



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL REVIEW

REGULAR MEETING
COUNCIL CHAMBER
440 Harcourt Avenue
Wednesday, July 15, 2015
5:30 PM

PLEASE TURN OFF YOUR CELL PHONES UPON ENTERING THE MEETING

1. **CALL TO ORDER**

2. **ROLL CALL - ESTABLISHMENT OF QUORUM**

BOARD OF ARCHITECTURAL REVIEW

Ken Rudisill	Chair
Toby Keller	Board Member
Wendell Montes	Board Member
Mitsugu Mori	Board Member
Kathleen Ventimiglia	Board Member

3. **APPROVAL OF MINUTES**

4. **ORAL COMMUNICATION**

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. **BUSINESS ITEMS**

- A. **SPECIFIC PLAN APPLICATION #SPL12-01, Monterey Downs, LLC, (Applicant) is requesting that the Board of Architectural Review receive a presentation and provide comments on the proposed architectural design guidelines and development standards of the Monterey Downs and Monterey Horse Park and Central Coast Veterans Cemetery Specific Plan located northeast of the Normandy Road/Parker Flats Cut-off intersection on the former Fort Ord.**

PURPOSE: The purpose of this item is to review the architectural design guidelines and

development standards in the proposed Monterey Downs and Monterey Horse Park and Central Coast Veterans Cemetery Draft Specific Plan (the “Draft Specific Plan”) and to provide recommendations to the Planning Commission and City Council on the architectural design guidelines and development standards in the proposed “Draft Specific Plan.”

RECOMMENDATION: It is recommended that the Board of Architectural Review receive the presentation, ask questions, accept public comments, and provide recommendations to the Planning Commission and City Council regarding the architectural design guidelines and development standards.

6. REPORTS FROM BOARD MEMBERS

7. REPORTS FROM STAFF

8. ADJOURNMENT

Next Regularly Scheduled Meeting:
August 5, 2015
5:30 PM
Seaside City Hall

The City of Seaside is an ADA accessible facility and is committed to include the disabled in all of its services, programs and activities. Any person who requires accommodation to be able to participate in this meeting is asked to contact the office of the City Clerk at 899-6707, no fewer than two business days prior to the meeting to allow for reasonable arrangements.

The City Council Chambers is equipped with a portable microphone for anyone unable to come to the podium. Assisted listening devices are also available.

Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Meetings are also available through live streaming at:
<http://cvp.telvue.com/player?id=T01629&video=52314&noplaylists=1&width=400&height=300> Videos of past meetings are available on demand through the City's website: <http://www.ci.seaside.ca.us>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



**CITY OF SEASIDE
STAFF REPORT**

Item No.: 5.A.

TO: Board of Architectural Review

BY: Lisa Brinton, Community and Economic Development Services Manager
Diana Ingersoll, Deputy City Manager Resource Management Services
Rick Medina, Senior Planner

DATE: July 15, 2015

SUBJECT: **SPECIFIC PLAN APPLICATION #SPL12-01. Monterey Downs, LLC,**
(Applicant) is requesting that the Board of Architectural Review receive a
presentation and provide comments on the proposed architectural design
guidelines and development standards of the Monterey Downs and
Monterey Horse Park and Central Coast Veterans Cemetery Specific Plan
located northeast of the Normandy Road/Parker Flats Cut-off intersection
on the former Fort Ord.

PURPOSE

The purpose of this item is to review the architectural design guidelines and development standards in the proposed Monterey Downs and Monterey Horse Park and Central Coast Veterans Cemetery Draft Specific Plan (the “Draft Specific Plan”) and to provide recommendations to the Planning Commission and City Council on the architectural design guidelines and development standards in the proposed “Draft Specific Plan.”

RECOMMENDATION

It is recommended that the Board of Architectural Review receive the presentation, ask questions, accept public comments, and provide recommendations to the Planning Commission and City Council regarding the architectural design guidelines and development standards.

BACKGROUND

Closure of Fort Ord

The subject property is located on the former Fort Ord. It is identified as a development parcel in the Fort Ord Base Reuse Plan, which was adopted by the Fort Ord Reuse Authority in 1997.

Cemetery Endowment Fund

In compliance with AB 3035 requirements, the City of Seaside, County of Monterey, Central Coast Veterans Cemetery Foundation, and the Fort Ord Reuse Authority entered into a memorandum of understanding to cooperate in processing the cemetery plan and to establish an endowment fund for continued operation of the cemetery as required by the California Department of Veterans Affairs. These local agencies developed a strategy to meet AB 3035 requirements. Specifically, the strategy involved selling the portion of the total 178-acre cemetery site that was not necessary to meet the projected burial needs of the surrounding Veterans population. As a result, an approximately 31.5-acre portion of the property (Endowment Parcel) was identified and included within the Specific Plan Area of the project site. It is identified in Attachment 1, Illustrative Conceptual Site Plan.

Exclusive Negotiating Agreement

On September 16, 2010, the City of Seaside, the former Redevelopment Agency of the City of Seaside, and Monterey Downs, LLC (Applicant) entered into an Exclusive Negotiating Agreement (ENA) for the potential development of approximately 550 acres of land on the former Fort Ord. The property is partially located within the city limits and jurisdiction of the City of Seaside and a portion of the property is located within unincorporated Monterey County and the jurisdiction of the County. In November 2011, the City of Seaside and the County of Monterey entered into a Memorandum of Understanding (MOU) for processing both the environmental review and economic review documents for the land use entitlements and regulatory approvals that would be required for the proposed Monterey Downs and Monterey Horse Park and Central Coast Veteran's Cemetery project. This MOU was subsequently terminated as the applicant requested the entire project to be developed within the City of Seaside. The City Council has extended the ENA twice: the first amendment was approved on May 16, 2013 and the second amendment was approved on March 5, 2015.

Applications and Process

On June 5, 2012, the City received the following development applications from Monterey Downs, LLC: Sphere of Influence Amendment; Prezoning and Annexation; General Plan Amendment; Zoning Amendment; Specific Plan; Master Tentative Tract Map; and a Vesting Tentative Tract Map.

Since that time, City staff has been processing the applications, which includes preparation of an environmental impact report (EIR). The Draft EIR has been circulated for public review beginning on March 31, 2015 and ending on June 19, 2015. A joint study session, which included the Board of Architectural Review, as well as the City Council and Planning Commission, was held on May 30, 2013 to provide an overview of the administrative project and Draft Specific Plan. A second joint study session, which included the Board of Architectural Review, as well as the City Council and Planning Commission, was held on April 30, 2015 to provide an overview of the project and to accept public comment on the project during the public review period on the Draft EIR.

City staff and their consultants are currently in the process of preparing responses to the comments received during the public review period on the DEIR, as well as preparation of the Final EIR, which will be completed prior to the Planning Commission considering a

recommendation to the City Council and the City Council taking action on the Specific Plan, as well as the other applications.

SITE LOCATION AND DESCRIPTION

A portion of the 711.1-acre project site (approximately 75 acres) is located within the city limits and a portion (approximately 475 acres) is located within unincorporated Monterey County. If approved by the City Council, the City would annex the 475 acres of unincorporated land into the City, so that all development would occur within the City limits.

