval for the construction of a rooftop deck addition to an existing one-story single family dwelling on property located at 1892 Juarez Street. Location Map is provided as Attachment 2. Site photos are provided as Attachment 3. This application was first reviewed at the June 5, 2019 BAR meeting. At that meeting, two neighboring residents raised concerns about potential view impacts that would be caused as seen from 1893 Nadina Street with addition of the rooftop deck, placement of possible deck furniture, and from the 1.5 foot parapet being added at the front and partial side elevations. In addition to the rooftop deck addition and parapet façade, the project would also include expanding the one-car garage to a two-car garage and constructing a one-story master bedroom addition on the south side of the dwelling. The adjoining neighbors also expressed that the façade remodel and

rooftop deck would result in a boxy shape for the residence that would not be compatible with the surrounding dwellings in the neighborhood. The project plans are provided as Attachment 1 – Exhibit A. The Board acknowledged the neighbors’ concerns and, with a consensus of the Board, decided to continue the meeting to have the property owner stake and flag the rooftop deck and parapet wall and to conduct a field trip of the site prior to the continued meeting to complete a visual assessment of the staking and flagging and surrounding neighborhood. The application was continued to the July 10, 2019. The staking and flagging has been set-up at least 14-days in advance of the July 10th meeting.

Design Review Applicability

In accordance with Section 17.62.030.B.2 of the SMC, the BAR is responsible for the reviewing the following design elements for single family residential projects:

1. All new construction
2. Additions that result in a height of greater than 18 feet;
3. All new second story elements including decks, roof projections, etc.

The BAR applicability of the proposed project pertains to the construction of the open air rooftop deck above the new two-car garage. The rooftop deck and new two car garage will be constructed in conjunction with an overall remodel to the existing one-story dwelling that will consist of the following components:

Expanding the size of the existing garage by 231 square feet to establish a two car garage and area for the rooftop deck above, and

Adding a one-story, 510 square foot master bedroom addition on the south side of the dwelling, and

Constructing a 203 square foot entry porch at the front entry and living/dining room area facing Juarez Street and a 125 square foot porch in front of the master bedroom facing Juarez Street, and

Locating a switchback exterior stairway at the rear of the dwelling to provide access to the rooftop deck from the ground level.

Rooftop Deck Approval Process

Per Footnote (6) of Table 2-3 – Residential Zone Development Standards, the proposed project requires the approval of a Use Permit by the Planning Commission for the exterior stairway and design review approval by the Board of Architectural Review for the rooftop deck.

Use Permits are granted by the Seaside Planning Commission. In accordance with Section 17.62.030.C, a project that requires Planning Commission approval shall obtain that approval prior to final design approval by the BAR. On April 24, 2019, the Planning Commission

conducted a Field Trip and public hearing to review the location of the exterior stairway and acted to approve the exterior stairway at the conclusion of the public hearing. Written correspondence that was received from the property owner at 1893 Nadina Street regarding the Planning Commission meeting dated April 25, 2019 is provided as Attachment 5. The Planning Commission staff report from April 24, 2019 can be accessed from the following Web Link: <https://seasideca.civicclerk.com/Web/UserControls/DocPreview.aspx?p=1&aoid=1585> (Item 8B).

The BAR opened its review of the proposed roof deck addition on June 5, 2019. Written correspondence that has been received from the public regarding the initial meeting and in response to the second public hearing notice for the July 10, 2019 meeting is provided as Attachment 6. The BAR staff report from the June 5, 2019 staff report can be accessed from the following Web Link:

SITE LOCATION AND DESCRIPTION

The subject property is situated on the east side of Juarez Street, between La Salle Avenue to the North and San Pablo Avenue to the South. The property is approximately 4,687 square feet in area and is currently developed with a 1,074 square foot one-story, single-family residence with an attached one car garage. Surrounding land uses consist of one-story single-family dwellings. A Location Map is provided as Attachment 2. An Aerial View is provided as Attachment 4.

PROJECT DESCRIPTION

Existing Conditions

The existing dwelling consists of three bedrooms, a living room area, a combined kitchen/dining room area, and 1 ½ baths. The roof over the living area on the north side of the dwelling consists of a 12/3 gable with a peak of approximately 14 feet running east-west. The roof over the existing one-car garage is a 12/3 gable with a peak of 12.5 feet running north-south. The garage roof is tied into the house roof via a California roof valley connection. A covered 316 square foot aluminum patio with a flat roof at a height of 10 feet is located behind the garage. Access to the covered patio from inside the dwelling occurs through a man door at the rear of the 225 square foot one-car garage and from a man door at the rear yard behind the covered patio.

Proposed Addition

The project consists of a lot merger (50'x75' and 25'x75'), remodeling the interior kitchen, additions to existing house that include a 231 SF expansion of the garage, a master bedroom and suite, and a 473 square foot roof deck over expanded garage. The exterior stairway will be placed on the rear elevation behind the existing garage. Access to the new garage would be provided from the existing drive approach which would be widened to accommodate the expanded two-car garage. The proposed remodel will also include modifying the roof at the front of the existing dwelling to provide a flat parapet design on front half with the existing gable 3/12 roof remaining on the rear half. With the added square footage from the master bedroom suite, the residence would have 1,600 square feet of living area.

Roofdeck

The proposed rooftop deck is located on the front south side of the house and has a proposed top rail height of 2.5 feet which will be one-foot above the highest roofline (approximately 15 feet from the ground). The finished floor of the deck will be four feet below the top rail. Project plans are provided as Exhibit A to Attachment 1. The roof plan will consist of a flat duralast 40 mil cap 1/8 pitch over the front half of the living area and a 3/12 gable pitch over the rear half of the living area on the north side; a 3/12 gable roof over the new master bedroom suite on the south side; and flat roof deck over the new garage.

Rooftop decks would be classified as an accessory use to a single family dwelling. An accessory use is any use/or structure that is customarily a part of, and clearly incidental and secondary to a residential use; and does not change the character of the residential use. The discretionary process associated with rooftop decks is a use permit for an exterior stairway to access the rooftop deck and a design review permit for the architectural compatibility of the rooftop deck with the dwelling.

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301(e)(1): Class 1 consists of additions to existing structures involving negligible or no expansion of use.

Evidence: The proposed roof deck would consist of an accessory use to the single family that would not have any impact on the environment or materially affect the use and/or mass of the dwelling.

STAFF ANALYSIS

FINDING No. 1

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code

The proposed additions will comply with all standards of development associated with the RS-8 zoning district as follows:

Evidence: The applicant has incorporated design features and architectural styles of the existing structure such as wood railing, plaster siding, panel garage door with transom windows to have a contextual relationship with the existing neighborhood. As a result of the grade for the garage located slightly above the street, the view of persons on the roof deck would be minimized from both the pedestrian viewpoint and vehicles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood.

Setbacks

Front – 15 feet required - 20 feet proposed

Side - 5 feet required - Rooftop deck will be 30 feet from north side and 22 feet from south side.

Rear – 15 feet required – 31 feet proposed

Floor Area Ratio

45% allowed – 22.7% proposed

Lot Coverage

65% allowed – 45.3% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage proposed to eliminate non-conforming one-car garage.

Height

24 feet Maximum allowed – The roof line on the dwelling will measure 15 feet with the roof deck measuring 13 feet to the parapet and 15 feet to the top rail.

FINDING No. 2

The proposed roof deck is consistent with the General Plan.

General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Single Family Low Density Residential. Roof decks consist of an accessory use that would be allowed in a single family dwelling with design review approval. With an exterior stairway, the design review approval is subsequent to the granting of a use permit. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use and Urban Design Goals and Policies: The General Plan provides the following guidelines with respect to Streetscapes/View sheds and land use compatibility:

Goal LU-3: Revitalize existing residential areas

Policy LU-3-2: Improve the physical appearance of residential neighborhoods

Implementation Plan LU-3.2.5 Design Guidelines for Residential

Development: Adopt and implement Design Guidelines for residential development

Goal LU-4: Ensure that new development complements existing land uses and enhances the character of the community and its neighborhoods

Policy LU-4.1: Require that all new development uses quality design and material; and is compatible with surrounding uses, the site, and available infrastructure.

Implementation Plan LU-4.1.1 Land Use Compatibility Checklist:

1. The proposed use is compatible with surrounding development in terms of noise, safety, and other environmental and quality of life concerns.
2. The project respects, enhances, and complements surrounding development in terms of size, scale, design, architectural features, and access to light and views.
3. The proposed use complements the surrounding uses.
4. The project design enhances and complements the surrounding building and uses.
5. The project design and proposed use minimizes impacts to natural resources such as cultural and biological resources, natural landforms, and views.
6. The project will be able to either provide or fund its share of community services and facilities so that they are not negatively impacted by the development.
7. The project will allow the efficient use of the existing infrastructure system, or will require only the minor improvement or expansion of utilities.
8. The project includes water and energy conservation features in its design and landscaping.

Goal UD-2 Create and preserve distinct neighborhoods and business districts.

Policy UD-2.1: Protect the character of single-family neighborhoods by restricting out-of-scale buildings, incompatible uses and designs, blocked views and/or access to sunlight, and excessive through traffic.

Implementation Plan UD-2.1.1 Design Standards in Zoning Ordinance. Adopt design standards in the Seaside Zoning Ordinance to establish the scale of buildings, guidelines for quality design in new construction, building additions, and redevelopment, procedures to protect existing private views and access to sunlight as much as possible while at the same time allowing others the opportunity to enjoy the magnificent views from Seaside.

Goal UD-3: Provide and maintain a streetscape system that protects visual quality and continuity within the community.

Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.

Implementation Plan UD-3.1.1: View Protection and the BAR. Continue to require all additions that increase building heights and new developments to stake and flag development at least ten days prior to consideration by the BAR for design approval. When feasible, require project site redesign, modified landscaping, or reduced building heights to avoid obstruction of private views.

Evidence: The project proposal is compatible with the overall design and scale of surrounding residential land uses. The placement of an exterior stairway on the east side elevation of a two-car garage leading to the roof deck above garage will not detract from the character of the

neighborhood in that roof deck would be screened from public view on Juarez Street and the adjoining residential property on the south side by a horizontal rail and would have a solid parapet screening the deck area from the adjoining residential properties to the east. The staircase facing the adjoining single family dwelling to the east would be screened with a horizontal rail. Furthermore, the modifications to the existing roof line and the addition of the master bedroom on the first floor of the south side of the main dwelling will serve to blend the mass and height of the new garage/roof deck into existing dwelling and minimize the appearance of a unbalanced pop-up appearance over one side of the dwelling.

Single-Family Residential Design Guidelines

The proposed rooftop deck and addition of the garage and front porch will provide breaks in the roofline to provide interest and break-up of the massing. The following Single-Family Residential Design Guidelines support this proposed modification (See Attachment 7):

“Architectural elements should be designed to eliminate the appearance of box-like buildings,” (II.A.iii.) and, “Avoid box-like appearance through variation in the roofline and building elevations” (III.C.iv.)

The visual impact of the proposed rooftop deck is relevant to design review based on the following Single-Family Residential Design Guidelines: “Secondary Story or Roof Decks should use appropriate screening measures to reduce privacy invasion (i.e., solid railing walls, latticework and landscaping)” (II.B.ii.c)

Evidence: The neighborhood has a variety of architectural styles and colors, with ranch and mid-century modern as the predominant architectural styles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood and provide a cohesive modern architectural appearance.

FINDING No. 3

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: The proposed exterior stairway and rooftop deck have been designed to be screened from the public view and adjoining properties with a three-foot tall parapet wall. The height and scale of the rooftop deck will be compatible with the modern architectural style of the proposed remodel to the existing dwelling and the predominant one-story character of the surrounding residential neighborhood.

FINDING No. 4

The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The site is an existing residence in the RS-8 zoning district. Access to the roof deck

will be provided by an exterior stairway at the rear of the site within the required 15-foot rear setback. Extension of public utilities is not required for the proposed project. The completion of the roof deck and exterior stairway will not alter the location of existing utilities or access to the roof deck from the ground level. The roof deck would sit above a proposed two-car garage that would comply with required front, side and rear yard setbacks and would be below a height of 18 feet.

FINDING No. 5

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

Evidence: The City of Seaside's Fire Department, Building Department and Public Works Department have reviewed the conceptual project proposal. The Fire Department, Building Department and Public Works Department had no comments regarding the proposed addition.

ATTACHMENTS

1. Attachment 1- Conditions of Approval
 2. Attachment 1 - Exhibit A Project Plans
 3. Attachment 2- Location Map
 4. Attachment 3 - Site Photos
 5. Attachment 4 - Aerial Photos
 6. Attachment 5 - 1893 Nadina Correspondence April 25, 2019
 7. Attachment 6 - Written Correspondence
 8. Attachment 7 - FINAL REVISED SFR DESIGN GUIDELINES
-

Conditions of Approval
File No. BAR-19-09
July 10, 2019

Standard:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “Dranchak Residence 1892 Juarez Street” approved on June 5, 2019. The project plans are provided as Exhibit A.
2. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
3. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.64.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
4. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.64.090.C.
5. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
6. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

7. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
8. All storm water runoff shall be contained and disposed of on site and the storm water retention system shall be reviewed and approved by the Public Works Department.
9. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
10. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
11. Water conservation fixtures shall be provided in the proposed project.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-09

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant's Signature

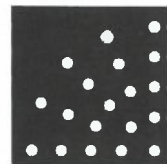
Date

Property Owner's Signature

Date

Dranchak Remodel & Additions

1892 Juarez Street, Seaside, CA 93955



THE SIENNA COMPANY, INC.

Project Development Consulting
Architecture
Planning
Construction Management

406 Calle Principal
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Consultants:

Project:

Dranchak Remodel & Additions

Project Address:

1892 Juarez Street
Seaside, CA 93955
APN 012-015-018 & 039

Project No: 1804.001
Issue Date: 15 March 2019

RECEIVED BY
CITY OF SEASIDE

MAR 21 2019

COMMUNITY
DEVELOPMENT

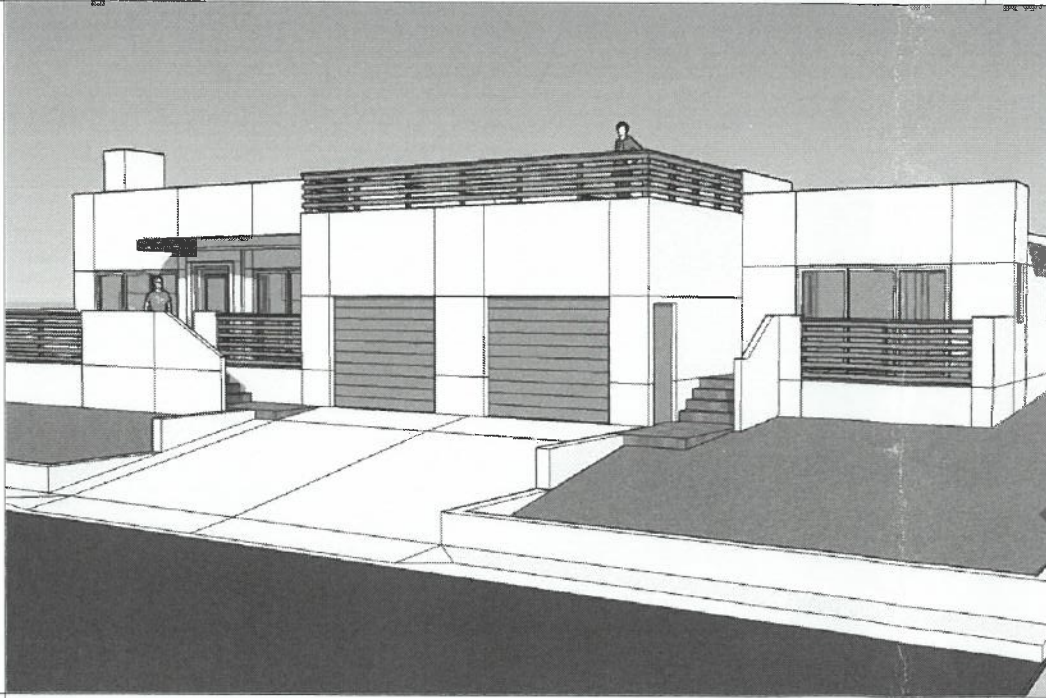
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Title Sheet, Project Data

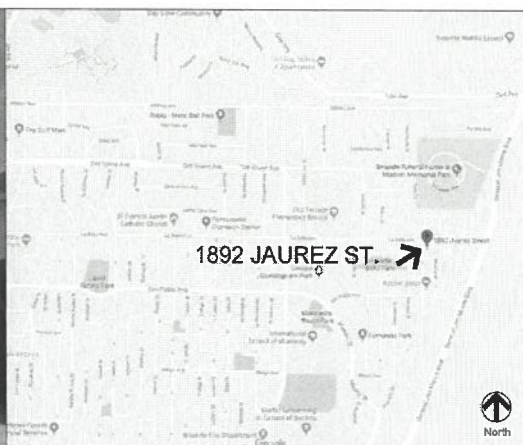
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View of Existing Conditions from Juarez Street 09



Proposed View 09



Project Location (Not to Scale) 07

ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES, INCLUDING, BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE FOLLOWING:

- 2016 CALIFORNIA ADMINISTRATIVE CODE
- 2016 CALIFORNIA BUILDING CODE (CBC) - VOL. 1
- 2016 CALIFORNIA BUILDING CODE (CBC) - VOL. 2
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN BUILDING CODE
- 2016 CALIFORNIA REFERENCED STANDARD CODE
- LOCAL AMENDMENTS - CITY OF SEASIDE MUNICIPAL CODE

Applicable Codes 06

PROJECT DATA

PROJECT DESCRIPTION: PROJECT CONSISTS OF A LOT LINE MERGER, REMODELING OF KITCHEN AND INTERIOR OF EXISTING HOUSE, ADDITIONS TO EXISTING HOUSE INCLUDING ADDITION OF ONE PARKING SPACE TO THE EXISTING GARAGE, MASTER BEDROOM AND ENSUITE BATHROOM, AND ROOF DECK OVER EXPANDED GARAGE WITH EXTERIOR STAIR TO ROOF DECK

PROJECT ADDRESS: 1892 JUAREZ STREET
SEASIDE, CA 93955

PROPERTY OWNER: MARC L. DRANCHAK
1505 S. SINOVA
MEZA, AZ, 85208-5512
TEL: (602) 884-5304
EMAIL: DASHARK77@YAHOO.COM

ARCHITECT/APPLICANT: ALLEN ROBINSON
THE SIENNA COMPANY, INC.
406 CALLE PRINCIPAL
MONTEREY, CA 93940
TEL: (831) 625-8143
EMAIL: arobinson@thesiennacompany.com

APN: 012-015-018 & 039

ZONING: R-1

OCCUPANCY GROUP: R-3/U

TYPE OF CONSTRUCTION: V-B, NON-SPRINKLERED

LOT AREA: 75' X 75' = 5,625 SF

FLOOR AREA RATIO (F.A.R.): PERMITTED (45%): .45 X 5,625 SF = 2,531 SF

F.A.R. PROVIDED: (E) HOUSE: 1074 SF
(E) GARAGE: 225 SF
(E) COVERED PATIO: 316 SF
COVERED PATIO DEMOLITION: (316 SF)
(N) HOUSE ADDITION: 510 SF
(N) GARAGE ADDITION: 231 SF
MINUS GARAGE ALLOWANCE: (440 SF)
TOTAL PROPOSED: 1600 SF

SITE COVERAGE: PERMITTED (85%): .65 X 5,625 SF = 3,656 SF

MAIN STRUCTURE: SETBACKS: REQUIRED:
FRONT: 15' MIN.
SIDE: 5' MIN.
REAR: 15' MIN.

BUILDING HEIGHT: HOUSE: 25' MAX. ALLOWED

NUMBER OF STORIES: 1 STORY (EXISTING & PROPOSED)

PARKING SPACES: REQUIRED: 2 SPACES
PROVIDED: 2 COVERED SPACES

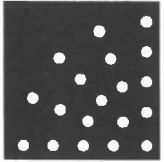
GRADING: NONE - SLOPES WITHIN BUILDING SITE >2%

TREES TO BE REMOVED: NONE

Project Data 02

- A100 TITLE SHEET, PROJECT DATA
- A101 EXISTING SITE PLAN & EXISTING FLOOR PLAN
- A102 PROPOSED SITE PLAN AND NEW FLOOR PLAN
- A103 PROPOSED ROOF PLAN
- A201 BUILDING ELEVATIONS
- A202 BUILDING ELEVATIONS
- A203 3-D REPRESENTATIONS OF PROPOSED PROJECT

Index to Drawings 01



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1892 Juarez Street
Seaside, CA 93955
APN 012-015-018 & 039

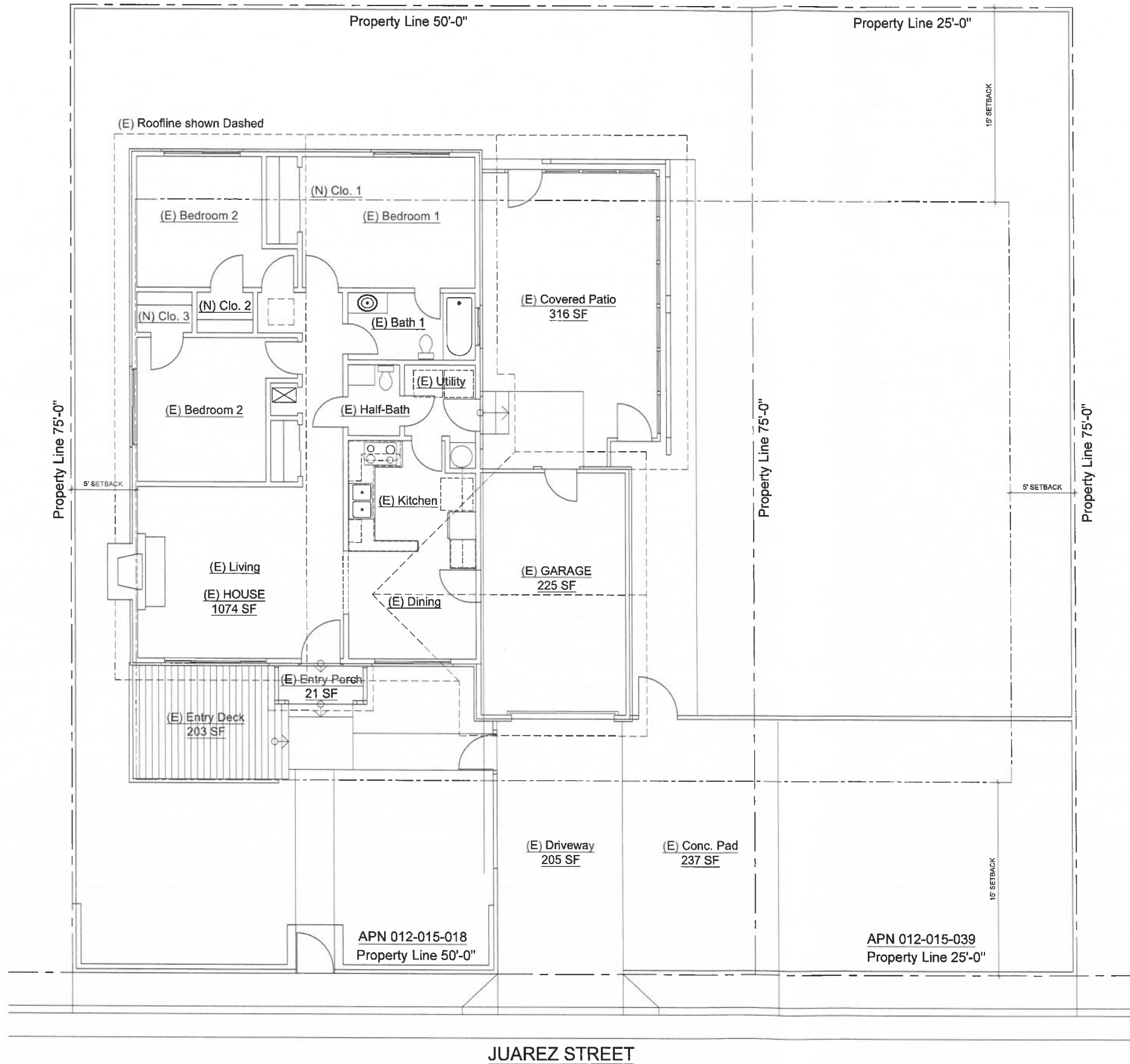
Project No: 1804.001
Issue Date: 15 March 2019
Revisions:

Sheet Title:

Existing Site Plan &
Existing Floor Plan

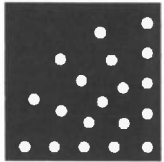
A101

Packet Page 18



Existing Floor Plan 1/4"=1'-0"

05



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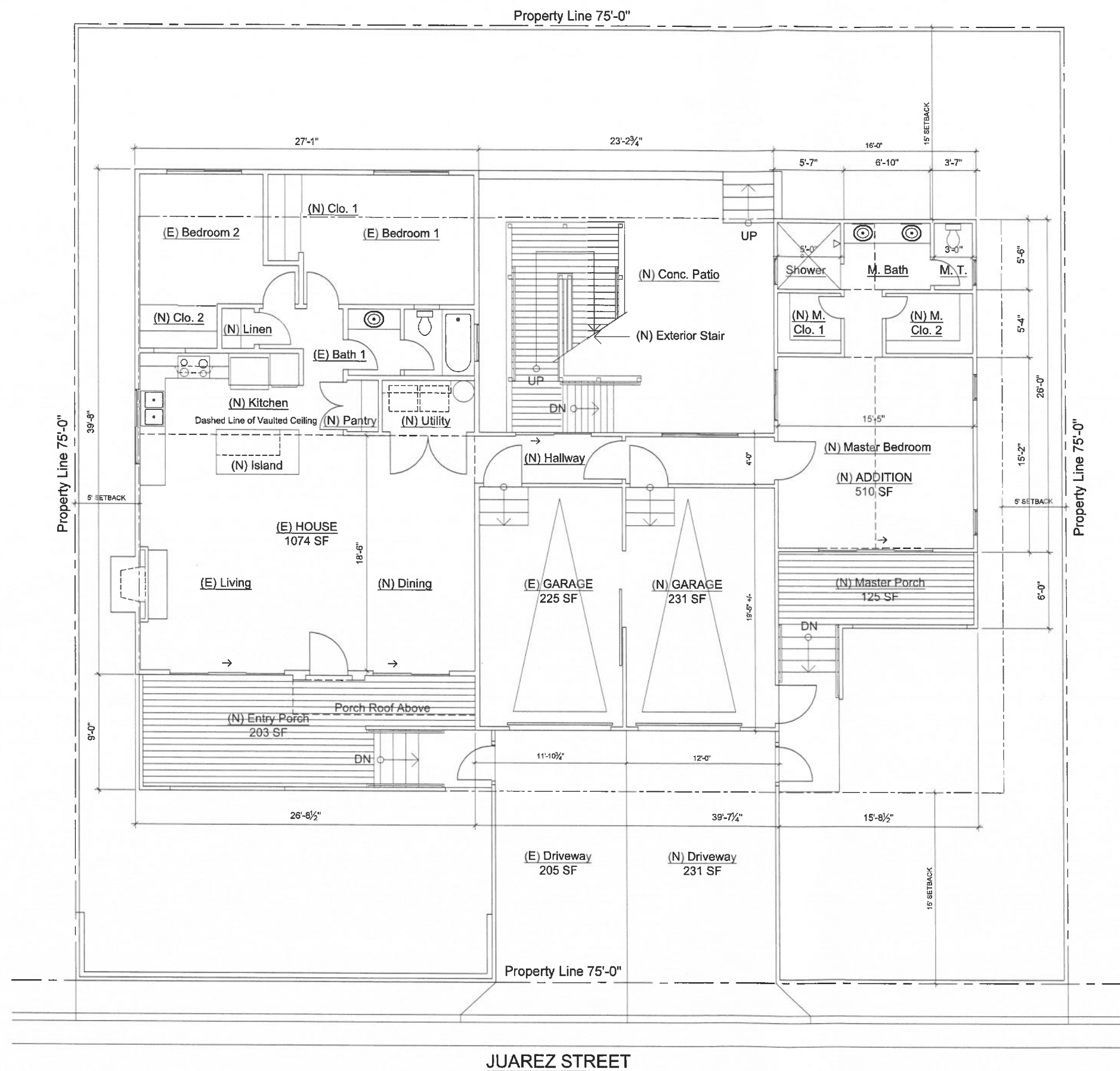
Project No: 1804.001
Issue Date: 15 March 2019
Revisions:

Sheet Title:

Proposed Site Plan &
New Floor Plan

A102

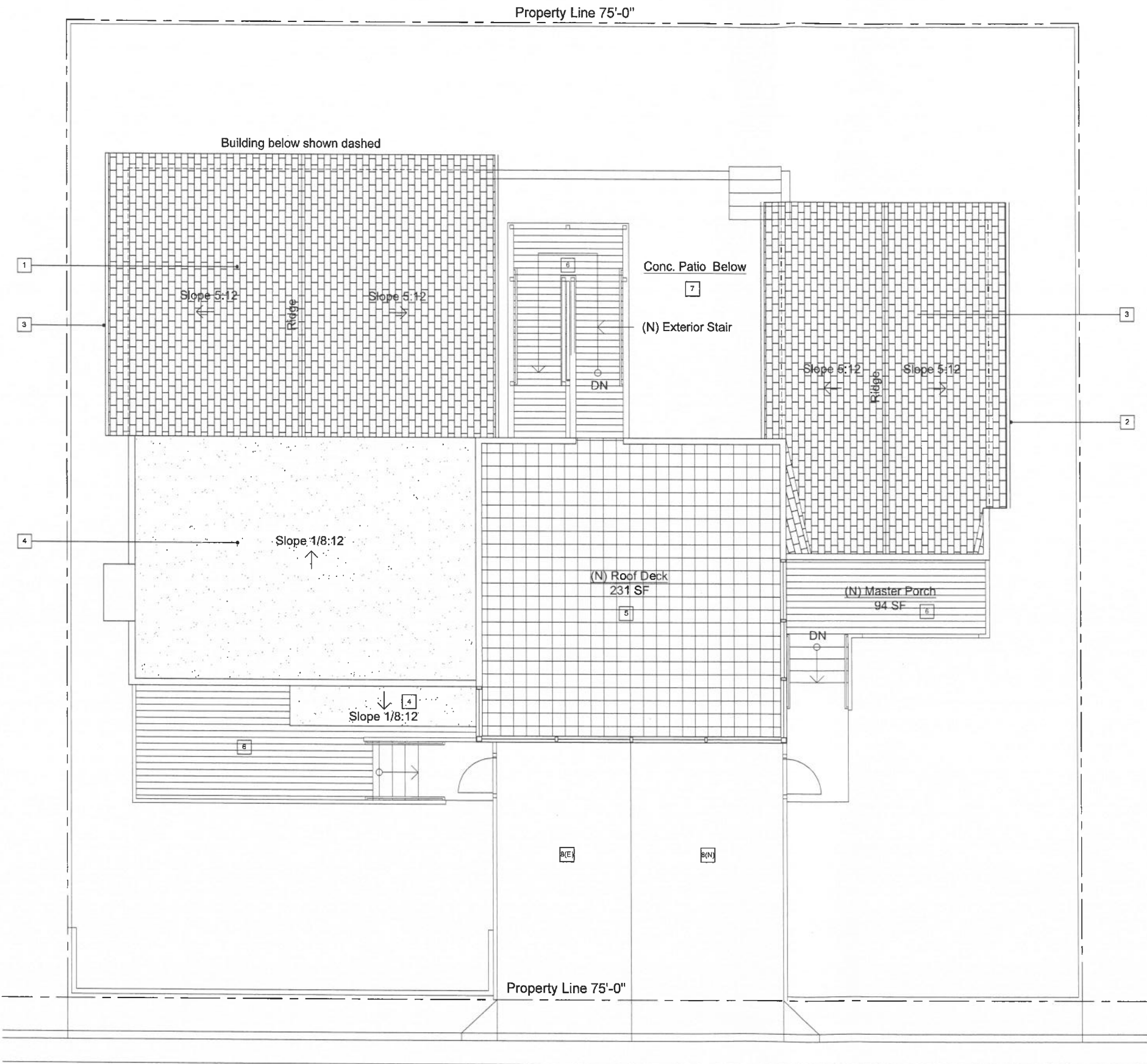
Packet Page 19



New Floor Plan 1/4"=1'-0"



05



ROOF MATERIALS SCHEDULE

- 1 EXISTING ROOF - CLASS "A" ASPHALT COMPOSITION SINGLES
- 2 NEW ROOF AREA - NEW CLASS "A" ASPHALT COMPOSITION SHINGLES TO MATCH EXISTING OVER 30 # ROOFING FELT
- 3 (N) RAIN GUTTERS, (N) DOWNSPOUTS SHOWN AS CIRCLES, (E) DOWNSPOUTS NOT SHOWN - ALL DOWNSPOUTS DAYLIGHT ONTO HARD SURFACES
- 4 40 MIL CAP SHEET BY "DURALAST"
- 5 "EXCEL-COAT" FIRE-RATED, PEDESTRIAN TRAFFIC COATING
- 6 2X8 DECKING, FIRE-RETARDANT DECK SURFACE BY "TREX - SELECT"
- 7 BROOM-FINISHED CONCRETE PATIO & STAIRS
- 8 (E) CONCRETE DRIVEWAY & (N) CONCRETE DRIVEWAY TO MATCH

NOTES:

1. FOR VIEW OF EXISTING ROOF PLAN, SEE A101. ROOF PLAN SHOWN DASHED OVER EXISTING FLOOR PLAN. ALSO SEE EXISTING AND PROPOSED BUILDING ELEVATIONS FOR FURTHER CLARITY REGARDING EXISTING ROOF.



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Project No: 1804.001

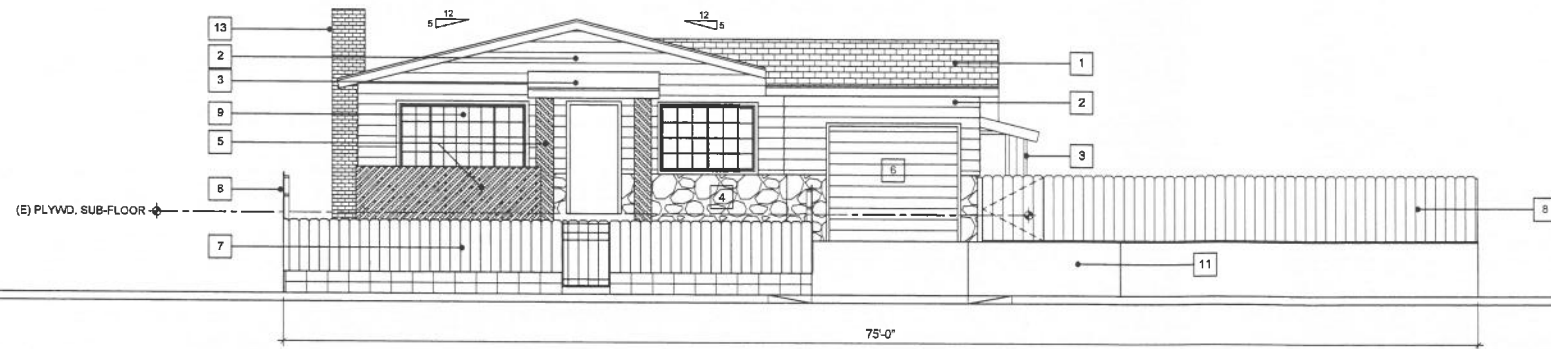
Issue Date: 15 March 2019

Revisions:

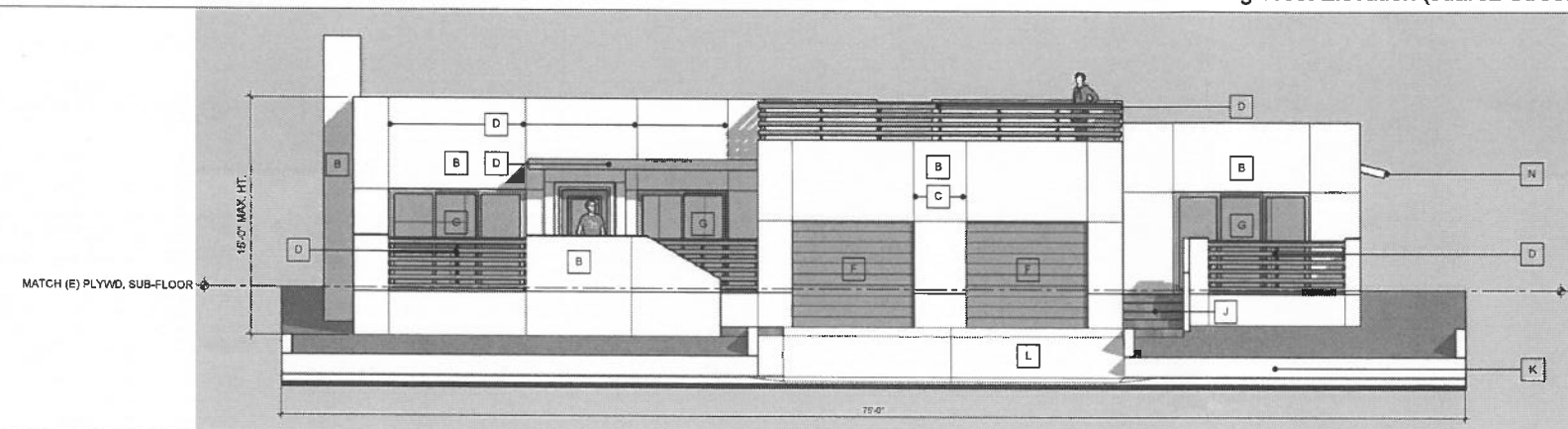
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Proposed Roof Plan

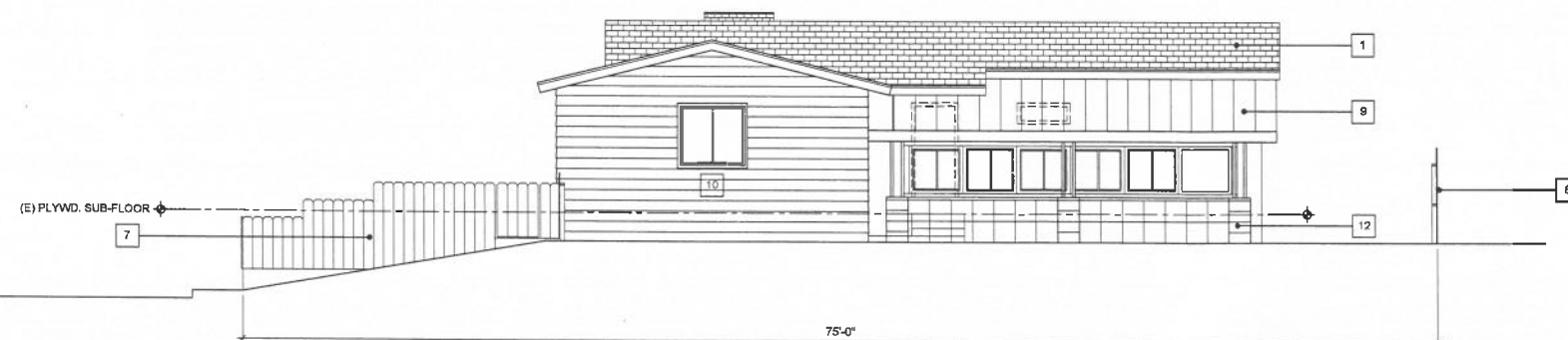




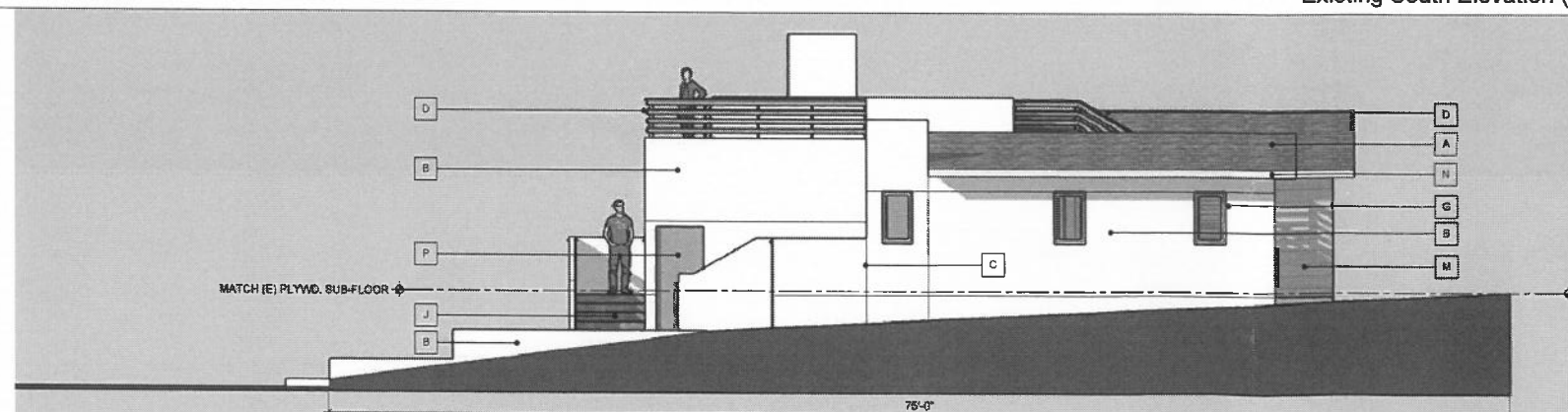
Existing West Elevation (Juarez Street Elevation) 3/16"=1'-0" 08