The project site is a part of the former Fort Ord and was used for military training. The predominantly undeveloped Project site contains only limited improvements associated with the site's former use as a military base, including approximately ten structures interspersed throughout the site and paved parking lots on a portion of the proposed Seaside corporation yard site. Four paved roads and numerous gravel/dirt roads traverse the Project site. Additionally, two overhead utility corridors traverse the Project site: one utility corridor through the center of the site in a north-south orientation; and one parallel to Gigling Road.

Of the nine habitat types that are present on the Project site, coast live oak woodland is the predominant habitat. Central maritime chaparral, central coast scrub, and non-native grassland are also present on the Project site, among others. Trees within the Project site are comprised almost entirely of coast live oak (*Quercus agrifolia*), although a few Monterey pine (*Pinus radiata*) and Monterey cypress (*Cupressus macrocarpa*) are also present.

Adjacent land uses are presented in Figure 1, Project Site Adjacent Land Uses.

Figure 1: Project Site Adjacent Land Uses

	NW	N	NE
	Army Buildings and City-designated Mixed-Use Parcels	CSUMB Open Space	CSUMB Open Space
W	Army Housing	Project Site	Monterey County Open Space
	Chartwell School and Army Housing	Monterey County Open Space and MPC Vacant Parcels	Monterey County Open Space
	SW	S	SE

EXISTING LAND USE DESIGNATIONS

The project site contains various land use designations/concepts in the following plans: City of Seaside General Plan, Monterey County General Plan, and the Fort Ord Reuse Plan. City of Seaside land use designations are High Density Residential and Parks and Open Space. The Monterey County General Plan land use designations are Low Density Residential, Business Park/Light Industrial Office/Research & Development, and Public Facility/Institution. The Fort Ord Reuse Plan land use concept and ultimate development designations are Low Density Residential, Business Park/Light Industrial Office/Research & Development, Public Facility/Institution, Military Enclave, and Open Space Recreation. These land use designations and concepts do not reflect the changes in concepts made through the 2003 East Garrison/Parker Flats Land Use Modification Memorandum of Understanding, which affects the portion of the project site that is currently within unincorporated Monterey County which includes property to the east and south (Parker Flats area), as well as land in the East Garrison area of the former

base. This MOU effectively reduced the acreage for low density residential uses, allowed for equestrian uses at the project site, and allowed for more development within East Garrison. As a result of this “land swap” MOU, the protected habitat on the former Fort Ord was increased by 246.7 acres (177.6 acres of maritime chaparral, 66.3 acres of oak woodland, and 2.8 acres of grassland).

PROJECT DESCRIPTION

The 711.1-acre project includes 1,280 homes including single-family and multi-family; 535,000 square feet of commercial, including two, 200-room hotels; a 256-unit qualified worker lodging facility; Monterey Horse Park equestrian facility; a 225,000 square foot sports arena, and a horse training/racing track (Monterey Downs); a 72.5-acre “Oak Oval” open space; a public facility area for the Seaside Corporation Yard; and the Veterans Cemetery. Development of the Veterans Cemetery is under the jurisdiction of the State of California; however, the ancillary portions of the cemetery (approximately 4 acres for Veterans hall, cultural history museum, amphitheater and vehicle parking areas) remain under the jurisdiction of the City of Seaside.

Development of this project will require the following approvals: Sphere of Influence Amendment; Rezoning and Annexation; General Plan Amendment; Zoning Amendment; Specific Plan; Master Tentative Tract Map; and a Vesting Tentative Tract Map.

A Draft Specific Plan has been prepared by the applicant. The Draft Specific Plan was provided to the Board in April 2015. Its contents consist of an Introduction, Land Use Plan, Circulation Plan, Public Facilities and Services, Architectural Design Guidelines, Development Standards, Landscape and Grading Standards, and Implementation. It can be found online at http://seasidemontereydownsandveteranscemeteryspecificplan.com/Documents/specific_plan/default.htm. The Draft Specific Plan Land Use Plan is included as Attachment 2. The Land Use Plan identifies the various Planning Areas within the plan. They include four (4) residential areas (RES 1, RES 2, RES 3, and RM), two (2) commercial areas (C-1 and C-2), two (2) recreation areas (REC-1 and REC-2), one (1) public facility area (PF), one (1) open space area (OS), and the Veterans Cemetery (VC). An illustrative conceptual site plan is included as Attachment 1.

Specific plans are authorized by Government Code §65450. A specific plan is a tool for the systematic implementation of the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. A specific plan may be as general as setting forth broad policy concepts, or as detailed as providing direction to every facet of development from the type, location and intensity of uses to the design and capacity of infrastructure; from the resources used to finance public improvements to the design guidelines of a subdivision.

If the City Council adopts the Specific Plan, developers will be required to follow a specific process for processing development applications pursuant to the Specific Plan. The following discussion is regarding that process and the Board of Architectural Review’s role in that process.

DEVELOPMENT REVIEW AND APPROVAL PROCESS

Amendment Procedures

In accordance with Section 8.3.2, Amendment Procedures, the Draft Specific Plan allows for both minor and major modifications. Minor modifications, which are detailed in the Draft Specific Plan, would not require an amendment to the Specific Plan and would require approval by the City's Zoning Administrator. Major modifications are modifications that would not qualify under the minor modification procedure. Major modifications require a major modification permit application and would be considered by the Planning Commission. The parameters of a major modification are detailed in Section 8.3.2 of the Draft Specific Plan.

Development Review and Application Procedures

In accordance with Section 8.3.3, Development Review and Application Procedures, applications for proposed construction of structures and site improvements would require site plan and design review approval as set forth in subsections 1-8 of this section. Development applications shall include the following:

- A Landscape and Urban Design Program; and
- Storm Water Control Plan; and
- Statement of Compliance with the Specific Plan, Design Guidelines; and Design Standards; and
- Statement of consistency with the Fort Ord Reuse Authority and Resources Management Plan and Master Resolution; and
- Other items as deemed necessary by the Specific Plan.

Development applications found to be in conformance with the provisions of the Specific Plan would then be reviewed by the Board of Architectural Review. The Board may approve, conditionally approve, or deny the application. The Board's action shall include the following findings:

- a. Inclusion of adequate landscape and urban design program.
- b. Conformity with applicable landscape and urban design provisions of this Specific Plan.
- c. Conformity with the design guidelines of this Specific Plan, including, as applicable, building detail, architecture and quality of design, lighting, fences and walls, color and materials, trash enclosures, loading, delivery service, storage areas, mechanical equipment and accessory structures.

Development applications that are not in conformance with the provisions of the Specific Plan would be considered as incomplete and/or determined to represent a Major Modification to the Specific Plan, possibly requiring additional review of the project in compliance with the California Environmental Quality Act (CEQA) and revisions to the EIR. Major modifications are listed under Section 8.3.2, Amendment Procedures, of the Specific Plan and would fall under the following parameters:

1. Deviations exceeding the permitted standards for minor modifications described above.
2. Modifications to development standards that exceed the standards listed as a minor modification and that are required by other agencies that regulate the proposed

development (e.g. California Racing Board, Regional Water Quality Control Board, Marina Coast Water Agency, etc.).