New West Elevation (Juarez Street Elevation) 3/16"=1'-0" 07



Existing South Elevation (Side Elevation) 3/16"=1'-0" 06



New South Elevation (Side Elevation) 3/16"=1'-0" 05

EXISTING BUILDING MATERIALS LEGEND

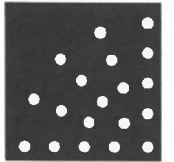
- 1 EXISTING ROOF - CLASS "A" ASPHALT COMPOSITION SINGLES
- 2 1X8 VINYL SIDING OVER (E) STUC CO - TO BE REMOVED AND STUCCO REPAIRED
- 3 ALUMINUM FRAMED, DIVIDED LITE WINDOWS TO BE REMOVED
- 4 LAVA ROCK VENEER OVER STUCCO - TO BE REMOVED AND STUCCO REPAIRED
- 5 TRELLIS OVER 4X4 POSTS @ FRONT ENTRANCE PORCH AND DECK - TO BE REMOVED
- 6 ROLL-UP GARAGE DOOR TO BE REPLACED
- 7 CMU GARDEN WALL W/ 1X8 BOARD FENCE ABOVE - TO REMAIN
- 8 6' HIGH, 1X8 BOARD WOOD FENCE TO BE REPLACED OR REMOVED
- 9 ALUMINUM AWNING STRUCTURE AND ALUMINUM WINDOWS - TO BE REMOVED
- 10 1X8 VINYL SIDING AND ALUMINUM FRAME WINDOW @ (E) GARAGE - TO BE REMOVED
- 11 CONCRETE PARKING PAD - TO BE REMOVED
- 12 CMU DECORATIVE WALL - TO BE REMOVED
- 13 BRICK CHIMNEY TO REMAIN

Existing Building Materials Legend 03

PROPOSED BUILDING MATERIALS LEGEND

- A NEW CLASS "A" ASPHALT COMPOSITION SINGLES - TO MATCH EXISTING
- B NEW AND REPAIRED EXTERIOR STUCCO WALLS & PARAPETS - PAINTED, WARM WHITE. VERIFY COLOR WITH SAMPLE TO BE PAINTED ON WALL, ON SITE.
- C STUCCO CONTROL JOINTS - TYPICAL
- D 2X4 NON-PERFORATED, PRESSURE TREATED, NO. 1 GR. GUARD RAIL & BALUSTERS
- E NEW DECORATIVE ENTRY DOOR
- F NEW SECTIONAL OVERHEAD ROLLING DOORS - COMPOSITE WOOD FINISH PANELS
- G NEW VINYL-CLAD WOOD WINDOWS & SLIDING GLASS DOORS BY "ANDERSEN" - COLOR: WHITE
- H PAINTED ENGINEERED WOOD FASCIA, BACK-PRIMED
- J 2X6 DECKING @ STAIRS, FIRE-RETARDANT DECK SURFACE BY "TREX - SELECT"
- K NEW CMU GARDEN WALL TO MATCH EXISTING
- L NEW CONCRETE DRIVEWAY TO MATCH EXISTING W/ EXPANDED APRON
- M EXISTING SIMULATED 1X8 BEVELED WOOD SIDING IN VINYL TO REMAIN
- N NEW RAIN GUTTERS OVER 2X6 ENGINEERED WOOD FASCIA, BACK-PRIMED - PAINTED TO MATCH EXTERIOR WALL COLOR, DOWNSPOUT TO BE DETERMINED.
- P "PERSON DOOR" TO GARAGE - FLUSH PANEL, COMPOSITE WOOD DOOR, NATURAL FINISH

New Building Materials Legend 01



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Project:

**Dranchak
Remodel &
Additions**

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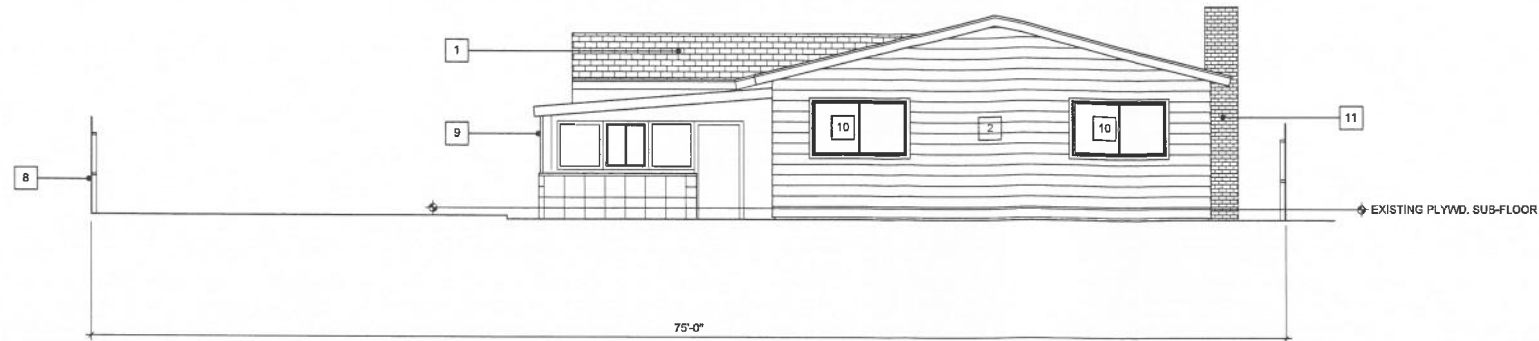
1892 Juarez Street
Seaside, CA 93955
APN 012-015-018 & 039

Project No: 1804.001
Issue Date: 15 March 2019
Revisions:

Sheet Title:

Building Elevations

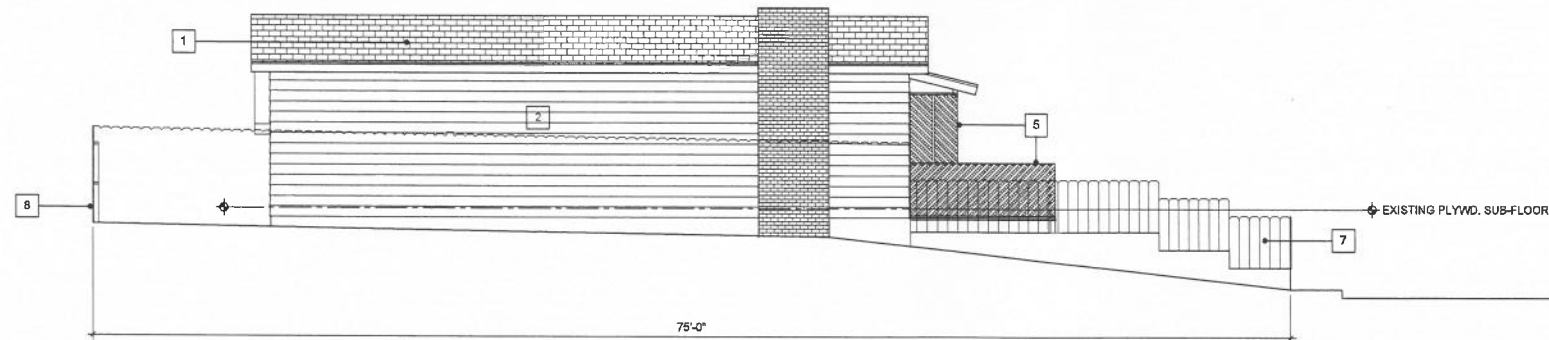
A201



Existing East Elevation (Rear Elevation) 3/16"=1'-0" 08



New East Elevation (Rear Elevation) 3/16"=1'-0" 07



Existing North Elevation (Side Elevation) 3/16"=1'-0" 06



New North Elevation (Side Elevation) 3/16"=1'-0" 05

EXISTING BUILDING MATERIALS LEGEND

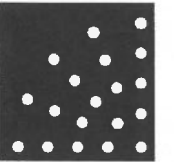
- 1 EXISTING ROOF - CLASS "A" ASPHALT COMPOSITION SINGLES
- 2 1X8 VINYL SIDING OVER (E) STUCCO - TO REMAIN
- 3 ALUMINUM FRAMED, DIVIDED LITE WINDOWS TO BE REMOVED
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- 9 ALUMINUM AWNING STRUCTURE AND ALUMINUM WINDOWS - TO BE REMOVED
- 10 ALUMINUM FRAME WINDOWS TO REMAIN
- 11 BRICK CHIMNEY TO REMAIN

Existing Building Materials Legend 03

PROPOSED BUILDING MATERIALS LEGEND

- A NEW CLASS "A" ASPHALT COMPOSITION SINGLES - TO MATCH EXISTING
- B NEW AND REPAIRED EXTERIOR STUCCO WALLS & PARAPETS - PAINTED, WARM WHITE. VERIFY COLOR WITH SAMPLE TO BE PAINTED ON WALL, ON SITE.
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- K NEW CMU GARDEN WALL TO MATCH EXISTING
- L NEW CONCRETE DRIVEWAY TO MATCH EXISTING W/ EXPANDED APRON
- M EXISTING SIMULATED 1X8 BEVELED WOOD SIDING IN VINYL TO REMAIN
- N NEW RAIN GUTTERS OVER 2X8 ENGINEERED WOOD FASCIA, BACKPRIMED - PAINTED TO MATCH EXTERIOR WALL COLOR, DOWNSPOUT TO BE DETERMINED.
- P "PERSON DOOR" TO GARAGE - FLUSH PANEL, COMPOSITE WOOD DOOR, NATURAL FINISH

New Building Materials Legend 01



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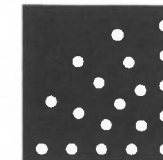
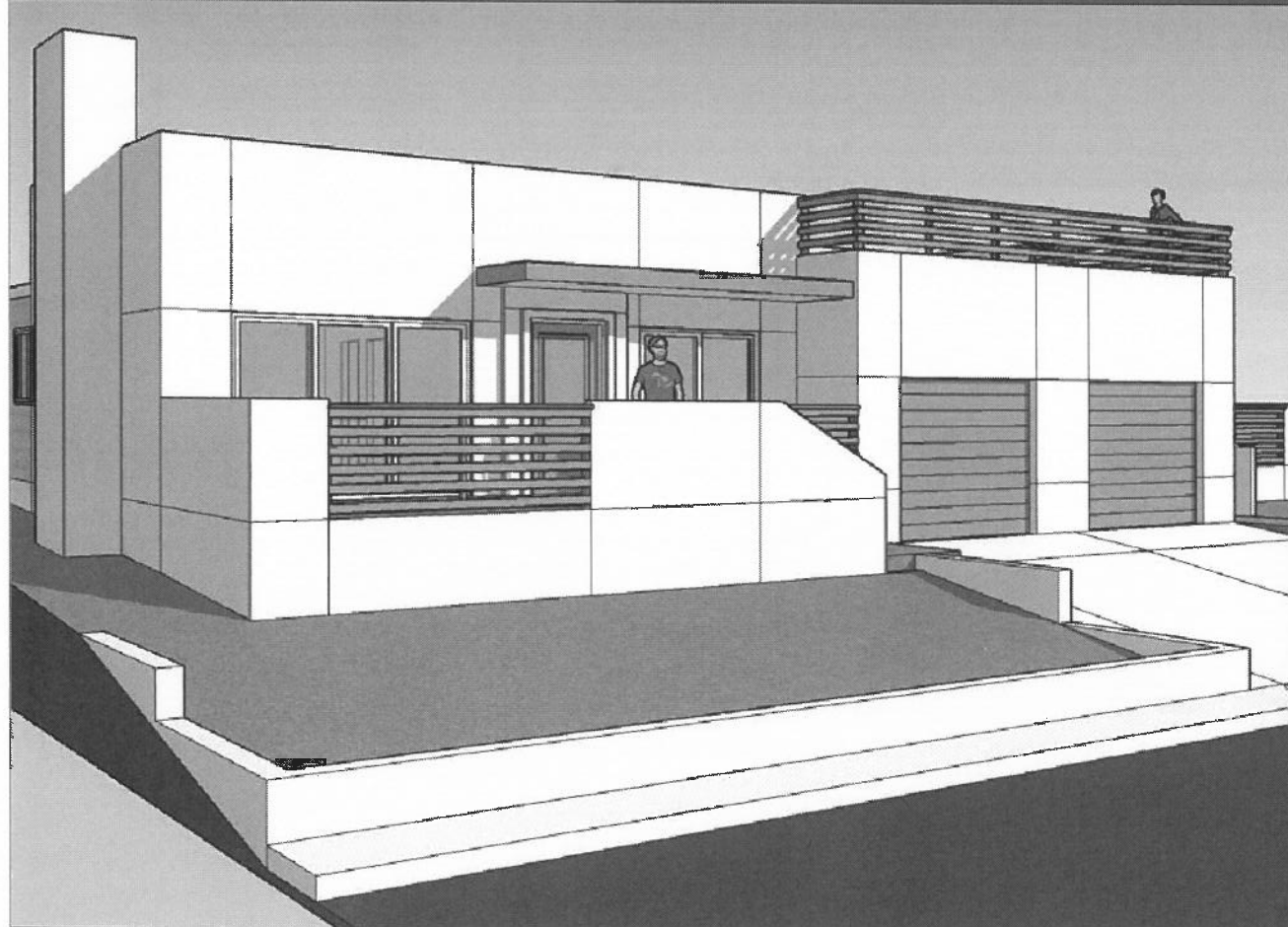
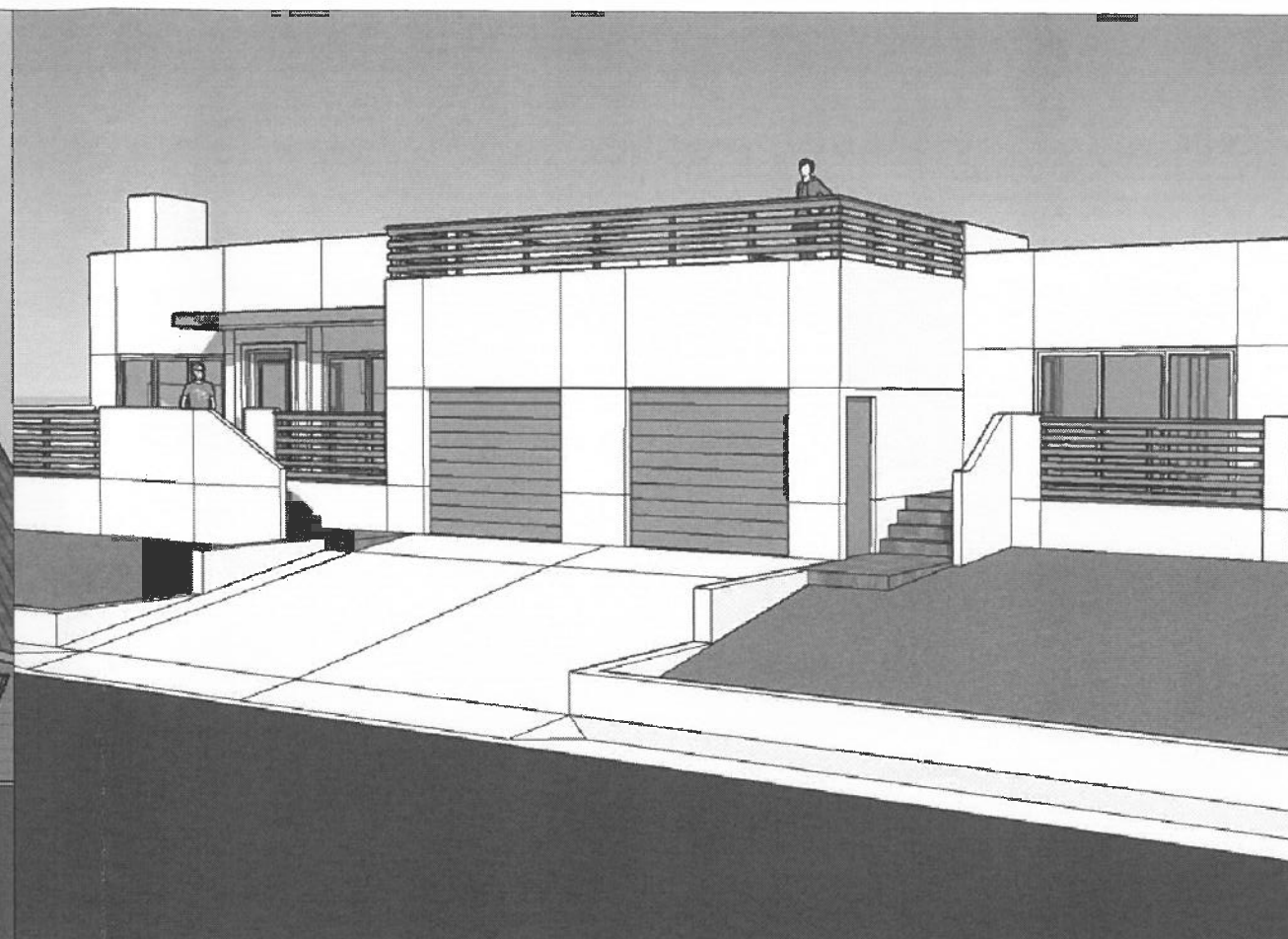
1892 Juarez Street
Seaside, CA 93955
APN 012-015-018 & 039

Project No: 1804.001
Issue Date: 15 March 2019
Revisions:

Sheet Title:

Building Elevations

A202



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APN 012-015-018 & 039

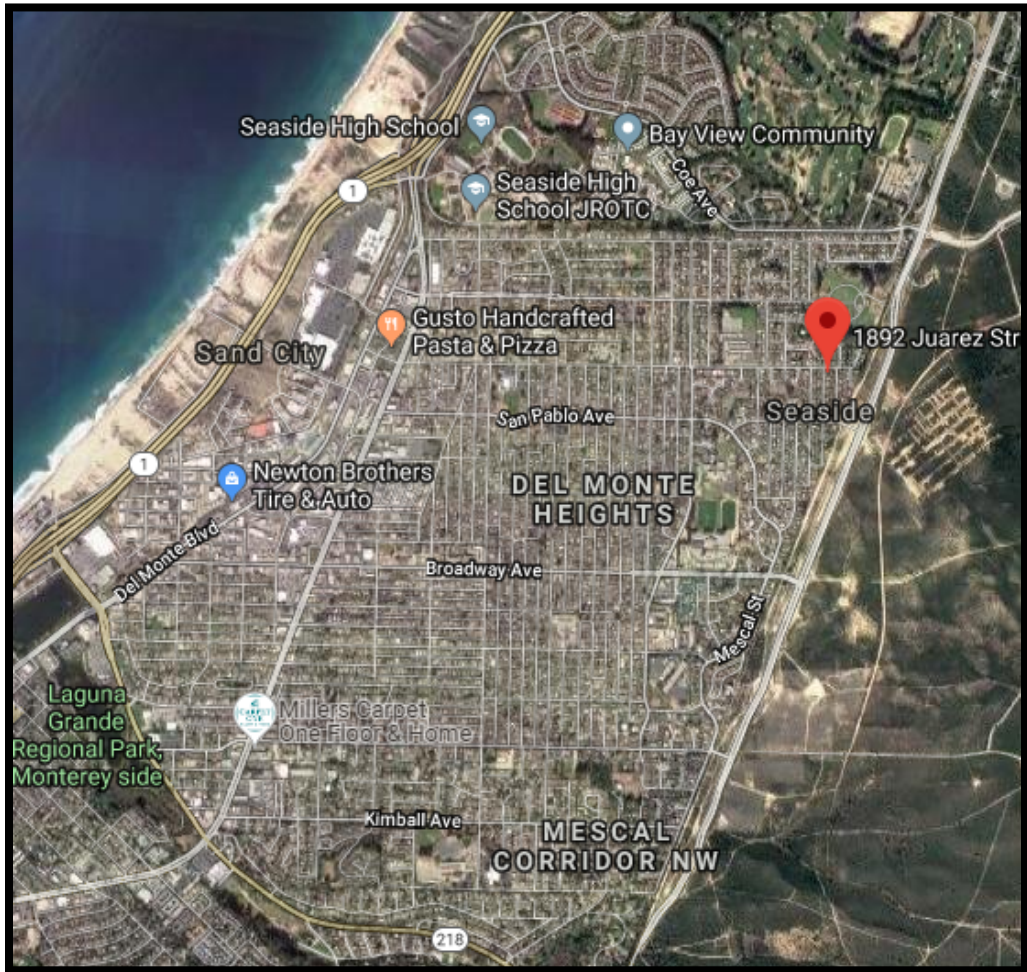
Project No: 1804.001
Issue Date: 15 March 2019
Revisions:

Sheet Title:

3-D Representations
of Proposed Project

A203

1892 Juarez St.



Photos presented prior to Staking and Flagging



Stree view of 1892 Juarez St



Side yard view of 1892 Juarez, with 1893 Nadina rear windows shown



Rear yard windows of 1893 Nadina, as taken from 1892 Juarez



Rear yard windows of 1893 Nadina, as taken from south side yard of 1892 Juarez

Photos Showing Staking and Flagging from Juarez Street



View of front façade from Juarez Street



View from Juarez Street looking north



View from Juarez Street looking south



Red square outlines the approximate location of the roof deck

Attachment 5

Correspondence from Property Owner at 1893 Nadina Street

April 25, 2019

From: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
To: <LMilton@Cl.seaside.ca.us>
Date: 4/25/2019 9:44 PM
Subject: RESEND of email with correct attachment! Sorry!
Attachments: Family Room Window View.jpg

Linda Gabrielson (owner)
1893 Nadina St
Seaside, CA 93955

April 25, 2019

Dear City Clerk, Lesley Milton,
Thank you for your help on the phone this morning regarding how to proceed in my protest and concerns of the construction of the deck & stairway on property 1892 Juarez St., Seaside, CA 93955 ("Item No.:8.B.")

I did subsequently call Rick Medina, Sr. Planner on the project, who further informed me to email you the issues I have with this project, and to request that you forward my email in a "blanket email" to all the parties involved in the Planning Commission, as well as the Board of Architectural Review, so that my comments will be in their files and on record in time for the next BAR meeting. Thank you in advance for accommodating this task.

I want to clearly communicate to all the parties involved, that I am deeply upset and have serious issues with the proposed over-the-garage deck and stairwell for the property on 1892 Juarez St. This property sets directly below and to the west of our property, 1893 Nadina St. The proposed deck and stairway would significantly OBSTRUCT OUR VIEW of Monterey Bay, which also would significantly decrease our home property value. Privacy is also a concern.

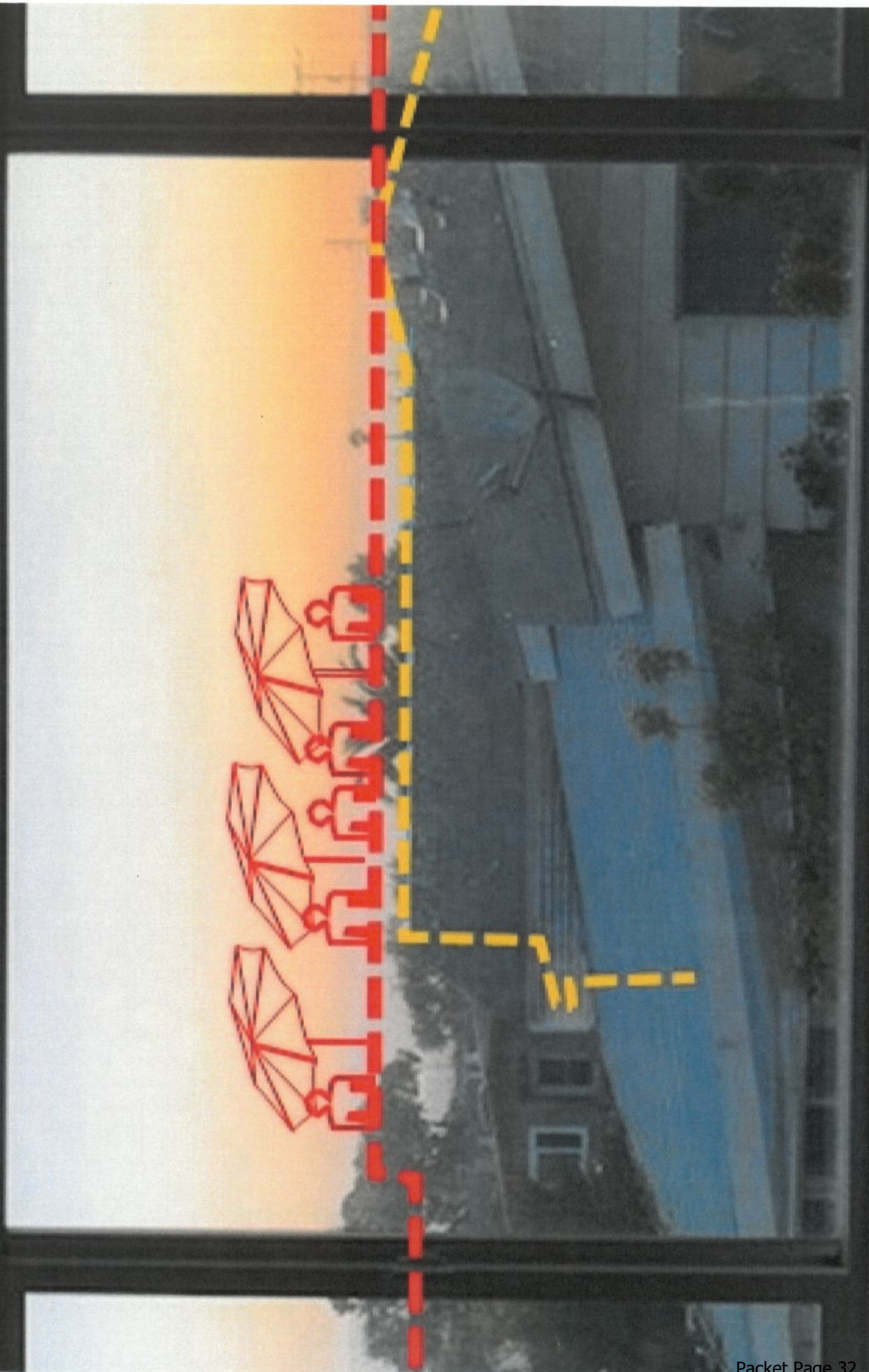
Please refer to the attached photo with this email for the "hand-drawn lines" of the proposed construction & how it would affect our view of the bay. Looking out to the bay from this window has always been a highlight in our home.

I'm also disappointed that the Commission did not "stake & flag" the proposed construction to satisfy "Goal UD-3" and "Policy UD-3.1", as stated in the Community Development Mgr's Report dated April 24, 2019. As you can see in the "photo-drawing", it definitely obstructs our view.

I also strongly disagree with many of the "Evidence" and "Findings" in that same 4/24/19 Report.

Please confirm/reply receipt of this email to me.
Feel free to send any communications regarding this matter to my email.
Thank you again for your assistance, Ms. Milton.

Sincerely, Linda Gabrielson



Attachment 6

Correspondence from Property Owner at 1893 Nadina Street

July 2nd Correspondence

Rick Medina - Re: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("I tem No .:8.B.")

From: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
To: <RMedina@ci.seaside.ca.us>
Date: 7/2/2019 2:08 PM
Subject: Re: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("I tem No .:8.B.")
CC: <LMilton@CI.seaside.ca.us>, <gstearns@ci.seaside.ca.us>
Attachments: Re: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("It em No .:8.B.")

Mr. Medina, I'm very concerned & disappointed to hear that you had no copy of that important email, so I just forwarded another copy of what I had sent to the City Clerk, Leslie Milton on 4/25. As you may recall, I had spoken with you over the phone on that same day of 4/25, & you advised me how I needed to proceed in communicating my concerns, by sending my email to Leslie Milton and request that she distribute my email as a "blanket email" to all parties involved, as I have documented in that same email. Although I had asked Leslie to confirm with me that she had received my email, when I hadn't heard or rec'd confirmation from Leslie by Monday, May 6, I phoned her & she confirmed that, yes, she had indeed received AND distributed my email to BAR, & all involved, so that it would be included in their files for the next BAR meeting of June 5. That's why when I learned from my daughter that there had been no mention or inclusion of my letter//email at the BAR City Hall meeting of June 5, that just heightened my concerns of how this proposed construction is being handled. Please send me a confirmation email back that you have received this email and the attachment of my prior email with the additional drawing attachment. Thank you, Linda Gabrielson

Please note: message attached

From: "Rick Medina" <RMedina@ci.seaside.ca.us>
To: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
Subject: Re: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("It em No .:8.B.")
Date: Tue, 2 Jul 2019 11:21:50 -0700

MailScanner has detected a possible fraud attempt from "thirdpartyoffers.netzero.net" claiming to be Do This (Before Bed) to Burn Belly Flab All Night Long

worldhealthlabs.com

<http://thirdpartyoffers.netzero.net/TGL3232/5d1bc76aa8cd2476a540ast01duc>

Sponsored Links 

Rick Medina - Re: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("Item No .:8.B.")

From: Rick Medina
To: lsgabrielson@netzero.net
Date: 7/2/2019 9:49 AM
Subject: Re: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("Item No .:8.B.")
CC: Gloria Stearns; Lesley Milton

Ms. Gabrielson,

The applicant was notified this morning of the flagging being in need of repair. It should be fixed by July 5th. A contractor must be contacted so that it can safely be completed. The flagging in disrepair is a strand of yellow tape that represents the deck upper deck railing on the front facade.

Rick Medina
 Senior Planner
 (831) 899-6726
rmedina@ci.seaside.ca.us

>>> "lsgabrielson@netzero.net" <lsgabrielson@netzero.net> 7/1/2019 7:47 AM >>>

Good Morning, Mr. Medina.

Thank you very much for your follow-thru with the flagging & staking on the proposed construction on 1892.

It's come to my attention, probably as a result of occasional windy weather conditions, that the flagging portion (orange netting & yellow tape) has become loose or undone.

Can you please see that adjustments/repairs can be done the day prior to the field trip to ensure those materials are at the exact measurements according to the specifications of the proposed plans?

Thank you again for your attention to these details,
 Linda Gabrielson

----- Original Message -----

From: "Rick Medina" <RMedina@ci.seaside.ca.us>
 To: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
 Subject: Re: Proposed construction deck & stairway on property 1892 Juarez St., Seaside, CA 93955 ("Item No.:8.B.")
 Date: Thu, 20 Jun 2019 09:54:52 -0700

Ms. Gabrielson,

I am writing to inform, you that the City has a quorum to conduct the field trip at 4 PM on July 10 and to conduct the continued public hearing on the project at a special meeting at 5:30 PM on July 10. I will be sending the public notice on the Field Trip and the continued public meeting taking place after the field trip this Friday. At this time, your residence will be included on the field trip agenda. In the notice being sent, any other surrounding property owner/occupant can also make a request to have their residence included on the field trip as long as they make the request to the City Clerk by 5 pm on Tuesday, July 2nd.

Rick Medina
 Senior Planner
 (831) 899-6726

rmedina@ci.seaside.ca.us

>>> "lsgabrielson@netzero.net" <lsgabrielson@netzero.net> 6/7/2019 5:00 AM >>>

Dear Gloria Stearns & Rick Medina,

Thank you for seriously listening & taking into account the detrimental proposal of the deck & stairway on property 1892 Juarez St. As presented by my daughter, Madeleine Maurer, at the Board of Architectural Review Meeting on Wed, June 5, 2019 at Seaside City Hall, this construction would obstruct our bay view, invade our privacy, & most importantly, decrease our property value at 1893 Nadina St..

I'm disappointed that the homeowners & architects did not consider to communicate with us early on regarding this project. We could've shown them the issues firsthand. It sure would've circumvented a lot of undue wasted time and energy.

I'm pleased to know of the Board of Architectural Review's pending "field trip" to our home on July 10. In preparation of the field trip, I **insist** that the proposed construction dimensions be "staked & flagged" at 1892 Juarez, so that everyone can really see the problem of obstruction/privacy with their own eyes.

We understand that because the construction is under 18 ft, staking & flagging isn't "automatically" required, but we absolutely insist that it be done anyways in time for the field trip.

There seems to be a disagreement between our perception of how our view will be impacted and the architect's perception, and we refuse to rely solely on an oral explanation and diagrams on the day of the field trip.

A physical representation of the proposed deck is the only acceptable option.

Also, let's not forget, the valid argument that usually a deck is not kept clear, but outfitted with a multitude of patio furniture, umbrellas, etc, which also obstructs our bay view.

"Staking and Flagging" the true dimensions of the proposed construction at 1892 Juarez is just common sense. In this way, the field trip participants of BAR can see it for themselves.

Thank you for your attention to this matter & I look forward to your response.
Linda Gabrielson

Please copy and distribute this email to all BAR participants so it can be included with the information regarding this issue (Item No.:8.B). Thank you.

Please note: forwarded message attached

From: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>

To: LMilton@CI.seaside.ca.us

Subject: RESEND of email with correct attachment

Date: Fri, 26 Apr 2019 04:44:40 GMT

MailScanner has detected a possible fraud attempt from "thirdpartyoffers.netzero.net" claiming to be US MD: "I Beg Americans To Throw Out This Veg Now"

dr-pedre-md.com

<http://thirdpartyoffers.netzero.net/TGL3232/5d1a1d239c8791d23596fst03duc>

Sponsored Links 

July 1st Correspondence

Rick Medina - Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("Item No .:8.B.")

From: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
To: <RMedina@ci.seaside.ca.us>, <LMilton@CI.seaside.ca.us>
Date: 7/1/2019 7:50 AM
Subject: Flagging/ Staking Repairs 1892 Juarez St., Seaside, CA 93955 ("Item No .:8.B.")

Good Morning, Mr. Medina.

Thank you very much for your follow-thru with the flagging & staking on the proposed construction on 1892.

It's come to my attention, probably as a result of occasional windy weather conditions, that the flagging portion (orange netting & yellow tape) has become loose or undone.

Can you please see that adjustments/repairs can be done the day prior to the field trip to ensure those materials are at the exact measurements according to the specifications of the proposed plans?

Thank you again for your attention to these details,
 Linda Gabrielson

----- Original Message -----

From: "Rick Medina" <RMedina@ci.seaside.ca.us>
 To: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
 Subject: Re: Proposed construction deck & stairway on property 1892 Juarez St., Se aside, CA 93955 ("Item No.:8.B.")
 Date: Thu, 20 Jun 2019 09:54:52 -0700

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dr-pedre-md.com

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Sponsored Links (i)

June 7th Correspondence

Rick Medina - Proposed construction deck & stairway on property 1892 Juarez St., Se aside, CA 93955 ("Item No.:8.B.")

From: "lsgabrielson@netzero.net" <lsgabrielson@netzero.net>
To: <gstearns@ci.seaside.ca.us>, <rmedina@ci.seaside.seaside.ca.us>
Date: 6/7/2019 5:00 AM
Subject: Proposed construction deck & stairway on property 1892 Juarez St., Se aside, CA 93955 ("Item No.:8.B.")
CC: <LMilton@CI.seaside.ca.us>
Attachments: Family Room Window View.jpg

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June 5th Correspondence

Hello, my name is Madeleine Maurer. Thank you for the opportunity to share my family's objection to this project. I currently reside at 1893 Nadina Street, the house directly above the property seeking approval to build a deck. My mother Linda Gabrielson is the property owner. She grew up in this home and plans to move here in December when my father retires.

If I can make only one thing known to you all tonight, it is that the City of Seaside's Staff Report is absolutely incorrect in the conclusions it draws. The proposed rooftop deck does significantly impact our viewshed, despite the grade differential between our residence and the property under review. Our family would have gladly welcomed staff and reviewers into our home to gauge the impact a deck would have on our view. Yet, absolutely no effort was made to contact us to schedule such a tour. Whether that's a part of standard protocol or not, it would have been the right thing to do.

So, we've been burdened with providing this evidence to you ourselves, in addition to the written objection my mother previously submitted. As you can see from the pictures provided, a deck would obstruct our view of the Monterey Bay, which is a clear violation of Policy UD-3.1 of the Seaside General Plan.

Policy UD-3.1 protects private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds. The part of the ocean that is visible from our house, and other important viewsheds as outlined in Policy UD-3.1, add a lot of value to our property. To build this deck would devalue our home significantly.

Additionally, no one builds a deck without putting some sort of furniture or other items on top. These added features not only threaten our view even more, but also our privacy. Whether our homes meet some minimum requirement for distance from each other or not, the reality is that if a deck is built, anyone standing on it would have a direct view into our den and into our master bedroom.

I would also like to state for the record, that when I attended the "field trip" on April 24th 2019 regarding this project, whether it was intentional or not, the way staff spoke to me gave the impression that this project was set in stone and that my family's objection was not going to be taken seriously. The experience left me feeling so upset and confused with what was happening that I didn't go back to City Hall for the meeting. Instead I went home to look at the agenda online to try and figure out what was happening and to speak with my family.

With that kind of treatment and dismissive attitude, how is my family supposed to feel confident that this is a fair and unbiased process? So far this process has left me feeling distrustful and upset. It makes me wonder if it is your priority to just rush this project through your protocols, rather than truly engaging all of the involved stakeholders at an equal level?

The one thing I can agree with in the City's Staff Report is that this roof deck only has an accessory use. Accessory use is a use of land that is subordinate and incidental; something that is NOT necessary for a house to function. Allen can absolutely redesign and renovate a beautiful new home for Mark WITHOUT adding a deck that violates Policy UD-3.1 by obstructing my family's view of the Monterey Bay.

Please do not vote to approve the construction of this deck. We are all citizens of this city and you all serve in your positions to act on the behalf of all constituents and to uphold the policies of Seaside's General Plan. Thank you for your time, and thank you for really listening to all parties involved & voting accordingly.