3. To allow a decrease in required number of parking spaces (not to exceed 25%) based on the quantifiable information provided by the development team regarding shared parking or reduced demand.
4. The request to transfer density rights and/or request modifications to planning area acreages, as described in Chapter 2.5 of this Specific Plan.

Major Modifications would first require the review and approval of the Development Application by the Planning Commission. The Planning Commission may approve, conditionally approve, or deny the Major Modification. If the Planning Commission ultimately approves the Development Application with major modifications, the Board shall then consider the Commission's findings for approval, and review the site plan(s) and design elements only.

Development Applications for commercial equestrian facilities must develop an Equestrian Management Plan for review and approval by the Planning Commission.

An adopted Specific Plan is a living document and is expected to be periodically updated from time to time. It is the responsibility of the applicant to ensure compliance with the adopted rules and standards of the Specific Plan at time of design and construction for each applicable phase.

Architectural Design Guidelines

The Architectural Design Guidelines are Chapter 5 of the Draft Specific Plan. This chapter of the Draft Specific Plan is included as Attachment 3. It is also available on line at http://seasidemontereydownsandveteranscemeteryspecificplan.com/Documents/specific_plan/5_Architectural_Design_Guidelines.pdf.

The purpose of these architectural design guidelines is to identify the general architectural design concepts for the design and implementation of the buildings/structures and roadway/trail network within Monterey Downs. The design concepts presented are intended to establish the overall architectural character for the development, reflecting the historical development precedents found within the City and surrounding areas, as well as the equestrian nature of the proposed recreation tourism venues. The goal is to promote both visual compatibility and variety in a community setting using a number of traditional and contemporary architectural styles and quality/sustainable architectural innovations, as common practice and technology dictate. These architectural design guidelines provide a strong framework to ensure that Monterey Downs is developed in a manner that enhances the existing development found elsewhere in Seaside and future innovations in design.

The architectural design guidelines will be followed by developers, builders, designers, Seaside staff and decision makers in the design and review of future development projects within the Monterey Downs specific plan area. These guidelines should be considered as examples of harmonious design rather than rigid requirements. Reasonable substitutions in styles, materials and colors shall be permitted if they are found to be consistent with the Draft Specific Plan's overall purpose and design intent following the Major Modification process outlined in Chapter 8 of the Draft Specific Plan.

Residential Design Guidelines. The residential design guidelines are for the RES-1, RES-2, RES-3, and RM Planning Areas. Products types include single-family detached, single-family detached cluster, and multi-family residential/campus housing.

A variety of architectural styles is proposed. Distinguishing characteristics of each architectural style are described in text, tables, and pictures in the Residential Design Guidelines. Architectural styles include the American Farmhouse, California Bungalow, Craftsman, Monterey, Spanish Eclectic, and Farmhouse-Ranch Hybrid (for Multi-Family Residential and Campus Housing Only). The residential design guidelines address standards for a variety of floor plans and elevations, building massing and scale, window openings, building material and color blocking, color schemes, roofs, light and glare, and utilities (Attachment 3).

Commercial Architectural Guidelines. The commercial architectural design guidelines are for the C-2 Planning Area, also referred to as “Country Walk” in the Draft Specific Plan. The C-2 Planning Area would accommodate commercial, retail services, restaurants, hotels, offices, theaters, museum/cultural venues, mixed-use development, and multi-family residential. This commercial district would be a place for shopping, dining, working, and gathering.

The architectural style for the C-2 Planning Area is Western architectural style. A mix of different architectural styles is discouraged, although variety of building colors and materials within the overall context of Western architecture is permitted. Distinguishing characteristics of the Western architectural theme are described below:

- Rectilinear building form, with a dominant use of the 90 degree angle for major plane and elevation elements
- Street façade consisting of a series of small buildings that vary in height, colors and materials
- Building fronts generally set to the street property line or build-to line with zero front setback
- Typically shed or gable roof with the ridgeline extending perpendicular to the street and ending at the false front or parapet of the building
- Relatively articulated doors and windows
- Windows designed to represent multiple, small panes of glass rather than large plate glass
- Transom windows
- Flat arches on masonry façade
- Awnings over windows
- Doors with solid or opaque perimeter, glass panels in the center; ornate brass or bronze hardware
- Pilasters and reveals
- Cornices and corbels along parapets
- Accent base and capitals on columns and posts
- Chamfered corners on columns and posts
- Exterior building materials consisting of horizontal wood siding with a reveal, vertical wood board and batten, brick masonry, corrugated tin or galvanized steel, steel trowelled smooth finished concrete plaster

- No highly reflective or mirrored glass is permitted
- Wall surface colors to recall natural materials; no bright, artificial or metallic colors
- Accent colors to be muted blues, greens, yellows, browns, and shades of white and beige.
- Roof materials consisting of composition shingle, flat concrete tile, corrugated or standing seam metal compatible with the Western architectural theme

These design characteristics are further illustrated in pictures in Chapter 5 of the Draft Specific Plan (Attachment 3).

Hotels and Office Park Architectural Guidelines. The Hotels and Office Park Architectural Guidelines are for the C-1 Planning Area. The C-1 Planning Area would cater to the business and recreational traveler, parents of local college students, and guests attending local events. It will also accommodate commercial offices, a business traveler hotel, and a 5,000 square foot neighborhood serving tennis and swim recreation center. This Planning Area is adjacent to the C-2 Planning Area and the RES-2 (residential) Planning Area.

The architectural styles of the extended stay hotels and office park development within Monterey Downs would be similar to the blend of traditional styles found in Seaside and surrounding areas. Complementary architectural styles, such as Craftsman, Monterey and Spanish Eclectic, which relate to the Western architectural style of the commercial district, are appropriate for the extended stay hotels and office park buildings. Examples of the proposed architectural styles for the extended stay hotels and office park buildings are presented in both text and pictures in Chapter 5 of the Draft Specific Plan (Attachment 3).

Horse Park, Training Track and Sports Arena Architectural Guidelines. The Horse Park, Training Track and Sports Arena Architectural Guidelines are for the REC-1 and REC-2 Planning Areas. The REC-1 Planning Area is reserved for the Monterey Horse Park, a non-profit organization offering year-round access to various equestrian events including dressage, eventing, jumping, driving, vaulting, endurance, para-equestrian, and reining. They anticipate hosting regional, state, national, and international events. The REC-2 Planning Area would accommodate an equestrian training/race track with 1,500 seats, and a sports arena accommodating up to 6,500 visitors.

The architectural style of buildings in the horse park should be themed to reflect the equestrian nature of the venue. The architectural style of the sports arena complex should be compatible with the architectural styles in the other areas of Monterey Downs. Typical examples of the sports arena, grandstand, training track and horse stables are provided in both text and pictures in Chapter 5 of the Draft Specific Plan (Attachment 3).