View from Master Bedroom

View from Den



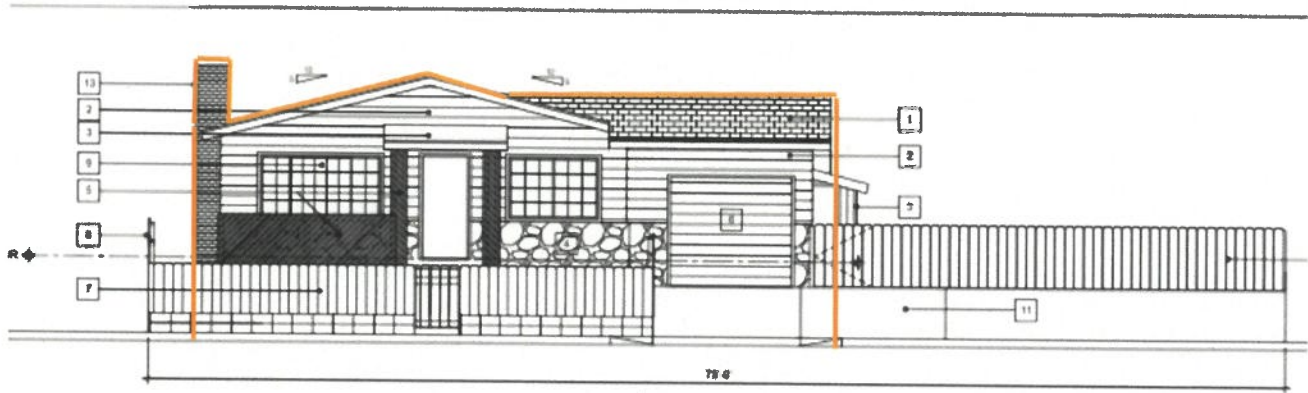
WATERLINE

EXISTING STRUCTURE

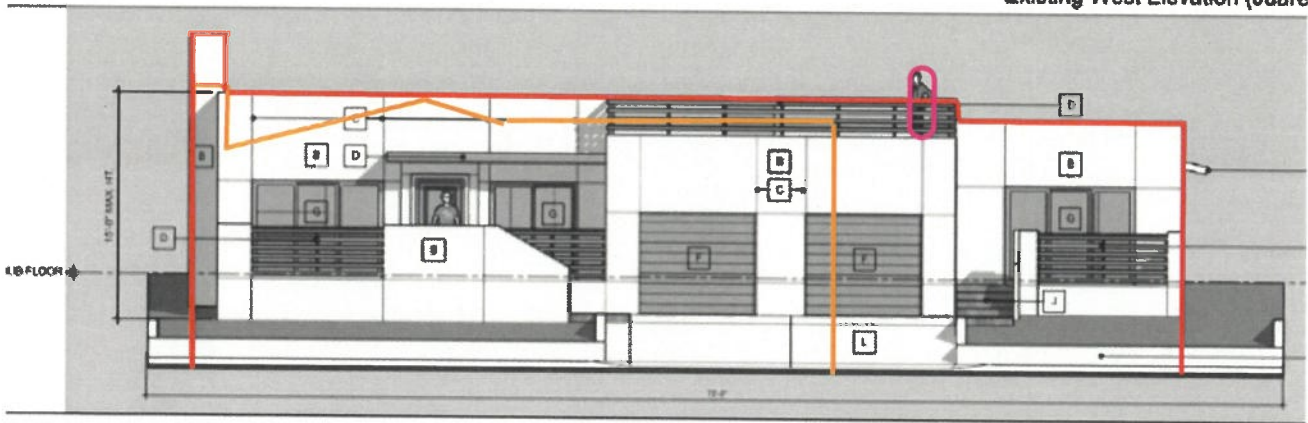
PROPOSED STRUCTURE

ADULT MALE

UMBRELLA



Existing West Elevation (Juare



New West Elevation / Juare

City of Seaside Single Family Residential Design Guidelines



INTRODUCTION

Design guidelines serve a valuable role in the architectural review process by communicating a city's expectations through clear design statements, photographs, specific examples, and supportive graphics. In practice, design guidelines encourage improved design, create design consensus, and promote a consistent level of quality throughout the city. Design guidelines represent a minimum level of expected quality and design, and many proposals will far exceed these standards, as the range of design excellence is limitless.

PURPOSE

The purpose of this document is to assist staff, the public and decision-makers through the architectural review process by clearly defining the City of Seaside's expectations for design quality, use of materials, and architectural imagery. It is the goal of these design guidelines to continually refine the concept of "good design" and to improve the design of homes, neighborhoods, and the greater community of Seaside.

ACCEPTANCE

BOARD OF ARCHITECTURAL REVIEW MEMBERS

Ken Rudisill, Chairman
Kathleen Ventimiglia, Vice-Chair
Cynthia Spellacy
Mitsugu Mori
Paul Mugan

ACCEPTED JULY 6, 2005

APPLICABILITY

These design guidelines apply to all new single-family residences and to additions or exterior modifications to existing single-family residences in the City of Seaside.

BOARD OF ARCHITECTURAL REVIEW

In cases where a formal review before the Board of Architectural Review (BAR) is required, the BAR will utilize these design guidelines in their review of the project.

SEASIDE GENERAL PLAN

Single-Family Residential Design Guidelines are required by specific policies and implementation plans contained in the Seaside General Plan. These policies and plans are as follows:

Land Use Policy LU-3.2: Improve the physical appearance of residential neighborhoods.

Implementation Plan LU-3.2.5 *Design Guidelines for Residential Development.* Adopt and implement Design Guidelines for residential development.

Urban Design Policy UD-2.1: Protect the character of single-family neighborhoods by restricting out-of-scale buildings, incompatible uses and designs, blocked views and/or access to sunlight, and excessive through traffic.

Implementation Plan UD-2.1.1 *Design Standards in Zoning Ordinance.* Adopt design standards in the Seaside Zoning Ordinance to establish the scale of building, guidelines for quality design in new construction, building additions, and redevelopment, procedures to protect existing private views and access to sunlight as much as possible while at the same time allowing others the opportunity to enjoy the magnificent views from Seaside.

CONTENTS

SITE PLANNING_____1

MASS AND SCALE_____5

ARCHITECTURAL FEATURES_____7

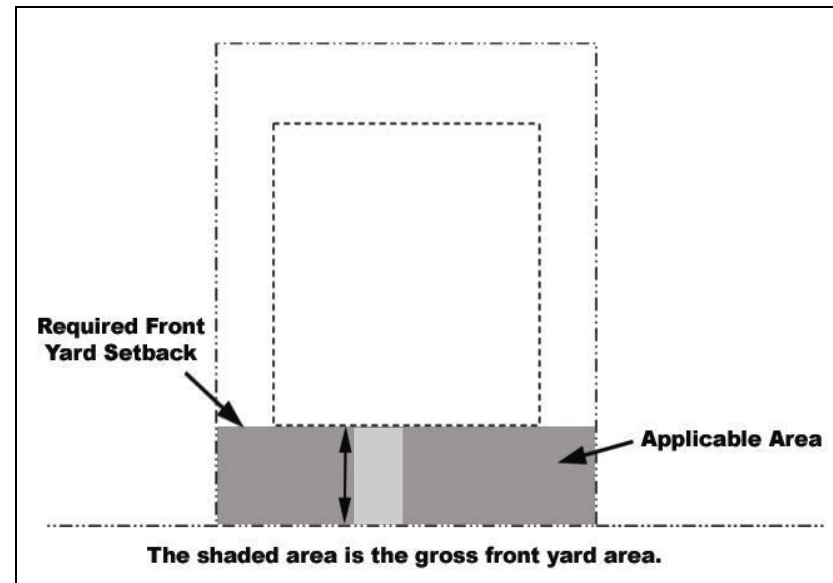
I. SITE PLANNING

A. Front Yard Coverage, Landscape and Hardscape

Neighborhood character can be enhanced by minimizing paved surfaces in front yards and maintaining landscaped areas. The front yard should serve as a buffer between the street and the home, providing a visual break and an improved streetscape. A neighborhood with well-maintained front yards will better preserve its value and will remain more appealing. Increased landscaping softens the appearance of a neighborhood, improves neighborhood aesthetics, provides habitat for birds, butterflies, and other wildlife, and creates a more desirable environment.

Front yard landscaping need not include turf, lawn or other water-intensive plants. Drought-tolerant and low water usage plants can be artfully installed to create an attractive appearance.

Limiting paved surfaces also provides environmental benefits by reducing water run-off, improving water percolation, facilitating on-site drainage and retention, and discouraging inappropriate vehicle parking and storage.



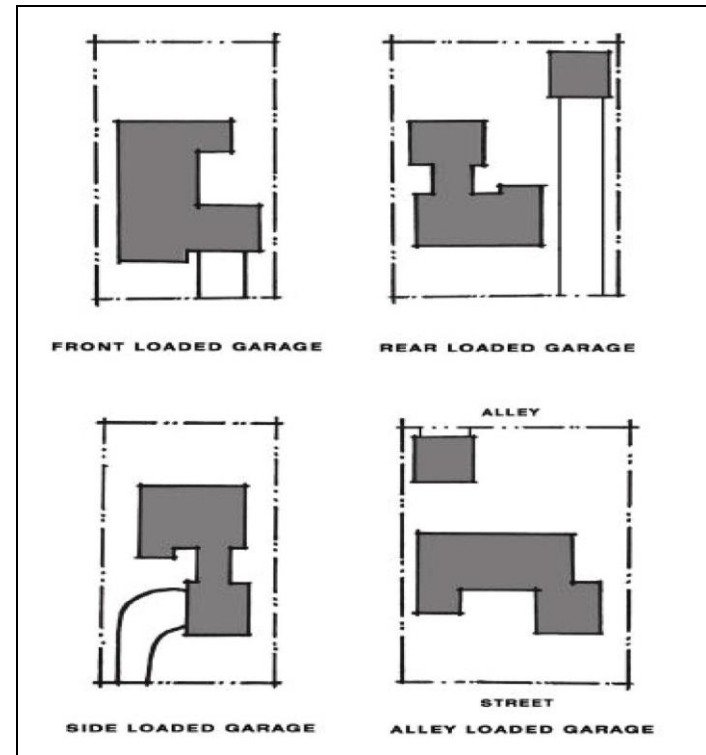
- i. Front yard lot coverage includes all paved surfaces: the driveway, parking areas, walkways, patios, and all other impervious surfaces. On lots narrower than 50 feet, the front yard lot coverage should not exceed 65% of the total front yard area. On wider lots, the front yard lot coverage should not exceed 50%.
- ii. Front yard patios should not be located closer than 5 feet from the sidewalk, adjacent properties or the house.
- iii. Entry walkways should extend to the sidewalk, rather than the driveway.

- iv. Landscaping should be used to frame, soften and embellish a home.
- v. Gravel, lava rock, and similar materials are discouraged when not used in conjunction with other landscaping.
- vi. Drought tolerant, salt and wind-resistant, and native plants should be used in landscaping. A list of drought tolerant plants recommended for Seaside is included as Appendix “A”.
- vii. Street trees should be installed in front yards to create a consistent and harmonious canopy.

B. Garage Placement

Street frontages dominated by front-loaded garages are detrimental to the sense of a people-friendly and pedestrian-oriented neighborhood. The following guidelines are intended to reduce the impacts of garages on the character of the neighborhood.

- i. Garage design and placement should diminish the visual impact of garage doors on street frontages. Garage doors should contain windows and/or additional architectural detailing.
- ii. Detached rear garages and alley-accessed garages are encouraged.



- iii. Side-accessed garages are encouraged to diminish the visual impact of the garage along street frontages.

- iv. Covered parking should be designed to minimize its visual impact by placing access to the side or rear wherever physically possible.



“Detached rear garages and alley-loaded garages are encouraged”

- v. Three-car front facing garages are discouraged where the lot width is less than 55 feet. Where three-car front facing garages are permitted, at least one garage door should be recessed a minimum of 5 feet beyond another garage door and permeable materials should be used at least on the portion of the driveway providing access to the recessed garage space.

- vi. On through-lots (lots having frontage on two parallel or approximately parallel streets), garage access should be provided from the street abutting the property line to the rear of the house.

C. Driveways

- i. Adequate space should be provided between two adjacent driveways to allow for landscaping. A minimum 18-inch wide planter should be provided where feasible between the side property line and the driveway.
- ii. New driveways should contain special design features to minimize their visual impact. The use of “wheel well”, “Bermuda” or “Hollywood” driveways, exposed aggregate, concrete pavers, soft materials such as turf blocks, or other special design features should be used to reduce the “hard” visual impact.
- iii. Driveways on corner lots should be located as far as possible from street intersections.
- iv. Where curb cuts are necessary, minimizing curb cut widths is encouraged. Driveway widths should be kept to a minimum to lessen the appearance of bulk and mass.

- v. No more than one curb cut per residential lot should be permitted along the same street frontage.
- vi. The use of alternative materials in place of asphalt or concrete to pave driveways is encouraged to reduce impervious surface

D. Walls, Fences, and Screening

- i. Walls and fences should be attractive and complement the style and character of the homes and the neighborhood.
- ii. Front yard fencing should be harmonious with the architectural style of the house. Solid walls over 36 inches in height are strongly discouraged in the front yard. Particular attention should be given to maintaining visibility for safety purposes on the portion of a corner lot abutting a street intersection.
- iii. Walls should be made of decorative masonry, wood, or a combination of both. Chain link or industrial fencing is strongly discouraged and should not be used in the front yard setback or on portions of a lot visible from a public right-of-way.



"Walls and fences should be designed in such a manner as to create an attractive appearance to the street and to compliment the style and character of the homes and the neighborhood"

- iv. Side or rear walls that face a street or sidewalk should contain features that break up long continuous walls (greater than 50') and to soften their appearance through changes in height, setback and vegetation.
- iv. Gates should be provided in walls or fences located in the front yard setback to facilitate convenient access by residents and visitors.
- v. Garbage areas should be screened by fences, and/or walls, that are compatible with other landscape or architectural features.

II. MASS AND SCALE

A. General

The following guidelines will ensure that the mass and scale of new homes and additions to existing homes are compatible with the surrounding neighborhood.

- i. The physical size and mass of the project should be proportional to the lot size.
- ii. The overall design of buildings should be compatible with the scale and mass of surrounding properties.
- iii. Architectural elements should be designed to eliminate the appearance of box-like buildings.
- iv. The scale and mass of new infill buildings should be reduced by stepping down the building height toward the street and adjacent smaller structures.



Inappropriate Usage of Mass and Scale.



Appropriate Usage of Mass and Scale.



Appropriate Usage of Mass and Scale.



Setback upper story where adjacent to one story building to create an appropriate transition.

B. Building Height and Second Story Decks

- i. Entries and massing of stories should be in proportion to the building façade as a whole. High-ceiling single-story areas may be permitted within the building if the building wall of the front elevation is not excessively tall.
- ii. Second Story or Roof Decks:
 - a. Should fit the existing architectural style;
 - b. Should be oriented away from neighbors' yards as much as possible;
 - c. Should use appropriate screening measures to reduce privacy invasion (i.e. solid railing walls, latticework and landscaping).
 - d. Spas, hot tubs and similar equipment are discouraged over the first floor, on balconies or second story or roof decks if visible from adjacent properties.

C. Second Story Setbacks

- i. The second story front setback should average 5 feet more than the first floor setback.
- ii. The second story side setback should average 3 feet more than the first floor setback.



- iii. For some architectural styles (i.e. Colonial Revival) it may not be appropriate to step back the second floor or in some cases it may not be reasonably feasible for additions to existing homes. A significant second story setback may not be necessary where the home is significantly set back from the street.

III. Architectural Features

The following guidelines encourage high quality design to enhance the character of residential neighborhoods. It is not the intent of these guidelines to promote any particular architectural style or to preclude creative design solutions that produce quality design.

A. General

- i. There is no specific architectural style required for residential structures in Seaside. Architecture should consider compatibility, as appropriate, with surrounding homes, including building style, form, size, material, and roofline.
- ii. The design of a new home, or addition, should commit to a specific architectural “style”, rather than combine various architectural styles and elements or create non-descript structures. This “style” should be clearly communicated and reinforced consistently throughout the house and accessory structures, including detached garages, carports, etc.
- iii. The exterior siding, roof articulation, windows and doors, and overall design of new

construction should be harmonious within the proposed architectural style.

- iv. The exterior treatment and overall design of additions to existing homes should respect the features and materials of the original structure, as appropriate.
- v. To the extent feasible, the architectural character established for the street facing elevations should continue on all elevations.
- vi. Features such as windows, doors, cornice elements, etc. should create a rhythmic composition, taking into consideration compatibility of scale, style and proportion. These elements should be detailed to provide modulation, visual interest, and textured relief.
- vii. The boundary between each floor of the dwelling structure should be delineated through belt courses, cornice lines, balconies, or similar architectural detailing.
- viii. The patterns of windows and doors should reflect the scale and patterns in the neighborhood.

- ix. Building features should reinforce and enhance the architectural form and style of the house. Dormers, bay windows, porches, balconies, entrance projections, etc. add interest to the design of the home. However, features such as large bay windows should not project into side setbacks, except on the street-facing side of a corner lot.
- x. Long unarticulated exterior walls are discouraged on all structures. Massing offsets, varied textures, openings, recesses, and design accents are encouraged to enhance the walls.

B. Front Porches and Entries

- i. Front porches, back porches and/or decks, which permit casual observation of alleys and streets, are encouraged.
- ii. Front porches should create an attractive interface with semi-public front yard areas. Front porches should have a minimum depth of 6 feet and a minimum width of 10 feet.



“Front porches should create an attractive interface with semi-public front yard areas.”

- iii. The primary entry and windows should be the dominant elements of the front façade, should face the street to provide pedestrian scale and should be clearly articulated through architectural detailing.

C. Roof Articulation

The roof design plays an important role in the sense of mass and scale of the building and in the architectural integrity of the building as a whole. The roof pitch and orientation also impact the transition between neighboring buildings.

- i. New roof designs should be compatible with the existing neighborhood character, such as type, slope, size and materials, and color.



“The use of traditional roof forms such as gables, hips, and dormers are encouraged”

- ii. The use of traditional roof forms such as gables, hips, and dormers are encouraged. The use of “foreign” residential roof forms, such as geodesic domes, “A” frames and flat roofs are strongly discouraged.

- iii. Roof forms should be consistent on all sides of the house and garage. All roofs should have a similar pitch except for the limited use of flat roof.
- iv. Avoid box-like appearance through variation in the roofline and building elevations.



“Avoid box-like appearance through variation in the roofline and building elevations”

- v. Vary roof lines through changes in height and form to break up massing. Long, single-ridge rooflines (over 30 feet long) are discouraged.
- vi. The style and form of roof additions to existing buildings should be compatible, as appropriate, with the existing roof style and form, and the style, materials, and pitch

should be taken into consideration when designing a roof addition.

D. Materials

The overall pattern, texture, and color of materials have significant effect on the scale, style and character of the building. The following guidelines should be referred to when selecting materials.

- i. Consistent and harmonious use of high quality, durable materials is encouraged. Piecemeal embellishment and frequent changes in material is discouraged.
- ii. Architectural detail should be comparable on all elevations, rather than concentrated on the front elevation.
- iii. Materials should complement the surrounding properties.
- iv. Materials should be of good quality and durable. “T-1-11” and similar sheet siding is discouraged.
- v. Environmentally-sound, or “green” building materials are encouraged and additional design consideration may be offered to accommodate solar panels, recycled materials, or other green products.
- vi. Materials should be consistent with architectural style of the building. For example, “Spanish” detail is consistent with stucco buildings with mission tile roofs.