Central Coast Veterans Cemetery. The burial site layout of the Veterans Cemetery will be designed and implemented by the California Department of Veterans Affairs. Accessory structures (e.g. chapels, amphitheaters, storage buildings) would be reviewed by the City of

Seaside in accordance with the goals and policies of the Draft Specific Plan and in conformance with the City's Zoning Code.

Development Standards

The development standards in the Draft Specific Plan, presented in Chapter 6, would constitute the zoning for the specific plan area. Chapter 6 can be found at http://seasidemontereydownsandveteranscemeteryspecificplan.com/Documents/specific_plan/6_Development_Standards.pdf. This section addresses Sustainability Requirements and Lot and Building Requirements for each land use (residential, commercial and mixed-use, and recreational).

Residential. Residential lot and building requirements are presented in Table 6.1 for single-family residential, single-family courtyard residential and multi-family residential/campus housing. The requirements address lot criteria (width, depth, area, coverage); minimum dwelling unit size and maximum size for accessory structures; building setbacks; building separation; building height; private open space; off-street parking; and walls, fences and hedges.

Commercial and Mixed-Use. Commercial and Mixed-Use lot and building requirements are presented in Table 6.2 for Commercial, Mixed Use; and Office, Hotel, Recreation. The requirements address site criteria, building setbacks, building height, and off-street parking.

Recreational. Recreational lot and building requirements are presented in Table 6.2 for the Horse Park and the Training (Race) Facility. The requirements address structure setback, structure height, and off-street parking.

Central Coast Veterans Cemetery. The burial site layout of the Veterans Cemetery will be designed and implemented by the California Department of Veterans Affairs. Accessory structures (e.g. chapels, amphitheaters, storage buildings) would be reviewed by the City of Seaside in accordance with the goals and policies of the Draft Specific Plan and in conformance with the City's Zoning Code.

Landscape Design Standards

Landscape design standards are addressed in Chapter 7 of the Draft Specific Plan. Chapter 7 can be found at http://seasidemontereydownsandveteranscemeteryspecificplan.com/Documents/specific_plan/7_Landscape_Grading_Design_Std.pdf. This section addresses landscape design principles; conceptual landscape planning for streetscapes, and parks and open space; landscape standards for service areas and refuse enclosures, walls and fences, paving, irrigation, and landscape maintenance; lighting standards; and parking lot design standards.

Circulation Plan

The Circulation Plan addresses the street system, as well as pedestrian circulation and trails planning. The pedestrian and circulation and trails planning is addressed in Chapter 3.5, which can be found at

http://seasidemontereydownsandveteranscemeteryspecificplan.com/Documents/specific_plan/3_Circulation_Plan.pdf. This section addresses the multi-use trail circulation plan and trail design

standards (Figure 3.6) , which includes cross-sections of the multi-use trail design along the associated roadways (future Eastside Parkway and Gigling Road Extension).

Cross-sections of neighborhood trail design standards are also presented for the landscaping and trail adjacent to Parker Flats Road, as well as the neighborhood paseos planned throughout the residential neighborhoods (Figure 3.7).

CC&Rs and Homeowners Association

As a condition of approval of the Vesting Tentative Map, the developer shall develop Conditions, Covenants, and Restrictions (CC&R's) and a Homeowners Association (HOA) for the governance and maintenance of the common areas and parks/open space. The regulations of the CC&R's would include enforcement procedures for compliance of an individual property/commercial use in accordance with the adopted development standards of the Specific Plan.

STAFF ANALYSIS

Architectural Design Guidelines

The City of Seaside Single Family Residential Design Guidelines (July 6, 2005) define the City of Seaside's expectations for design quality, use of materials, and architectural imagery. It is the goal of these design guidelines to continually refine the concept of "good design" and to improve the design of homes, neighborhoods, and the greater community of Seaside. The residential components of the proposed Draft Specific Plan residential design guidelines are consistent with the goals and concepts of the City of Seaside Single Family Residential Design Guidelines.

The City does not have design guidelines for commercial, hotels, office parks, horse parks, training tracks, and sports arenas.

Development Standards

Some of the development standards within the Draft Specific Plan deviate from the City's Zoning Ordinance, resulting in some smaller lots and reduced setbacks for residential structures, which would be allowed through adoption of the Draft Specific Plan. The Draft Specific Plan development standards would establish its own set of zoning provisions for the Draft Specific Plan. The terminology for residential development in the Draft Specific Plan is somewhat different than that used in the City's Zoning Ordinance. For purposes of this analysis, the City's Zoning Ordinance's "single-family residential, medium-density residential, and high-density residential" generally correlate to the Draft Specific Plan's proposed "single-family residential, courtyard residential, and multi-family residential", respectively. The differences between the Zoning Ordinance requirements and the Draft Specific Plan requirements are discussed below.

1. Residential Lot and Building Requirements (RES-1, RES-2, RES-3, and RM Planning Areas)
 - a. Lot Area. City zoning requires 3,750 sf minimum lot area for all residential densities. The Draft Specific Plan proposes a minimum of 2,500 for single-family and no minimum for both residential courtyard and multi-family housing.

- b. Lot Coverage. City zoning requires 65% maximum lot coverage for single-family and medium density and 60% for multi-family housing. The Draft Specific Plan proposes 60% for single-family and 70% for residential courtyard and multi-family.
- c. Building Setbacks.
 - i. Front Setbacks. City zoning requires a 15' front setback for all housing densities. The Draft Specific Plan proposes minimums for front living areas, porches, and garages, ranging from 5' to 18' minimum for single-family, 2' to 10' minimum for courtyard residential, and 5' to 6' for multi-family.
 - ii. Side Setbacks. City zoning requires 5' standard, with 10' minimum for corner lots for single-family, and 5' setbacks for structures up to 24' in height and 30' feet combined, w/12' minimum on one side for structures greater than 24 feet for medium density and multi-family. The Draft Specific Plan proposes 3.5' minimum side setback on lots less than 3,750 sf, 5' minimum on lots greater than 3,750 sf, and 6' minimum for interior and corner lots, with building separation standards for standard lots and 10' minimum setbacks on corner lots for courtyard and multi-family.
 - iii. Rear Setbacks. City zoning requires 15' setbacks for all residential densities. The Draft Specific Plan proposes 10' to 15' minimums depending upon the lot depth for single-family, with building separation standards for courtyard and multi-family. Where the rear yard in the Draft Specific Plan is less than 15', a minimum area of 15' by 15' must be provided within the rear yard.
 - iv. Deck/Balcony or Patio/Porch Cover. City zoning allows projections into setbacks as follows: 6' maximum at the front and street side setbacks on both 1st and 2nd floors, 3' maximum at the side setback on both 1st and 2nd floors, and 3' on the 1st floor and 6' on the 2nd floor in the rear setback. The Draft Specific Plan proposes 2nd story deck or patio covers, not to exceed 15' in length of the building façade at the rear, with 10' minimum setback for single-family residential, and 5' minimum for courtyard homes. The standard is not applicable to the multi-family component.
- d. Building Separation. City zoning does not provide standards for building separation. The Draft Specific Plan proposes 7' minimum separation between single family dwellings on adjoining lots of less than 3,750 sq. ft. and 10' minimum on adjoining lots of greater than 3,750 sq. ft. For courtyard homes, 7' minimum for structures, 24' from garage door to garage door, and 24' between 2nd and 3rd level livable areas across an alley drive. For multi-family, 25' for front to front, 20' for front to side, 10' for side to side, 24' for side to rear, and 20' from rear to rear.
- e. Building Height. City zoning requires 24' maximum for single-family and medium density, and 48' for multi-family. The Draft Specific Plan proposes 30' to 32' maximum for single-family, 40' maximum for courtyard, and 50' maximum for multi-family.
- f. Private Open Space. City zoning requires 300 sf minimum of private open space for single-family and high density; with no requirements for medium-density. The

Draft Specific Plan proposes 350 sf minimum for single-family, 100 sf minimum for courtyard, and 60 to 100 sf for multi-family.

- g. Walls, Fences and Screening/Hedges. City zoning allows walls, fences and screening hedges up to 48” in the front setback area. The Draft Specific Plan proposes a maximum of 42”. Proposed rear property walls, fences, and hedges are consistent with City zoning standards.

2. Commercial and Mixed-Use Lot and Building Requirements (C-1 and C-2 Planning Areas)

- a. Development Parcel Area. City zoning requires a 4,000 square feet minimum area. The Draft Specific Plan proposes no minimum. The establishment of commercial parcels and future subdivision of commercial parcels shall comply with the City’s minimum parcel size of 4,000 square feet.
- b. Building Height. City zoning allows the lesser of four (4) stories or 48’. The Draft Specific Plan proposes four (4) stories or 50’ maximum, whichever is greater, for retail, mixed use buildings and office parks, stand-alone boutique hotels and extended stay hotels; 60’ maximum for theaters and cultural venues/museums; two (2) stories or 35’ maximum, whichever is greater; and 35’ maximum for principal buildings at the swim and tennis athletic club. No maximum height limit for pool clamshell structures.
- c. Off -street parking.
 - i. City zoning requires a parking area for a nonresidential use adjoining a public street to be designed to provide a landscape planting strip between the street right-of-way and parking area equal in depth to the setback or eight (8) feet, whichever is greater. From the Eastside Parkway to the Gigling Road right-of way, the Draft Specific Plan proposes a setback of 20 feet for locations within the C-1 (Commercial, Mixed-Use) zones and the C-2 (Office, Hotel, Recreation) zones. Figure 7.3 of the Draft Specific Plan provides typical cross-sections of neighborhood roads (Neighborhood Gateway with min. five-foot planting area beyond sidewalk and lot and Neighborhood Gateway with min. 15-foot planting area beyond sidewalk and lot). The 15-foot wide planting area design would apply to areas within the C-1 and C-2 zones and entry from Gigling Road to the entrance into the “Country Walk” area of the Draft Specific Plan.
 - ii. Parking Structure Setbacks. City zoning does not provide any minimum setback for a parking structure. The Draft Specific Plan proposes to require a minimum 10-foot setback for parking structures in the C-1 and C-2 zones.
 - iii. Required parking spaces: The Draft Specific Plan will deviate from the City zoning as follows:

Land Use	City Zoning Standard	Draft Specific Plan Standard
Restaurant	1 space per three seats	One space per 75 square feet of dining area
Office	One space per 300 square feet	One space per 400 square feet
Hotel	One space for each unit, plus 2	One space per room plus 0.2

	spaces for the manager or owner, plus required spaces for accessory uses (e.g. conference center, restaurant, spa or other commercial facilities).	spaces per employee.
Medical/Veterinarian	One space per 300 square feet	One space per 250 square feet
Multi-family Housing	0-1,800 square feet: One covered space for each unit plus one covered or uncovered space for each two units for guest parking 1,801 + square feet: Two covered spaces for each unit, plus one covered or uncovered space for each two units for guest parking.	Multi-Family (MF)/Studios: One covered space per dwelling unit (DU) + 0.2 spaces guest parking per DU MF/1 Bedroom: One covered space per DU + 0.2 guest space per DU MF/2 Bedrooms: Two covered spaces per DU + 0.2 space guest space per DU MF/3 or more Bedrooms Campus Housing: Two covered spaces per DU + 0.2 space per DU Undergraduate Housing: 0.75 space per bed Graduate Housing: One space per bed
Therapeutic Massage	One space per 300 square feet	One space per 250 square feet
Convenience Store	One space per 300 square feet	One space per 250 square feet

3. Recreational Lot and Building Requirements (REC-1 and REC-2 Planning Areas). The City zoning does not have any zoning standards that would apply to a Recreational land use.
 - a. Structure Setback
 - i. Front setbacks are 15' min. for REC-1 (Horse Park) and 30' min. for REC-2 (Training Facility)
 - ii. Side Setbacks are 10' min. for REC-1 and 10' min. for REC-2.
 - iii. Distance between structures for one story structures is 15' min. for REC-1 and 15' min. for REC-2.
 - ix. Distance between structures for 2-story or higher is 20' min. in REC-1 and 20' min. in REC-2.
 - b. Structure Height
 - i. The height for horse stables, barns, maintenance buildings, and other accessory use buildings (such as veterinarian offices, chapels, etc..) are 32'

- max. (not including an additional 10' for steeples cupolas, and other design features in REC-1 and 42' max in REC-2.
- ii. The height for a Sports Arena/Grandstand is 100' max. (150' max. including towers, steeples, domes, cupolas and other similar features) in the REC-2 area.
- iii. The height of qualified worker lodging is 4 stories or 50' max., whichever is greater (Shall not exceed height of the adjacent buildings) in REC-1 and 5 stories or 60' max, whichever is greater (shall not exceed the height of the adjacent buildings) in REC-2.
- c. Off-Street Parking
 - i. Surface Parking Area Setbacks:
 - From Eastside Parkway Right-of-Way setback is 20' min. in REC-1 and 20' min. in REC-2.
 - From private streets setback is 5' min. in REC-1 and 5' min in REC-2.
 - ii. Parking structure setbacks is 20' min. in REC-1 and 20' min. in REC-2.
 - iii. Parking structure height is 5 stories or 60' max, whichever is greater (shall not exceed the height of the adjacent buildings) in REC -1 and REC-2.
- d. Required parking spaces are as follows:
 - i. one space for every five horses in REC-1. 5% of parking spaces in REC-1 shall be sized for RV/trailer parking.
 - ii. One space for each five grandstand/sports arena seats in REC-2.
 - iii. One space for each worker lodging unit in REC-2.

Architectural Styles

Based on the variety of architectural styles and development standards that have been included in the Architectural Design for Monterey Downs, City staff finds that the proposed design guidelines will promote a mix of traditional and contemporary styles. This development pattern should be considered as example of harmonious design (e.g building form and massing, wall projections and articulations, use of natural materials) rather than rigid design requirements which would tend to establish a “cookie-cutter” subdivision pattern for both residential and commercial projects.