DROUGHT TOLERANT PLANTS

Trees

Botanical Name	Common Name
Adenostema sparsifolium	Red Shanks
Aesculus californica	California Buckeye
Agonis flexuosa	Peppermint Tree
Arbutus menziesii	Madrone
Casuarina stricta	Beefwood
Ceanothus arboreus	Felt-leaf Ceanothus
Ceanothus thrysiflorus	Blue Blossom
Cedrus deodara	Deodar Cedar
Cercis occidentalis	Western Redbud
Comarostaphylis diversifolia	Mountain Mahogany
Cypressus gowenia	Gowen's Cypress
Geijera parviflora	Australian Willow
Hakea laurina	Sea Urchin
Laurus nobilis	Grecian Laurel
Lithocarpus densiflora	Tanbark Oak
Olea europaea	Olive
Parkinsonia aculeata	Jerusalem Thorn
Pinus radiata	Monterey Pine
Pittosporum crassifolium	Karo Tree
Quercus agrifolia	Coast Live Oak
Robinia species	Locust
Schinus molle	California Pepper
Umbellularia californica	California Bay

Small Shrubs

Botanical Name	Common Name
Artemesia californica	California Sagebrush
Calocephalus brownii	Cushion Bush
Castilleja latifolia	Monterey Paintbrush

Ceratostigmata willmottianum	Chinese Plumbago
Cistus villosus 'prostratus'	Sageleaf Rockrose
Correa alba	Australian Fuchsia
Eriophyllum confertiflorum	Golden Yarrow
Eriophyllum staechadifolium	Lizard Tail
Eryops hybrid	Yellow Bush Daisy
Gautheria shallon	Salal
Juniperus conferta	Shore Juniper
Kniphofia uvaria	Red Hot Poker
Leonotis leonurus	Lion's Tale
Myrtus specia	Myrtle
Ribes viburniflorum	Catalina Currant
Rosmarinus officinalis	Rosemary
Salvia species	Sage
Santolina Chamaecyparissus	Lavender Cotton
Sollya heterophylla	Australian Bluebell Creeper
Symphoricarpos alba	Snowberry
Teucrium fruticans	Bush Germander
Trichostema lanatum	Woolly Blue Curly
Westringia rosmariniformis	Westringia
Zauschneria californica	Red California Fuchsia

Large Shrubs

Botanical Name	Common Name
Acacia species	Acacia
Adenostema fasciculatum	Chamise
Arctostaphylos densiflora	Vinehill Manzanita
Atriplex lentiformis 'breweri'	Brewer Saltbrush
Berberis darwinii	Darwin Barberry
Carissa grandiflora	Natal Plum
Catha edulis	Khat
Ceanothus 'Frosty Blue'	

APPENDIX "A"

Ceanothus impressus	Santa Barbara Ceanothus
Ceanothus thrysiflorus	Blue Blossom
Cercis occidentalis	Western Redbud
Cistus purpureus	Orchid Spot Rockrose
Comarostaphylis diversifolia	Mountain Mahogany
Cottoneaster lacteus	Red Clusterberry
Dendromecon harfordii	Island Bush Poppy
Dendromecon rigida	Bush Poppy
Dodonaea viscosa	Hopseed Bush
Echium fastuosum	Pride of Madeira
Eleagnus pungens	Silverberry
Fremontodendron californica	Flannel Bush
Hakea suaveolens	Sweet Hakea
Heteromeles arbutifolia	Toyon
Lavatera assurgentifolia	Tree Mallow
Leptospermum laevigatum	Australian Tea Tree
Leptospermum scoparium	New Zealand Tea Tree
Lupinus arboreus	Yellow Bush Lupine
Lupinus chamissonis	Purple Bush Lupine
Myrsine africana	African Boxwood
Nandina domestica	Heavenly Bamboo
Nerium oleander	Oleander
Ochna serrulata	Bird's Eye Bush
Phormium tenax	New Zealand Flax
Pittosporum tenuifolium	Pittosporum
Prunus illicifolia	Holly-Leaf Cherry
Prunus lyonii	Catalina Cherry
Psidium littorale	Lemon or Strawberry Guava
Rhamnus alaternus	Italian Buckthorn
Rhamnus californica	Coffeeberry

<i>Large Shrubs (continued)</i>	
Botanical Name	Common Name
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Rosa rugosa	Ramanas Rose
Vaccinium ovatum	Evergreen Huckleberry
Xylosma congestum	Xylosma

Groundcovers

Botanical Name	Common Name
Abronia latifolia	Yellow Sand Verbena
Abronia umbellatum	Pink Sand Verbena
Arctostaphylos edmundsii	Little Sur Manzanita
Arctostaphylos pumila	Dune Manzanita
Arctotheca caledula	Capeweed
Arctotis hybrids	African Daisy
Armeria maritima	Sea Pink/Thrift
Artemesia pycnocephala	Sandhill Sage
Asparagus sprengeri	Sprenger Asparagus
Atriplex semibaccata	Australian Saltbrush
Baccharis pilularis	Dwarf Coyote Brush
Camissonia cheiranthifolia	Beach Primrose
Ceanothus giseus	Ceanothus
Convolvus mauritanicus	Ground Morning Glory
Erysimum ammodendrum	Coast Wall Flower
Fragaria chiloensis	Beach Strawberry
Gazania species	Gazania
Helianthemum nummularium	Sunrose
Latana montevidensis	Lantana
Lotus scoparius	Deerweed
Mahonia repens	Creeping Mahonia

Oenothera berlandieri	Mexican Evening Primrose
Osteospermum fruticosum	Highway Daisy
Ribes viburnifolium	Red Flowering Currant
Rosmarinus officinalis 'prostratus'	Creeping Rosemary

Perennials

Botanical Name	Common Name
Achillea species	Yarrow
Aeonium species	Canary Island Rose
Aloe species	Aloe
Artemesia pycnocephala	Sandhill Sage
Centaurea cineraria	Dusty Miller
Centranthus ruber	Red Valerian
Cerastium tomentosum	Snow-in-Summer
Coreopsis species	Coreopsis
Dudleya caespitosa	Bluff Lettuce
Eschscholzia californica	California Poppy
Gaillardia grandiflora	Blanket Flower
Limonium perezii	Sea Lavender
Perovskia 'Blue Spire'	Russian Sage
Phormium tenax	New Zealand Flax
Romneya coulteri	Matilija Poppy
Salvia species	Sage
Sisyrinchium bellum	Blue-eyed Grass
Trichostema lanatum	Woolly Blue Curls

Bulbs

Botanical Name	Common Name
Amarillis belladonna	Naked Lily
Crocasmia crocosmiflora	Montbretia
Hemerocallis	Daylily

APPENDIX “A”

Ipheion uniflorum	Spring Starflower
Iris douglasiana	Pacific Coast Iris
Narcissus	Daffodil
Tulipa clusina	Lady Tulip
Zantedeschia aethiopica	Calla Lily

Vines

Botanical Name	Common Name
Bougainvillea	Bougainvillea
Campsis radicans	Trumpet Creeper
Cissus antarctica	Kangaroo Treebine
Ipomoea acuminata	Blue Dawn Flower
Muehlenbeckia complexa	Matress Vine
Polygonum aberti	Silver Lace Vine
Rosa 'Cecile Brunner'	Sweetheart Rose
Rosa banksiae	Lady Bank's Rose
Solandra maxima	Cup of Gold Vine
Tecomaria capensis	Cape Honeysuckle
Wisteria species	Wisteria

Ornamental Grasses

Botanical Name	Common Name
Deschampsia caespitosa	Tufted Hairgrass
Deschampsia holciformis	Pacific Hairgrass
Elymus arenarius 'Glaucus'	Blue Lyme Grass
Festuca californica	California Fescue
Muhlenbergia dumosa	Bamboo Muhly
Muhlenbergia rigens	Deer Grass
Pennisetum species	Fountain Grass
Stipa gigantea	Giant Feather Grass
Stipa pulchra	Purple Needle Grass
Stipa tenuissima	Mexican Feather Grass



CITY OF SEASIDE STAFF REPORT

Item No.: 7.B.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner

DATE: July 10, 2019

SUBJECT: BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-07. CLAY AND LISA MATTHEWS, PROPERTY OWNERS, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 478 SQUARE FOOT ROOF DECK ABOVE A NEW TWO CAR GARAGE ATTACHED TO A ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JUNE 19, 2019 BAR MEETING.

PURPOSE & RECOMMENDATION

In accordance with Section 17.62.030.B.5 of the Seaside Municipal Code, publicly financed projects administered by the City are subject to design review approval.

BACKGROUND

June 19, 2019 BAR Meeting

The applicant is requesting Design Review approval for the construction of a rooftop deck addition to an existing one-story single family dwelling on property located at 1565 Ord Grove Avenue. Location Map is provided as Attachment 2. Site photos are provided as Attachment 3. This application was first reviewed at the June 19, 2019 BAR meeting. At that meeting, Board raised concerns about boxy appearance of the new garage that the rooftop deck would placed above. Based on the BAR concerns and not having the applicant present to answer questions, the Board voted to continue the meeting to a special meeting on July 10, 2019. The Board also requested to conduct a field trip of the site prior to the meeting on July 10, 2019. The project plans are provided as Attachment 1 – Exhibit A.

Site Characteristics

The subject site consists of an 8,712 square-foot parcel located on the north side of Ord Grove Avenue between Cross Street to the west and Mariposa Street to the east. The property is developed with a 1,656 square-foot, one-story single family dwelling with an attached 293 square-foot, one-car garage built in 1950's. The parcel is relatively flat with a gradual north to south slope within the front yard. The adjoining parcels consist of one-story single family dwellings on the north, south and west and a two-story single family dwelling to the east. Aerial site photo is provided as Attachment 4.

STAFF ANALYSIS

The applicant is proposing convert an existing attached 290 square-foot one-car garage into a dining room and construct a new 480 square-foot two car garage with a roof deck above in front of the existing one-car garage. Access to the roof deck will be provided by an exterior stairway on the east side of the new garage. Access to the new garage would be provided from the existing drive approach which would be widened to accommodate the expanded two-car garage. The proposed remodel will also include modifying the roof at the front of the existing dwelling from a 2/12 to 4/12 and adding a 200 square-foot covered front porch. With the added square footage from the converted garage, the residence would have 1,984 square feet of living area.

The proposed rooftop deck is located on the east side of the house and has a proposed top rail height of 2 feet above the highest roofline (approximately 15 feet from the ground). The finished floor of the deck will be three feet below the top rail. Proposed additions would match the existing painted stucco exterior walls, asphalt shingle roof, painted galvanized gutter and downspouts, and painted wood roof overhangs. Project plans are provided as Exhibit A to Attachment 1. The City's Single Family Residential Design Guidelines are provided as Attachment 5.

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301(e)(1): Class 1 consists of additions to existing structures involving negligible or no expansion of use.

Evidence: The proposed roof deck would consist of an accessory use to the single family that would not have any impact on the environment or materially affect the use and/or mass of the dwelling.

FINDINGS

Finding 1.

The proposed project is consistent with the objectives of the General Plan, complies

with applicable zoning regulations, and Design Guidelines for the Single Family Residential General Plan Land Use designation and Zoning District designation.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Single Family Low Density Residential. Roof decks consist of an accessory use that would be allowed in a single family dwelling with design review approval. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use and Urban Design Goals and Policies: The General Plan provides the following guidelines with respect to Streetscapes/Viewsheds and land use compatibility:

Goal UD-3: Provide and maintain a streetscape system that protects views and enhances the visual quality and continuity within the community.

Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.

Goal LU-4 – Ensure that new development complements existing land uses and enhances the character of the community and its neighbors.

Policy LU-4.1 – Require that all new development is compatible with surrounding uses, the site, and available infrastructure.

Evidence: *The project proposal is compatible with the overall design and scale of surrounding residential land uses. The placement of an exterior stairway on the north elevation of the two-car garage leading to the roof deck above garage will not detract from the character of the neighborhood in that stairway would be screened from public view on Ord Grove Avenue and would have a solid screen on the staircase facing the adjoining single family dwelling to the east. Furthermore, the modifications to raise the height of the existing roof line and the addition of the front covered porch on the main dwelling will serve to blend the mass and height of the new garage/roof deck into existing dwelling and minimize the appearance of an unbalanced pop-up appearance over one side of the dwelling.*

Zoning Ordinance Conformance

The proposed additions will comply with all standards of development associated with the RS-8 zoning district as follows:

Evidence: *The applicant has incorporated design features and architectural styles of the existing structure such as wood railing, plaster siding, panel garage door with transom windows to have a contextual relationship with the existing neighborhood. As a result of the grade for the garage located slightly above the street, the view of*

persons on the roof deck would be minimized from both the pedestrian viewpoint and vehicles. The project plans for the residence and roof deck have been designed to respect the existing residential patterns and scale in the neighborhood.

Setbacks

Front – 15 feet required - 27 feet proposed

Side - 5 feet required - 5 feet on proposed on east side and 22 feet on west side will remain

Rear – 15 feet required – 83 feet proposed

Floor Area Ratio

45% allowed – 22.7% proposed

Lot Coverage

65% allowed – 45.3% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage proposed to eliminate non-conforming one-car garage.

Height

24 feet Maximum Allowed – The roof line on the dwelling will measure 17 feet with the roof deck measuring 13 feet to the parapet and 15 feet to the top rail.

Finding 2.

The proposed architecture and site design are suitable for the purposes of the building and site and will enhance the character of the neighboring residential properties.

Evidence: *The proposed roof deck has been designed to be screened from the public view and the adjoining properties. The height and scale of the roof deck is compatible with the existing building and adjacent buildings.*

Finding 3.

The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and similar elements establishes a clear design

concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: *The site is an existing residence in the RS-8 zoning district. Access to the roof deck will be provided by an exterior stairway. Extension of public utilities is not required for the proposed project. The completion of the exterior stairway and roof deck will not alter the location of existing utilities or access to the roof deck from the ground level.*

ATTACHMENTS

1. Attachment 1- Conditions of Approval
 2. Attachment 1 - Exhibit A Project Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Site Photos
 5. Attachment 4 - Aerial Photo
 6. Attachment 5 - FINAL REVISED SFR DESIGN GUIDELINES
-

Conditions of Approval
File No. BAR-19-07
June 19, 2019

Standard:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “Matthews Residence 1565 Ord Grove Avenue” approved on June 19, 2019. The project plans are provided as Exhibit A.
2. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
3. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.64.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
4. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.64.090.C.
5. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
6. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

7. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
8. All storm water runoff shall be contained and disposed of on site and the storm water retention system shall be reviewed and approved by the Public Works Department.
9. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
10. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
11. Water conservation fixtures shall be provided in the proposed project.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-07

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant's Signature

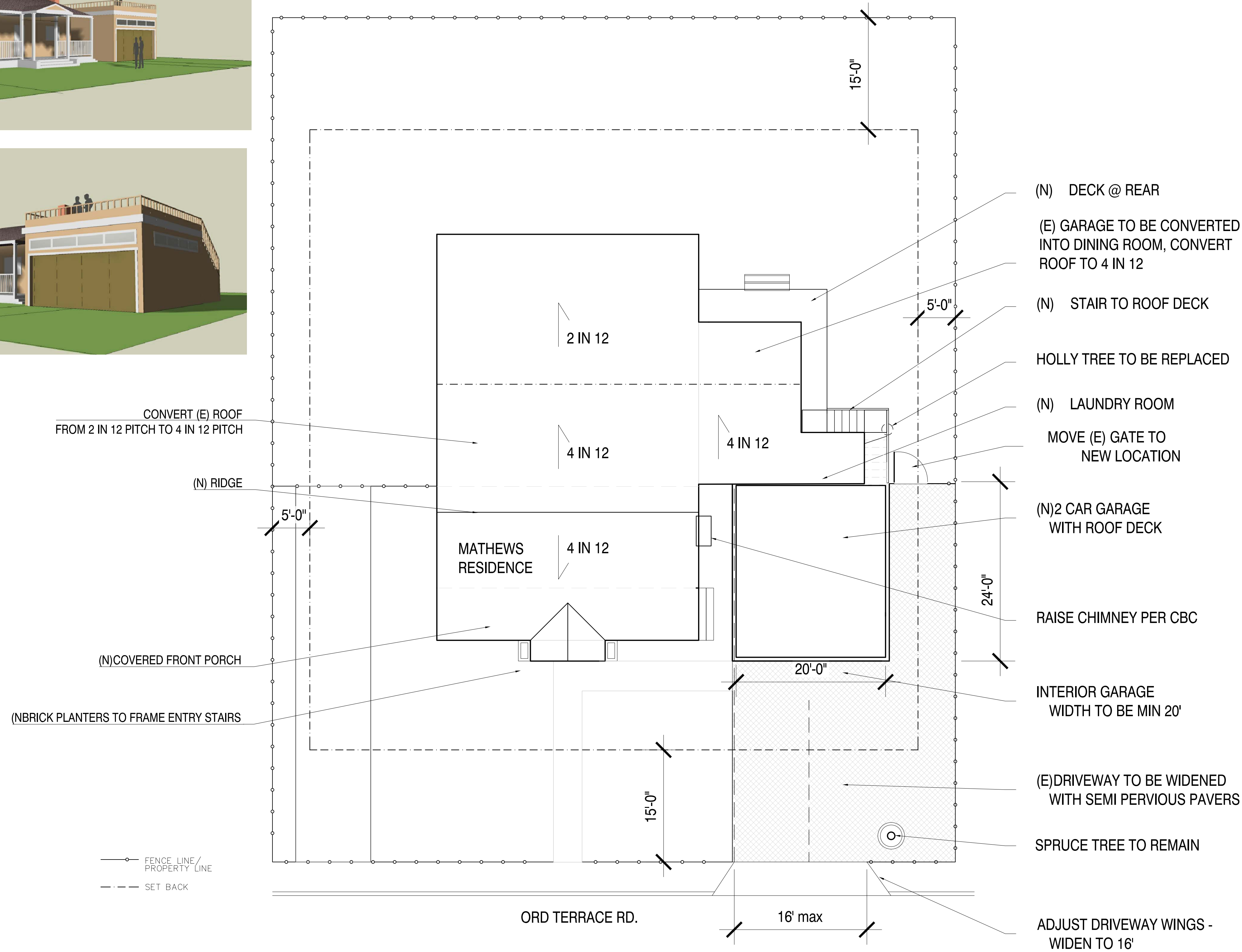
Date

Property Owner's Signature

Date



PROPOSED FRONT
VIEW FROM CITY
SIDEWALK



OWNER **CLAY & LISA MATHEWS**
1565 ORD GROVE AVE.
SEASIDE CA. 93955

ARCHITECT **THOMAS RETTENWENDER, ARCHITECT**
LIC # C31723
PO BOX 6451, CARMEL-BY-THE SEA, CA 93921
E-MAIL: THOMAS@ECOLOGICDESIGNLAB.COM
PHONE: 831-920-8333

PROJECT ADDRESS	1565 ORD GROVE AVE, SEASIDE CA. 93955		
LOT AREA	8712 S F		
SITE COVERAGE	ALLOWED 65%	=	5662 SF
	PROPOSED	=	4549 SF
FLOOR AREA	EXISTING RESIDENCE	1656	
	EXISTING GARAGE	293	
	PROPOSED MAIN HOUSE	2034	
	PROPOSED GARAGE	480	

1. ADD 2 CAR GARAGE WITH ROOF DECK (539 SF)
2. CONVERT (E) 270SF GARAGE INTO DINING ROOM
3. ADD 55 SF LAUNDRY ROOM
3. REPLACE '2 IN 12' ROOF WITH 4 IN 12 ROOF
4. ADD 200 SF COVERED FRONT PORCH

A-0	COVER SHEET AND SITE PLAN
A-1	EXISTING FLOOR PLAN & ELEVATIONS
A-2	PROPOSED FLOORPLAN
A-3	PROPOSED ELEVATIONS
A-4	PROPOSED ELEVATIONS

THE APPROVAL OF THESE PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE, MUNICIPAL ORDINANCES, OR STATE LAWS

A. GENERAL

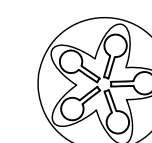
1. APPLICABLE CODES. ALL PROJECTS SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE (CBC) AND/OR CALIFORNIA RESIDENTIAL CODE (CRC), 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), 2016 CALIFORNIA ELECTRICAL CODE (CEC), 2016 CALIFORNIA MECHANICAL CODE (CMC), 2016 CALIFORNIA PLUMBING CODE (CPC), 2016 CALIFORNIA FIRE CODE (CFC), 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBEES)

A map showing the location of 1565 Ord Grove Avenue. The address is marked with a red pin and a black star icon. The map includes Mira Mar Ave, Ord Grove Ave, Lurem St, and Highland St.