While some residential lots will be a minimum of 2,500 square feet (City zoning requires a minimum lot size of 3,750 square feet), proposed lot sizes vary to accommodate the variety of housing product types proposed. The gross area of the RES-1, RES-2, and RES-3 planning areas totals 126.5 acres. With 854 dwelling units within these Planning Areas, there will be approximately 6,450 square feet per residential home. The smaller lot sizes will allow additional land for open space, trails, parks, and other amenities to establish high quality of life.

For commercial development, the proposed development standards will provide for a variation in design and site plans to encourage a development pattern with articulation to avoid box like structures and maximize the use of private open space within a compact, urban streetscape. The compact development patterns will serve to enhance the availability of surrounding open space and will provide for the collection of storm water in accordance with newly adopted State standards for low impact development.

PUBLIC NOTICE

Two legal notices regarding the Board of Architectural Review hearing on the Draft Specific Plan have been published in the Monterey Weekly. The first notice was published on June 18, 2015 for a meeting that was scheduled on July 1, 2015. The July 1, 2015 meeting did not take place and was therefore cancelled. Two written public comments were received in response to the June 18, 2015 public notice and are provided as Attachment 4. The second notice was published on July 2, 2015 for the July 15, 2015 meeting. City staff has not received any additional written comment on the project prior to the completion of the staff report.

NEXT STEPS

After the Board of Architectural Review provides a recommendation to the Planning Commission and City Council on the architectural design guidelines and development standards of the Draft Specific Plan, the project applications and Final EIR will be reviewed by the Planning Commission, who will then make a recommendation to the City Council. If the City Council approves the proposed project, the Fort Ord Reuse Authority (FORA) will review the project for consistency with the Fort Ord Base Reuse Plan. The next step would then be for the City to submit an application to the Monterey County Local Agency Formation Commission (LAFCO) for approval of a Sphere-of-Influence Amendment and Annexation. Prior to LAFCO approval, a Sphere-of-Influence Amendment agreement would need to be executed by the City of Seaside and the County of Monterey.

Individual residential subdivisions, retail and commercial development, recreational developments, and development of the cemetery ancillary parcels will require permits (e.g. use permits, site plan review, subdivision/parcel maps) and Design Review applications. Each of these future projects will come before the Board of Architectural Review to ensure they are consistent with the Specific Plan's Architectural Design Guidelines.

ENVIRONMENTAL DETERMINATION

Development pursuant to the Specific Plan will be required to comply with mitigation measures in the Specific Plan EIR. The Draft EIR was circulated for public review from March 31, 2015 through June 19, 2015. A Final EIR is being prepared and will be completed prior to the City Council taking action on the various applications.

FISCAL IMPACT

There will not be any fiscal impact with the design review process and/or recommendations made by the Board of Architectural Review.

ATTACHMENTS

1. Attachment 1 - Full Illustrative Conceptual Site Plan
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2. Attachment 2 - Specific Plan Land Use Plan
 3. Attachment 3 - Specific Plan Architectural Design Guidelines Chapter 5
 4. Attachment 4 - Comment Letter from Bonnie Whisler
 5. Attachment 4 - Comment Letter from Cosmo Bua
-

CSUMB
Campus

CSUMB
Open Space

Army
Parcel

MST PBC Parcel/
Proposed Corp.
Yard

Future Mixed-Use Parcels

Dept. of
Defense

Monterey Downs

Current Planned
Corp. Yard

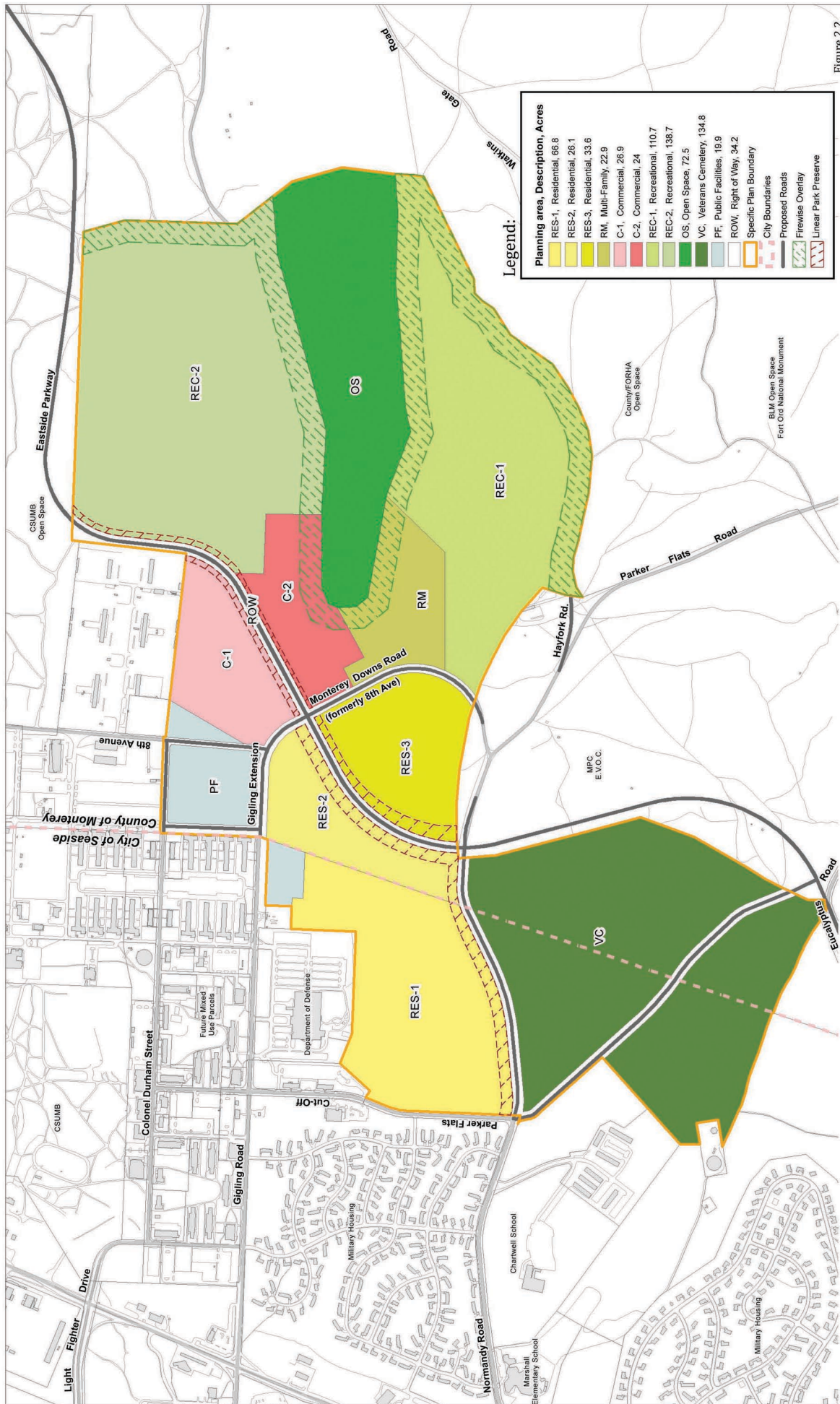
Endowment
Parcel

Veterans
Cemetery

MPC
E.V.O.C

County/BLM
Open Space





ARCHITECTURAL DESIGN GUIDELINES

5.1 Introduction

The purpose of these architectural design guidelines is to identify the general architectural design concepts for the design and implementation of the buildings within Monterey Downs. The design concepts presented herein are intended to establish the overall architectural character for the community, reflecting the historical development precedents found within the City and surrounding areas, as well as the equestrian nature of the proposed recreation tourism venues. The goal is to promote both visual compatibility and variety in a community setting by using a number of compatible traditional and contemporary architectural styles, and through quality architectural innovation. This provides a strong framework to ensure that Monterey Downs is developed in a manner that enhances the existing development found elsewhere in Seaside.