DATE MAY/06/2019	TITLE COVER PAGE AND SITE PLAN
SCALE NTS	MATHEWS 1565 ORD GROVE AVE. SEASIDE CA. 93955
DRAWN BY TR, LPG	
JOB NUMBER # 1833	

MATHEWS RESIDENCE REMODEL

1565 ORD GROVE AVE. SEASIDE CA. 93955

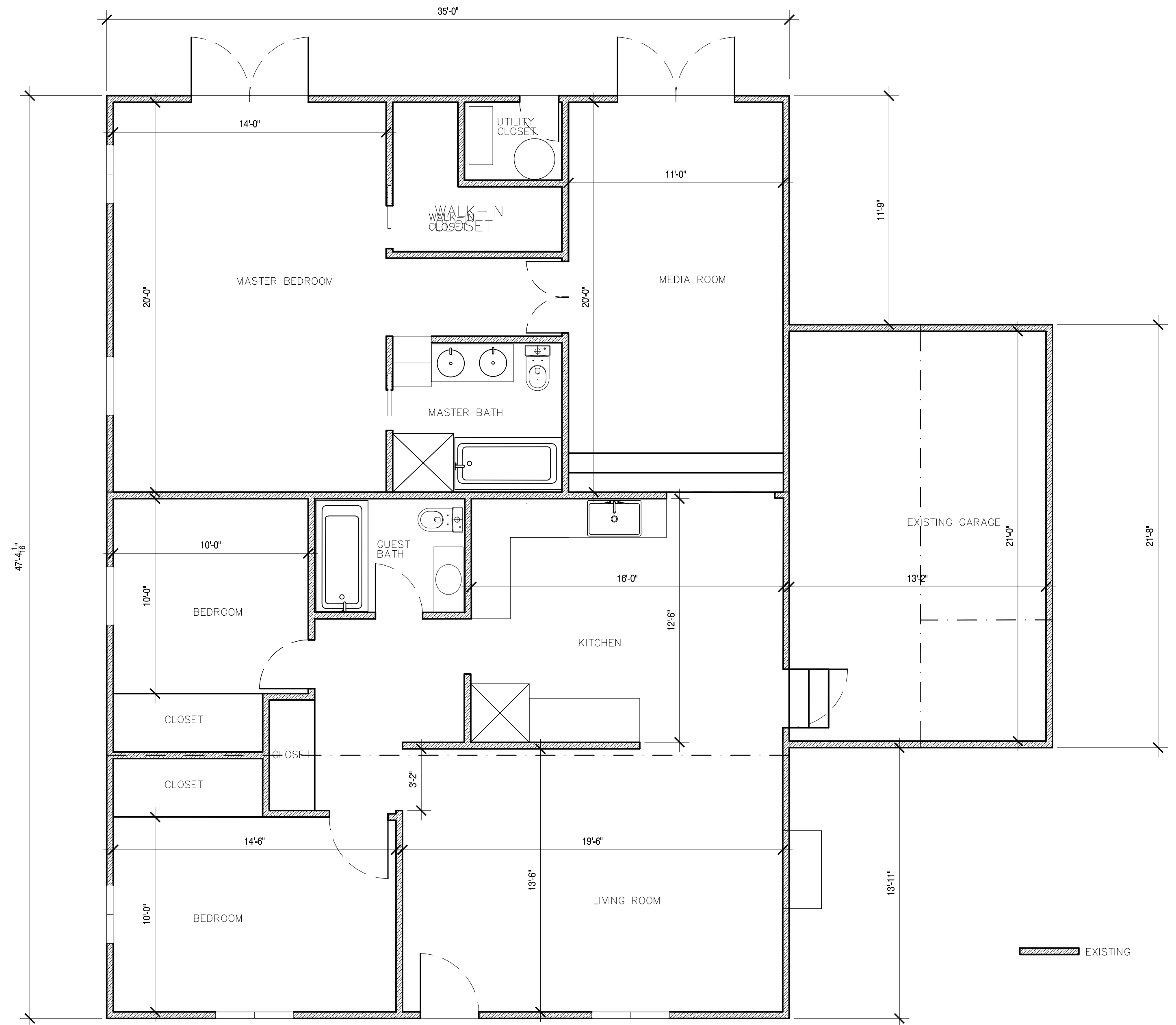
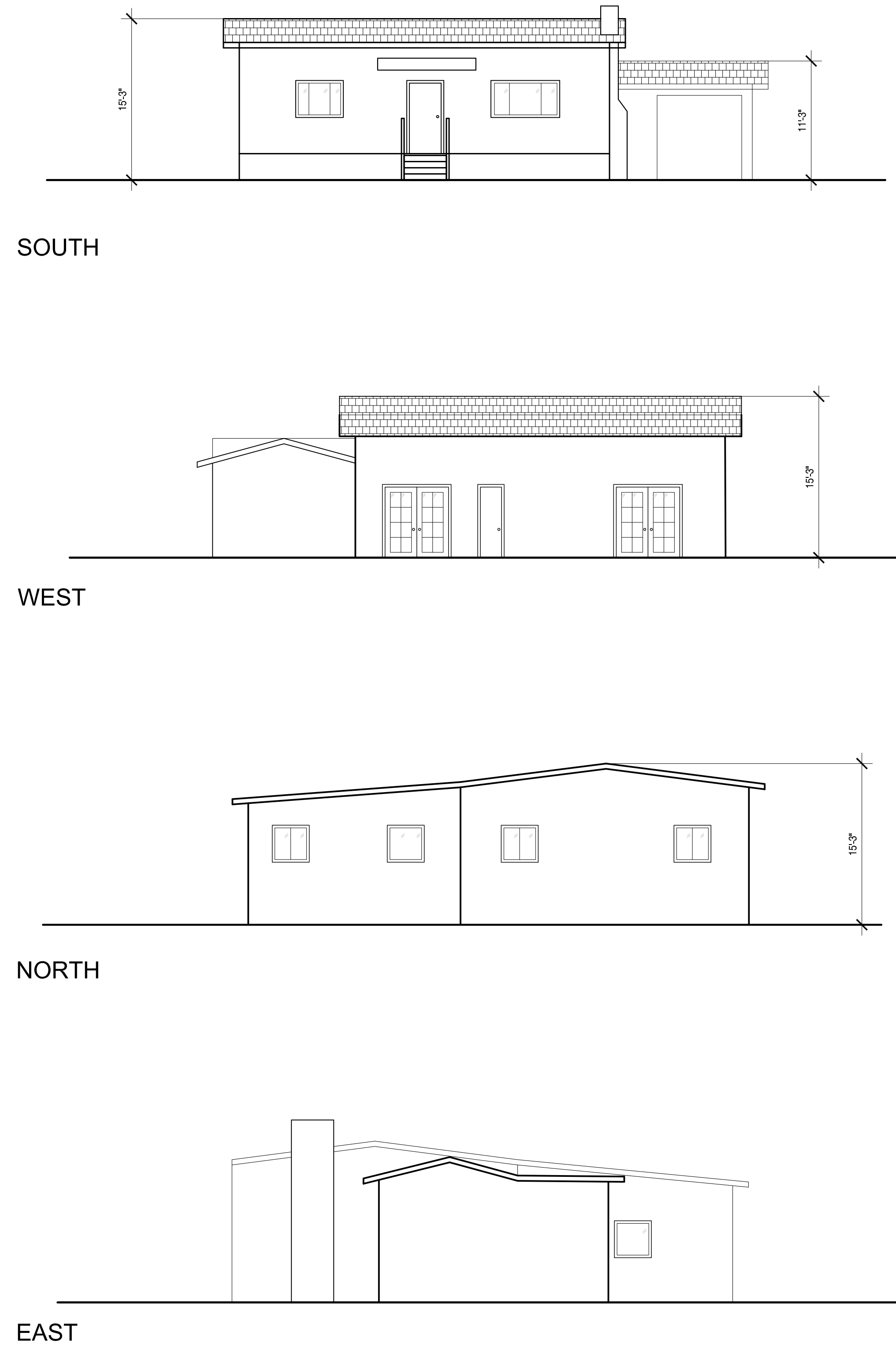


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(831) 920 8333
thomas@ecologicdesignlab.com

A-0

Use of these plans and specifications shall be restricted to the original date for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication for any purpose in whole or in part is prohibited. This to the plans and specifications remains with the architect without prejudice. Visual content on these plans and specifications shall constitute prima facie evidence of the existence of these conditions.



DATE	MAY/06/2019
SCALE	1/8" = 1'-0"
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE
EXISTING FLOORPLAN AND ELEVATIONS

MATHEWS RESIDENCE REMODEL

1565 ORD GROVE AVE. SEASIDE CA. 93955



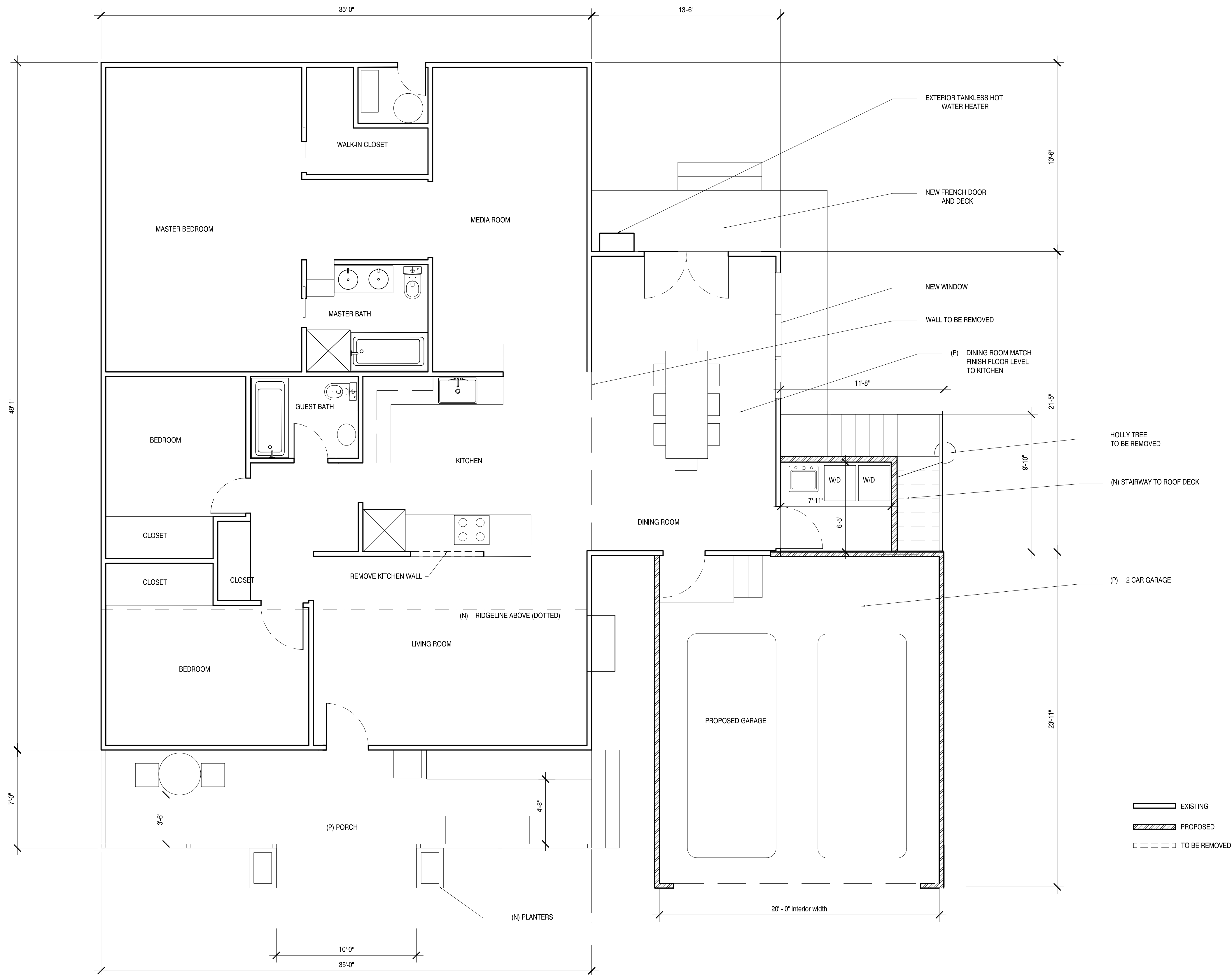
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SHEET

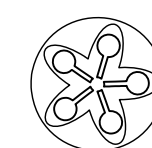
A-1

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DATE	MAY/06/2019
SCALE	1/4" = 1'-0"
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE	PROPOSED FLOORPLAN
MATHEWS RESIDENCE REMODEL	
1565 ORD GROVE AVE. SEASIDE CA. 93955	

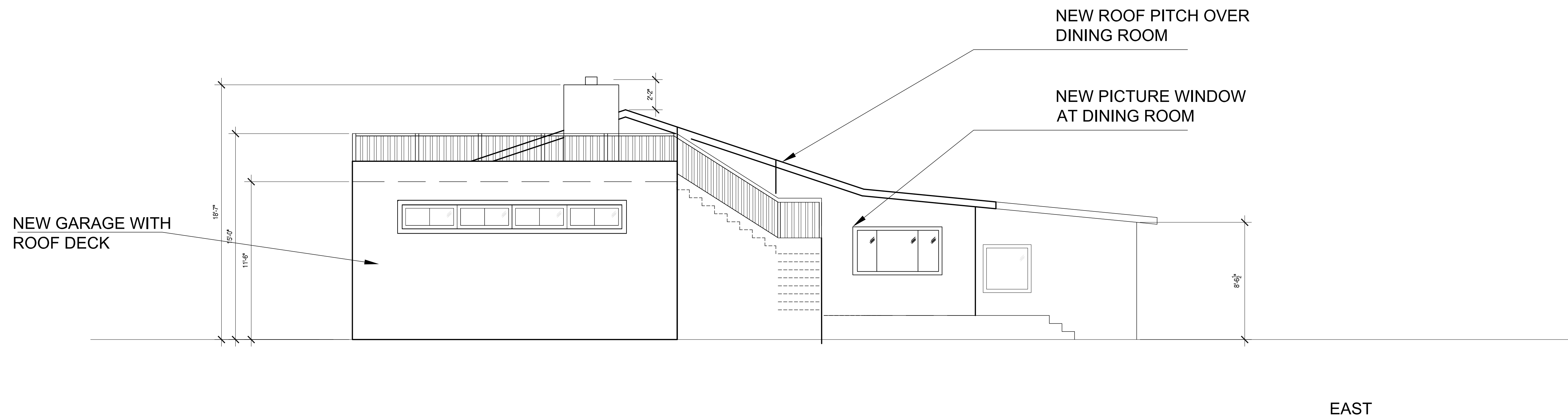


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DATE	MAY/06/2019
SCALE	NTS
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE	PROPOSED ELEVATIONS
MATHEWS RESIDENCE REMODEL	
1565 ORD GROVE AVE. SEASIDE CA. 93955	



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SHEET

A-3

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NEW FRENCH
DOORS TO DINING
ROOM

NEW GARAGE AND
STAIR TO ROOF
DECK

15'-0"

11'-6"

16'-8"

NORTH

NEW ROOF PITCH

NEW FRONT PATIO

10'-6"

11'-6"

14'-11¹¹/₁₆"

16'-8"

WEST

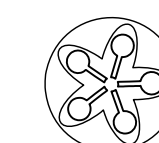


DATE	MAY/06/2019
SCALE	NTS
DRAWN BY	TR, LPG
JOB NUMBER	# 1833

TITLE
PROPOSED ELEVATIONS

MATHEWS RESIDENCE REMODEL

1565 ORD GROVE AVE. SEASIDE CA. 93955



Ecologic Architects

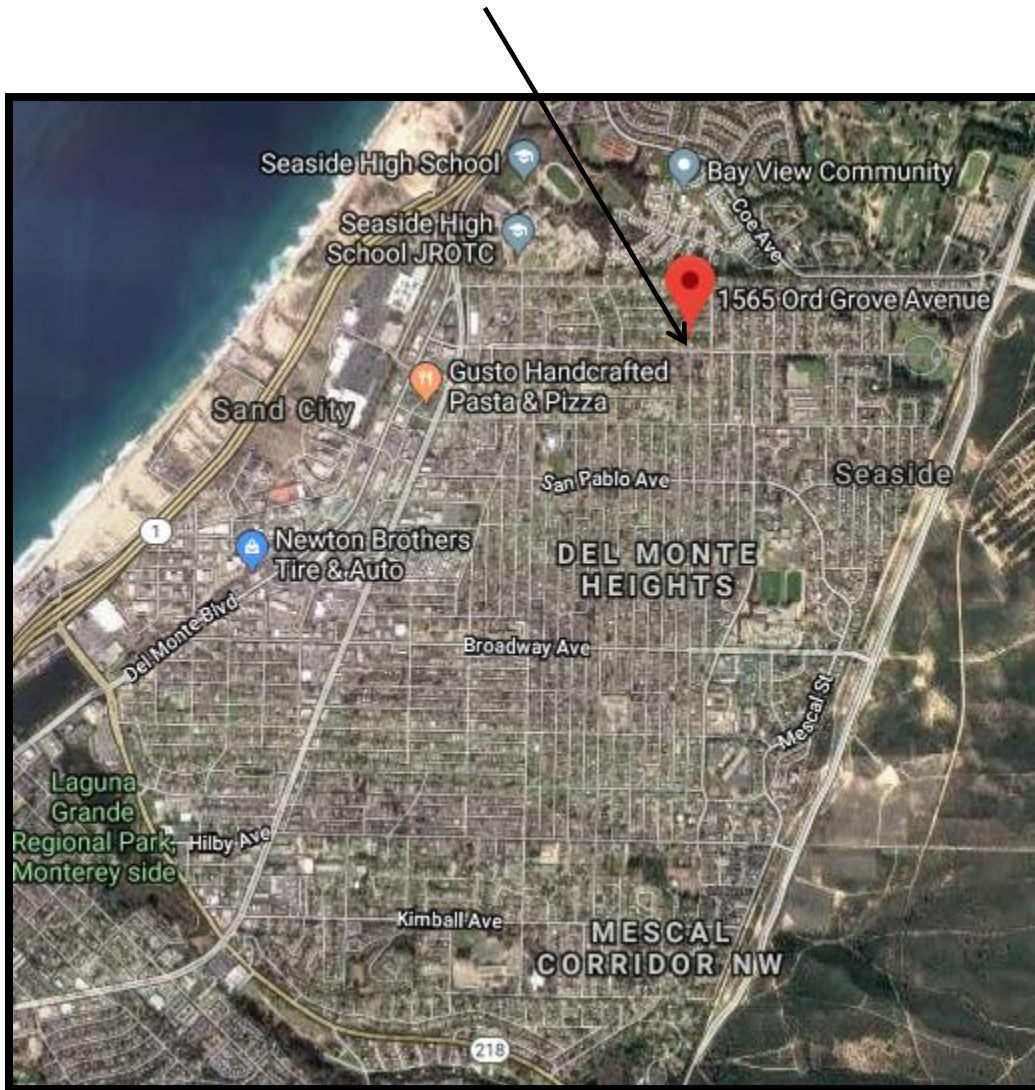
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SHEET

A-4

AttACHMENT 2 – Location Map

1565 Ord Grove Avenue



Attachment 3 – Site Photos

1565 Ord Grove Ave



Location of new garage





Location of new garage





Side yard view from subject property to residence on the east.

1565 Ord Grove Avenue



City of Seaside Single Family Residential Design Guidelines



INTRODUCTION

Design guidelines serve a valuable role in the architectural review process by communicating a city's expectations through clear design statements, photographs, specific examples, and supportive graphics. In practice, design guidelines encourage improved design, create design consensus, and promote a consistent level of quality throughout the city. Design guidelines represent a minimum level of expected quality and design, and many proposals will far exceed these standards, as the range of design excellence is limitless.

PURPOSE

The purpose of this document is to assist staff, the public and decision-makers through the architectural review process by clearly defining the City of Seaside's expectations for design quality, use of materials, and architectural imagery. It is the goal of these design guidelines to continually refine the concept of "good design" and to improve the design of homes, neighborhoods, and the greater community of Seaside.

ACCEPTANCE

BOARD OF ARCHITECTURAL REVIEW MEMBERS

Ken Rudisill, Chairman
Kathleen Ventimiglia, Vice-Chair
Cynthia Spellacy
Mitsugu Mori
Paul Mugan

ACCEPTED JULY 6, 2005

APPLICABILITY

These design guidelines apply to all new single-family residences and to additions or exterior modifications to existing single-family residences in the City of Seaside.

BOARD OF ARCHITECTURAL REVIEW

In cases where a formal review before the Board of Architectural Review (BAR) is required, the BAR will utilize these design guidelines in their review of the project.

SEASIDE GENERAL PLAN

Single-Family Residential Design Guidelines are required by specific policies and implementation plans contained in the Seaside General Plan. These policies and plans are as follows:

Land Use Policy LU-3.2: Improve the physical appearance of residential neighborhoods.

Implementation Plan LU-3.2.5 *Design Guidelines for Residential Development.* Adopt and implement Design Guidelines for residential development.

Urban Design Policy UD-2.1: Protect the character of single-family neighborhoods by restricting out-of-scale buildings, incompatible uses and designs, blocked views and/or access to sunlight, and excessive through traffic.

Implementation Plan UD-2.1.1 *Design Standards in Zoning Ordinance.* Adopt design standards in the Seaside Zoning Ordinance to establish the scale of building, guidelines for quality design in new construction, building additions, and redevelopment, procedures to protect existing private views and access to sunlight as much as possible while at the same time allowing others the opportunity to enjoy the magnificent views from Seaside.

CONTENTS

SITE PLANNING_____1

MASS AND SCALE_____5

ARCHITECTURAL FEATURES_____7

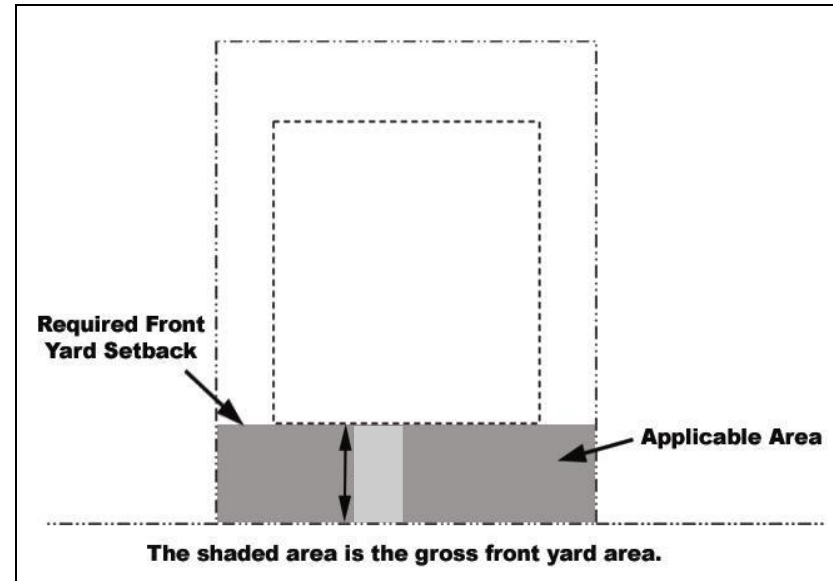
I. SITE PLANNING

A. Front Yard Coverage, Landscape and Hardscape

Neighborhood character can be enhanced by minimizing paved surfaces in front yards and maintaining landscaped areas. The front yard should serve as a buffer between the street and the home, providing a visual break and an improved streetscape. A neighborhood with well-maintained front yards will better preserve its value and will remain more appealing. Increased landscaping softens the appearance of a neighborhood, improves neighborhood aesthetics, provides habitat for birds, butterflies, and other wildlife, and creates a more desirable environment.