The architectural design guidelines will be followed by developers, builders, designers, Seaside staff and decision-makers in the design and review of future development projects in Monterey Downs. These guidelines should be considered as

examples of harmonious design rather than rigid requirements. Reasonable substitutions in styles, materials and colors shall be permitted if they are consistent with the Specific Plan's overall purpose and design intent.

5.2 Residential Design Guidelines (Res-1, Res-2, Res-3 & RM Planning Areas)

5.2.1 Architectural Styles

Based on the existing character and building development history of the area, a variety of architectural styles are appropriate for the Monterey Downs residential community. Although these styles have historical reference, other styles that can be derived from the County's agrarian past may also be considered. Distinguishing characteristics of each architectural style envisioned for residential development in Monterey Downs are described below and in Tables 5.1 through 5.3.

It should be noted that the photographs contained herein are representative of

concepts envisioned for Monterey Downs. The intention is to incorporate a variety of these design features into the community. The photographs shown are not intended to be indicative of the actual product types for Monterey Downs, but are instead provided as a guideline and source of inspiration for the architects, designers, and builders who will actually design and build the homes in Monterey Downs.

a. American Farmhouse

The American Farmhouse style is defined by simple practicality and is a preferred design option. Homes were designed to provide basic comfort and utility, be attractive, and offer flexibility to grow and change uses over time. Well into the early 20th century, most homes were designed and built by local craftsmen, resulting in substantial regional deviations across the country. Because the American Farmhouse architecture across the country showed the impact of local immigrant groups, the style was often a hybrid of ideas from different parts of the world, combined with the unique circumstances of American small towns.

Design characteristics of the American Farmhouse style include the following:

- Typically two stories in height
- Horizontal wood and stucco siding
- Covered porches with simple wood columns and railings
- Gabled roofs
- Dormer windows

CHAPTER 5 – Architectural Design Guidelines



Examples of American Farmhouse Architecture



Gabled roofs



Front porch



Typically two-story height



Dormers



Vertically-oriented windows



Plain window trim



Wood siding

Typical American Farmhouse Architectural Details

CHAPTER 5 – Architectural Design Guidelines

b. California Bungalow

The California Bungalow style first appeared as a reaction to the elaborate decoration of the then-popular Victorian style. Influenced by the Arts and Crafts movement, the California Bungalow style emphasizes a horizontal relationship between the house and the surrounding land. The use of natural materials and colors reinforces the home-earth relationship. The California Bungalow houses were relatively easy and affordable to construct. The design spread east from California and remained popular into the Great Depression.

Design characteristics of the California Bungalow style include the following:

- Narrow, rectangular building forms
- Typically one to one and half stories in height; two-story buildings are permitted
- Large covered porches at the front entry, typically with rectangular or tapered columns
- Low-pitched gabled or hipped roofs
- Large windows on front façade, often with divided panes above larger solid panels or panes
- Windows typically grouped in sets of two or three
- Single- or double-hung windows or casement windows
- Large, decorative doors
- Front stoop



Examples of California Bungalow Architecture

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Gable and cross-gable roof forms



Exposed rafter tails



Board or batten siding accent



Wide projecting roof forms



Flat tile roof



Large porch or veranda



Tapered columns

Typical California Bungalow Architectural Details

c. Craftsman

The Craftsman style grew out of Bungalow architecture and was strongly influenced by the English Arts and Crafts movement. It is an American style that originated in Southern California, and spread across the country during the 1920s and 1930s through pattern books and catalogues.

The Craftsman style sought the elimination of superfluous ornamentation, creating beauty instead through the simplified lines and masses of the building itself. This unique style promoted hand crafted quality to create natural, warm and livable homes.

Design characteristics of the Craftsman style include the following:

- Horizontal character to building forms
- Full- or partial-width porches with horizontal railing pickets
- Stone, brick, stucco, shingles and horizontal siding
- Low to moderately pitched gable roof forms with unenclosed eave overhangs
- Primary roof forms covering porch elements
- Decorative use of cross beams, braces, and rafter tails
- Porches often feature tapered columns and pilasters
- Brick or stone elements visually anchoring the building mass to the ground plane
- Windows grouped in sets of two or three
- Shed or gable dormers

CHAPTER 5 – Architectural Design Guidelines



Examples of Craftsman Architecture



Horizontal emphasis of building forms



Front porch



Decorative beams and braces below gables



Gabled roofs



Exposed rafter tails



Tapered columns



Walls of brick, siding, stucco, or stone



Multi-paned upper sash and single-paned below



Broad windows

Typical Craftsman Architectural Details

CHAPTER 5 – Architectural Design Guidelines

d. Monterey

The Monterey style was developed in the town of Monterey on California's central coast in the mid-19th Century. The style developed from a combination of New England Colonial architecture and the adobe architecture of the Mission period in California.

Design characteristics of the Monterey style include the following:

- Simple two-story masses
- Cantilevered balconies (sometimes serving as a porch) on the second floor, extending along all or most of the façade
- Stucco or plaster exteriors, occasionally with wood siding on the second story
- Primarily front-to-back gables; intersecting cross-gables are permitted
- Simulated wood shake or clay tile roofs
- Wood shutters, generally the same width as the adjacent multi-paned windows. Paired windows and false shutters are also common.
- Simple wood doors
- Colonial details such as pedimented doors and windows



Examples of Monterey Architecture

CHAPTER 5 – Architectural Design Guidelines



Cantilevered balconies along front facade



Simple, two-story masses



Stucco or plaster exterior, sometimes with wood siding on the second story



Simple wooden doors



Pedimented doors



False shutters

Typical Monterey Architectural Details

e. Spanish Eclectic

The Spanish Eclectic style was popular during the 1920s and early 1930s. Also known as Spanish Colonial, this style incorporated the details and ideals of Spanish architecture, which took its cues from the missions of the early Spanish missionaries and included details from the Moorish, Byzantine, Gothic and Renaissance architectural styles. California, Arizona, Texas and Florida are all regions where Spanish Eclectic house plans and architecture are common. The charm of this style lies in the directness, adaptability and contrast of materials and textures.