Front yard landscaping need not include turf, lawn or other water-intensive plants. Drought-tolerant and low water usage plants can be artfully installed to create an attractive appearance.

Limiting paved surfaces also provides environmental benefits by reducing water run-off, improving water percolation, facilitating on-site drainage and retention, and discouraging inappropriate vehicle parking and storage.



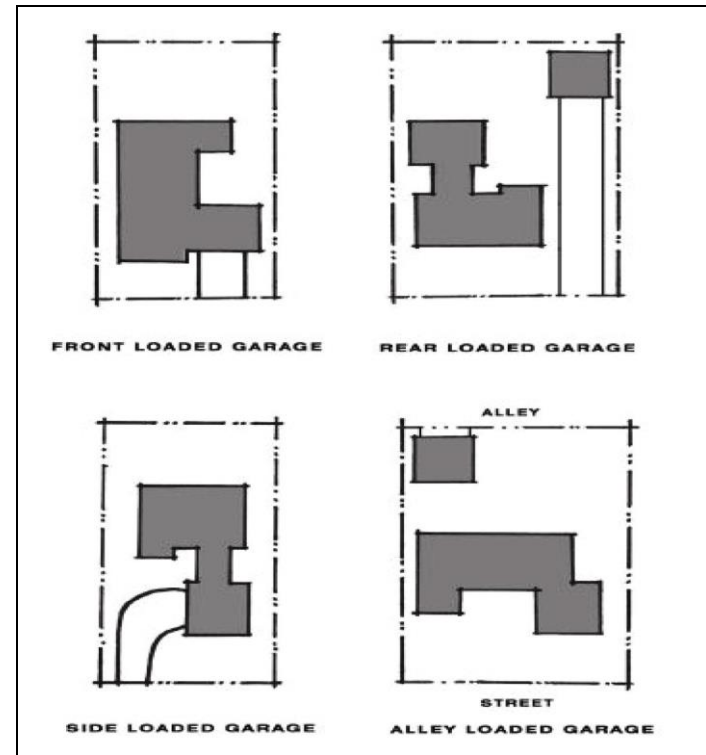
- i. Front yard lot coverage includes all paved surfaces: the driveway, parking areas, walkways, patios, and all other impervious surfaces. On lots narrower than 50 feet, the front yard lot coverage should not exceed 65% of the total front yard area. On wider lots, the front yard lot coverage should not exceed 50%.
- ii. Front yard patios should not be located closer than 5 feet from the sidewalk, adjacent properties or the house.
- iii. Entry walkways should extend to the sidewalk, rather than the driveway.

- iv. Landscaping should be used to frame, soften and embellish a home.
- v. Gravel, lava rock, and similar materials are discouraged when not used in conjunction with other landscaping.
- vi. Drought tolerant, salt and wind-resistant, and native plants should be used in landscaping. A list of drought tolerant plants recommended for Seaside is included as Appendix “A”.
- vii. Street trees should be installed in front yards to create a consistent and harmonious canopy.

B. Garage Placement

Street frontages dominated by front-loaded garages are detrimental to the sense of a people-friendly and pedestrian-oriented neighborhood. The following guidelines are intended to reduce the impacts of garages on the character of the neighborhood.

- i. Garage design and placement should diminish the visual impact of garage doors on street frontages. Garage doors should contain windows and/or additional architectural detailing.
- ii. Detached rear garages and alley-accessed garages are encouraged.



- iii. Side-accessed garages are encouraged to diminish the visual impact of the garage along street frontages.

- iv. Covered parking should be designed to minimize its visual impact by placing access to the side or rear wherever physically possible.



“Detached rear garages and alley-loaded garages are encouraged”

- v. Three-car front facing garages are discouraged where the lot width is less than 55 feet. Where three-car front facing garages are permitted, at least one garage door should be recessed a minimum of 5 feet beyond another garage door and permeable materials should be used at least on the portion of the driveway providing access to the recessed garage space.

- vi. On through-lots (lots having frontage on two parallel or approximately parallel streets), garage access should be provided from the street abutting the property line to the rear of the house.

C. Driveways

- i. Adequate space should be provided between two adjacent driveways to allow for landscaping. A minimum 18-inch wide planter should be provided where feasible between the side property line and the driveway.
- ii. New driveways should contain special design features to minimize their visual impact. The use of “wheel well”, “Bermuda” or “Hollywood” driveways, exposed aggregate, concrete pavers, soft materials such as turf blocks, or other special design features should be used to reduce the “hard” visual impact.
- iii. Driveways on corner lots should be located as far as possible from street intersections.
- iv. Where curb cuts are necessary, minimizing curb cut widths is encouraged. Driveway widths should be kept to a minimum to lessen the appearance of bulk and mass.

- v. No more than one curb cut per residential lot should be permitted along the same street frontage.
- vi. The use of alternative materials in place of asphalt or concrete to pave driveways is encouraged to reduce impervious surface

D. Walls, Fences, and Screening

- i. Walls and fences should be attractive and complement the style and character of the homes and the neighborhood.
- ii. Front yard fencing should be harmonious with the architectural style of the house. Solid walls over 36 inches in height are strongly discouraged in the front yard. Particular attention should be given to maintaining visibility for safety purposes on the portion of a corner lot abutting a street intersection.
- iii. Walls should be made of decorative masonry, wood, or a combination of both. Chain link or industrial fencing is strongly discouraged and should not be used in the front yard setback or on portions of a lot visible from a public right-of-way.



"Walls and fences should be designed in such a manner as to create an attractive appearance to the street and to compliment the style and character of the homes and the neighborhood"

- iv. Side or rear walls that face a street or sidewalk should contain features that break up long continuous walls (greater than 50') and to soften their appearance through changes in height, setback and vegetation.
- iv. Gates should be provided in walls or fences located in the front yard setback to facilitate convenient access by residents and visitors.
- v. Garbage areas should be screened by fences, and/or walls, that are compatible with other landscape or architectural features.

II. MASS AND SCALE

A. General

The following guidelines will ensure that the mass and scale of new homes and additions to existing homes are compatible with the surrounding neighborhood.

- i. The physical size and mass of the project should be proportional to the lot size.
- ii. The overall design of buildings should be compatible with the scale and mass of surrounding properties.
- iii. Architectural elements should be designed to eliminate the appearance of box-like buildings.
- iv. The scale and mass of new infill buildings should be reduced by stepping down the building height toward the street and adjacent smaller structures.



Inappropriate Usage of Mass and Scale.



Appropriate Usage of Mass and Scale.



Appropriate Usage of Mass and Scale.



Setback upper story where adjacent to one story building to create an appropriate transition.

B. Building Height and Second Story Decks

- i. Entries and massing of stories should be in proportion to the building façade as a whole. High-ceiling single-story areas may be permitted within the building if the building wall of the front elevation is not excessively tall.
- ii. Second Story or Roof Decks:
 - a. Should fit the existing architectural style;
 - b. Should be oriented away from neighbors' yards as much as possible;
 - c. Should use appropriate screening measures to reduce privacy invasion (i.e. solid railing walls, latticework and landscaping).
 - d. Spas, hot tubs and similar equipment are discouraged over the first floor, on balconies or second story or roof decks if visible from adjacent properties.

C. Second Story Setbacks

- i. The second story front setback should average 5 feet more than the first floor setback.
- ii. The second story side setback should average 3 feet more than the first floor setback.



"The second story front setback should average 5 feet more than the first floor setback."

- iii. For some architectural styles (i.e. Colonial Revival) it may not be appropriate to step back the second floor or in some cases it may not be reasonably feasible for additions to existing homes. A significant second story setback may not be necessary where the home is significantly set back from the street.

III. Architectural Features

The following guidelines encourage high quality design to enhance the character of residential neighborhoods. It is not the intent of these guidelines to promote any particular architectural style or to preclude creative design solutions that produce quality design.

A. General

- i. There is no specific architectural style required for residential structures in Seaside. Architecture should consider compatibility, as appropriate, with surrounding homes, including building style, form, size, material, and roofline.
- ii. The design of a new home, or addition, should commit to a specific architectural “style”, rather than combine various architectural styles and elements or create non-descript structures. This “style” should be clearly communicated and reinforced consistently throughout the house and accessory structures, including detached garages, carports, etc.
- iii. The exterior siding, roof articulation, windows and doors, and overall design of new

construction should be harmonious within the proposed architectural style.

- iv. The exterior treatment and overall design of additions to existing homes should respect the features and materials of the original structure, as appropriate.
- v. To the extent feasible, the architectural character established for the street facing elevations should continue on all elevations.
- vi. Features such as windows, doors, cornice elements, etc. should create a rhythmic composition, taking into consideration compatibility of scale, style and proportion. These elements should be detailed to provide modulation, visual interest, and textured relief.
- vii. The boundary between each floor of the dwelling structure should be delineated through belt courses, cornice lines, balconies, or similar architectural detailing.
- viii. The patterns of windows and doors should reflect the scale and patterns in the neighborhood.

- ix. Building features should reinforce and enhance the architectural form and style of the house. Dormers, bay windows, porches, balconies, entrance projections, etc. add interest to the design of the home. However, features such as large bay windows should not project into side setbacks, except on the street-facing side of a corner lot.
- x. Long unarticulated exterior walls are discouraged on all structures. Massing offsets, varied textures, openings, recesses, and design accents are encouraged to enhance the walls.

B. Front Porches and Entries

- i. Front porches, back porches and/or decks, which permit casual observation of alleys and streets, are encouraged.
- ii. Front porches should create an attractive interface with semi-public front yard areas. Front porches should have a minimum depth of 6 feet and a minimum width of 10 feet.



“Front porches should create an attractive interface with semi-public front yard areas.”

- iii. The primary entry and windows should be the dominant elements of the front façade, should face the street to provide pedestrian scale and should be clearly articulated through architectural detailing.

C. Roof Articulation

The roof design plays an important role in the sense of mass and scale of the building and in the architectural integrity of the building as a whole. The roof pitch and orientation also impact the transition between neighboring buildings.

- i. New roof designs should be compatible with the existing neighborhood character, such as type, slope, size and materials, and color.



“The use of traditional roof forms such as gables, hips, and dormers are encouraged”

- ii. The use of traditional roof forms such as gables, hips, and dormers are encouraged. The use of “foreign” residential roof forms, such as geodesic domes, “A” frames and flat roofs are strongly discouraged.

- iii. Roof forms should be consistent on all sides of the house and garage. All roofs should have a similar pitch except for the limited use of flat roof.
- iv. Avoid box-like appearance through variation in the roofline and building elevations.



“Avoid box-like appearance through variation in the roofline and building elevations”

- v. Vary roof lines through changes in height and form to break up massing. Long, single-ridge rooflines (over 30 feet long) are discouraged.
- vi. The style and form of roof additions to existing buildings should be compatible, as appropriate, with the existing roof style and form, and the style, materials, and pitch

should be taken into consideration when designing a roof addition.

D. Materials

The overall pattern, texture, and color of materials have significant effect on the scale, style and character of the building. The following guidelines should be referred to when selecting materials.

- i. Consistent and harmonious use of high quality, durable materials is encouraged. Piecemeal embellishment and frequent changes in material is discouraged.
- ii. Architectural detail should be comparable on all elevations, rather than concentrated on the front elevation.
- iii. Materials should complement the surrounding properties.
- iv. Materials should be of good quality and durable. “T-1-11” and similar sheet siding is discouraged.
- v. Environmentally-sound, or “green” building materials are encouraged and additional design consideration may be offered to accommodate solar panels, recycled materials, or other green products.
- vi. Materials should be consistent with architectural style of the building. For example, “Spanish” detail is consistent with stucco buildings with mission tile roofs.

DROUGHT TOLERANT PLANTS

Trees

Botanical Name	Common Name
Adenostema sparsifolium	Red Shanks
Aesculus californica	California Buckeye
Agonis flexuosa	Peppermint Tree
Arbutus menziesii	Madrone
Casuarina stricta	Beefwood
Ceanothus arboreus	Felt-leaf Ceanothus
Ceanothus thrysiflorus	Blue Blossom
Cedrus deodara	Deodar Cedar
Cercis occidentalis	Western Redbud
Comarostaphylis diversifolia	Mountain Mahogany
Cypressus gowenia	Gowen's Cypress
Geijera parviflora	Australian Willow
Hakea laurina	Sea Urchin
Laurus nobilis	Grecian Laurel
Lithocarpus densiflora	Tanbark Oak
Olea europaea	Olive
Parkinsonia aculeata	Jerusalem Thorn
Pinus radiata	Monterey Pine
Pittosporum crassifolium	Karo Tree
Quercus agrifolia	Coast Live Oak
Robinia species	Locust
Schinus molle	California Pepper
Umbellularia californica	California Bay

Small Shrubs

Botanical Name	Common Name
Artemesia californica	California Sagebrush
Calocephalus brownii	Cushion Bush
Castilleja latifolia	Monterey Paintbrush

Ceratostigmata willmottianum	Chinese Plumbago
Cistus villosus 'prostratus'	Sageleaf Rockrose
Correa alba	Australian Fuchsia
Eriophyllum confertiflorum	Golden Yarrow
Eriophyllum staechadifolium	Lizard Tail
Eryops hybrid	Yellow Bush Daisy
Gautheria shallon	Salal
Juniperus conferta	Shore Juniper
Kniphofia uvaria	Red Hot Poker
Leonotis leonurus	Lion's Tale
Myrtus specia	Myrtle
Ribes viburniflorum	Catalina Currant
Rosmarinus officinalis	Rosemary
Salvia species	Sage
Santolina Chamaecyparissus	Lavender Cotton
Sollya heterophylla	Australian Bluebell Creeper
Symphoricarpos alba	Snowberry
Teucrium fruticans	Bush Germander
Trichostema lanatum	Woolly Blue Curly
Westringia rosmariniformis	Westringia
Zauschneria californica	Red California Fuchsia

Large Shrubs

Botanical Name	Common Name
Acacia species	Acacia
Adenostema fasciculatum	Chamise
Arctostaphylos densiflora	Vinehill Manzanita
Atriplex lentiformis 'breweri'	Brewer Saltbrush
Berberis darwinii	Darwin Barberry
Carissa grandiflora	Natal Plum
Catha edulis	Khat
Ceanothus 'Frosty Blue'	

APPENDIX "A"

Ceanothus impressus	Santa Barbara Ceanothus
Ceanothus thrysiflorus	Blue Blossom
Cercis occidentalis	Western Redbud
Cistus purpureus	Orchid Spot Rockrose
Comarostaphylis diversifolia	Mountain Mahogany
Cottoneaster lacteus	Red Clusterberry
Dendromecon harfordii	Island Bush Poppy
Dendromecon rigida	Bush Poppy
Dodonaea viscosa	Hopseed Bush
Echium fastuosum	Pride of Madeira
Eleagnus pungens	Silverberry
Fremontodendron californica	Flannel Bush
Hakea suaveolens	Sweet Hakea
Heteromeles arbutifolia	Toyon
Lavatera assurgentifolia	Tree Mallow
Leptospermum laevigatum	Australian Tea Tree
Leptospermum scoparium	New Zealand Tea Tree
Lupinus arboreus	Yellow Bush Lupine
Lupinus chamissonis	Purple Bush Lupine
Myrsine africana	African Boxwood
Nandina domestica	Heavenly Bamboo
Nerium oleander	Oleander
Ochna serrulata	Bird's Eye Bush
Phormium tenax	New Zealand Flax
Pittosporum tenuifolium	Pittosporum
Prunus illicifolia	Holly-Leaf Cherry
Prunus lyonii	Catalina Cherry
Psidium littorale	Lemon or Strawberry Guava
Rhamnus alaternus	Italian Buckthorn
Rhamnus californica	Coffeeberry

<i>Large Shrubs (continued)</i>	
Botanical Name	Common Name
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Rosa rugosa	Ramanas Rose
Vaccinium ovatum	Evergreen Huckleberry
Xylosma congestum	Xylosma

Groundcovers

Botanical Name	Common Name
Abronia latifolia	Yellow Sand Verbena
Abronia umbellatum	Pink Sand Verbena
Arctostaphylos edmundsii	Little Sur Manzanita
Arctostaphylos pumila	Dune Manzanita
Arctotheca calledula	Capeweed
Arctotis hybrids	African Daisy
Armeria merittima	Sea Pink/Thrift
Artemesia pycnocephala	Sandhill Sage
Asparagus sprengeri	Sprenger Asparagus
Atriplex semibaccata	Australian Saltbrush
Baccharis pilularis	Dwarf Coyote Brush
Camissonia cheiranthifolia	Beach Primrose
Ceanothus giseus	Ceanothus
Convolvus mauritanicus	Ground Morning Glory
Erysimum ammodophilum	Coast Wall Flower
Fragaria chiloensis	Beach Strawberry
Gazania species	Gazania
Helianthemum nummularium	Sunrose
Latana montevidensis	Lantana
Lotus scoparius	Deerweed
Mahonia repens	Creeping Mahonia

Oenothera berlandieri	Mexican Evening Primrose
Osteospermum fruticosum	Highway Daisy
Ribes viburnifolium	Red Flowering Currant
Rosmarinus officinalis 'prostratus'	Creeping Rosemary

Perennials

Botanical Name	Common Name
Achillea species	Yarrow
Aeonium species	Canary Island Rose
Aloe species	Aloe
Artemesia pycnocephala	Sandhill Sage
Centaurea cineraria	Dusty Miller
Centranthus ruber	Red Valerian
Cerastium tomentosum	Snow-in-Summer
Coreopsis species	Coreopsis
Dudleya caespitosa	Bluff Lettuce
Eschscholzia californica	California Poppy
Gaillardia gradiflora	Blanket Flower
Limonium perezii	Sea Lavender
Perovskia 'Blue Spire'	Russian Sage
Phormium tenax	New Zealand Flax
Romneya coulteri	Matilija Poppy
Salvia species	Sage
Sisyrinchium bellum	Blue-eyed Grass
Trichostema lanatum	Woolly Blue Curls

Bulbs

Botanical Name	Common Name
Amarillis belladonna	Naked Lily
Crocasmia crocosmiflora	Montbretia
Hemerocallis	Daylily

APPENDIX “A”

Ipheion uniflorum	Spring Starflower
Iris douglasiana	Pacific Coast Iris
Narcissus	Daffodil
Tulipa clusina	Lady Tulip
Zantedeschia aethiopica	Calla Lily

Vines

Botanical Name	Common Name
Bougainvillea	Bougainvillea
Campsis radicans	Trumpet Creeper
Cissus antarctica	Kangaroo Treebine
Ipomoea acuminata	Blue Dawn Flower
Muehlenbeckia complexa	Matress Vine
Polygonum aberti	Silver Lace Vine
Rosa 'Cecile Brunner'	Sweetheart Rose
Rosa banksiae	Lady Bank's Rose
Solandra maxima	Cup of Gold Vine
Tecomaria capensis	Cape Honeysuckle
Wisteria species	Wisteria

Ornamental Grasses

Botanical Name	Common Name
Deschampsia caespitosa	Tufted Hairgrass
Deschampsia holciformis	Pacific Hairgrass
Elymus arenarius 'Glaucus'	Blue Lyme Grass
Festuca californica	California Fescue
Muhlenbergia dumosa	Bamboo Muhly
Muhlenbergia rigens	Deer Grass
Pennisetum species	Fountain Grass
Stipa gigantea	Giant Feather Grass
Stipa pulchra	Purple Needle Grass
Stipa tenuissima	Mexican Feather Grass