Design characteristics of the Spanish Eclectic style include the following:

- One- and two-story building masses, often asymmetrical in form
- Stucco walls
- Courtyards
- Red tile sloping roofs with large overhangs
- Exterior arches
- Round or square exterior columns
- Wrought iron accent gates
- Balcony railings
- Accent drain tiles
- Punched windows
- Recessed wooden front door

CHAPTER 5 – Architectural Design Guidelines



Examples of Spanish Eclectic Architecture



Red barrel tile roof



Rounded arches



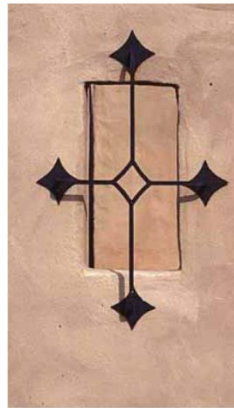
Deep-recessed entries and windows



Entry courtyards



Wrought iron railings



Decorative wrought iron elements



Gates with wrought iron elements

Typical Spanish Eclectic Architectural Details

f. Farmhouse-Ranch Hybrid (for Multi-Family Residential and Campus Housing Only)

Multi-family residential and/or campus housing in Monterey Downs are envisioned to be developed with the Farmhouse-Ranch Hybrid style, which is abstracted to be a more contemporary version of the historic Farmhouse and Ranch precedents.

Design characteristics of the Farmhouse-Ranch Hybrid style include the following:

- Use of stucco and composite siding materials
- Asymmetrical features
- Variety of flat and pitched roofs



Examples of Farmhouse-Ranch Hybrid Architecture
(for Multi-Family Residential/Campus Housing Only)

CHAPTER 5 – Architectural Design Guidelines



Examples of Farmhouse-Ranch Hybrid Architecture
(for Multi-Family Residential/Campus Housing Only)



Examples of Farmhouse-Ranch Hybrid Architecture
(for Multi-Family Residential/Campus Housing Only)

CHAPTER 5 – Architectural Design Guidelines

Table 5.1
Single Family Detached Residential Design Matrix

ARCHITECTURAL STYLE	
Architectural styles permitted	American Farmhouse Craftsman Spanish Eclectic California Bungalow Monterey
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	A minimum of 3 floor plans and 3 elevations options for each floor plan. No adjacent homes shall have the same floor plan-elevation combination.
BUILDING MASSING AND SCALE	
Single Story Elements <i>(Portions of the building that has no second story)</i>	At least 20% of the dwellings within a subdivision must have a building mass which combines single story and two story building forms.
Staggered Wall Planes	No rear or front building wall or wall facing a public street shall extend more than 25' vertically or horizontally without a visual break created by a minimum 2' offset in the exterior wall or created by architectural detailing. No more than 60% of the front elevation can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	At least one principal window recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection is 12") And one of the following: - Extended roof overhangs at principal windows (Minimum Overhang: 12") - Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6") - Shutters, tiles or other decorative trim at principal windows
Side and Rear Elevations – 2 nd story windows which are visible from perimeter streets, community open space or other public spaces	A principal window created in one of the following ways is required: - Being recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 6") - Extended roof overhangs at principal window (Minimum Overhang: 12") - Shutters at Principal window - Trim surrounds, headers, or sills at all windows (Minimum Trim Material 2" x 6")
BUILDING MATERIAL & COLOR BLOCKING	
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner

**Table 5.1
Single Family Detached Residential Design Matrix**

COLOR SCHEMES	
Number of color schemes required	2 color schemes (min.) per elevation. Each color scheme shall have at least 3 colors, including: • Base Color • Accent • Trim
Front and/or Garage Doors	Color shall complement architectural style and be compatible with color scheme. No adjacent homes shall have the same color scheme.
ROOFS	
Roof Pitch	4:12 to 8:12
Roof Overhang	• Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. • Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
Roof Material	• Concrete or clay tiles in shapes consistent with the selected architectural style. • Wood shake roofs are prohibited • Spanish tile roofs shall have a variegated design
Roof Finish	• Matte finish to minimize glare
Skylights	• Framing material shall be colored to match the adjoining roof. • White dome skylights are not permitted.
Mechanical Equipment	Roof mounted air conditioners are not permitted. All pipes, vents and other similar equipment shall be painted to match the roof surface
MISCELLANEOUS	
Light and Glare	• Street lighting shall be per City standards • Homeowner and association lighting other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.

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Table 5.2
Single Family Detached Cluster Residential Design Matrix

ARCHITECTURAL STYLE	
Architectural styles permitted	American Farmhouse Craftsman Spanish Eclectic California Bungalow Monterey
FLOOR PLANS / ELEVATIONS	
Floor Plans / Elevation Options	A minimum of 3 floor plans and 3 elevations options for each floor plan. No adjacent homes shall have the same floor plan-elevation combination.
BUILDING MASSING AND SCALE	
Single Story Elements (Portions of the building that has no second story)	At least 20% of the dwellings within a subdivision shall have a single story element (porches qualify as a single story element).
Staggered Wall Planes	- No building wall facing a public street shall extend more than 25' vertically or horizontally without a visual break created by a minimum 2' offset in the exterior wall or created by architectural detailing. - No more than 60% of the front elevation on a 2-story residence can be composed of a single wall plane.
WINDOW OPENINGS	
Front Elevations	Front elevations must feature at least one of the following: - Extended roof overhangs at principal windows (Minimum Overhang: 12") - Trim surrounds, headers, or sills at all windows (Min. Trim Material: 2" x 6") - Shutters, tiles or other decorative trim at principal windows
Side and Rear Elevations - 2nd story windows which are visible from perimeter streets, community open space or other public spaces	A principal window created in one of the following ways is required: - Recessed into thickened walls or projected forward of the wall plane (Min. Recess or Projection 6") - Extended roof overhangs at principal window (Minimum Overhang: 12") - Shutters at Principal window - Trim surrounds, headers, or sills at all windows. (Minimum Trim Material 2" x 6")
BUILDING MATERIAL & COLOR BLOCKING	
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner.

Table 5.2
Single Family Detached Cluster Residential Design Matrix

COLOR SCHEMES	
Number of color schemes required:	2 color schemes (min.) per elevation. Each color scheme shall have at least 3 colors, including: • Base Color • Accent • Trim
Front and/or Garage Doors	Color shall complement architectural style and be compatible with color scheme. No adjacent homes shall have the same color scheme.
ROOFS	
Roof Pitch	4:12 to 8:12
Roof Overhang	• Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. • Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
Roof Material	• Concrete or clay tiles in shapes consistent with the selected architectural style • Wood shake roofs are prohibited • Spanish tile roofs shall have a variegated design
Roof Finish	Matte finish to minimize glare
Skylights	• Framing material shall be colored to match the adjoining roof. • White dome skylights are not permitted.
Mechanical Equipment	• Roof mounted air conditioners are not permitted • All pipes, vents and other similar equipment shall be painted to match the roof surface
MISCELLANEOUS	
Light and Glare	• Street lighting shall be per City standards • Homeowner and association lighting, other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground

CHAPTER 5 – Architectural Design Guidelines

Table 5.3
Multi-Family Residential / Campus Housing Design Matrix

ARCHITECTURAL STYLE	
Architectural styles permitted	Farmhouse-Ranch Hybrid
FLOOR PLANS	
Floor Plans Options	A minimum of 4 floor plans for multi-family residential; no minimum number of floor plans for campus/student housing.
BUILDING MASSING AND SCALE	
Staggered Wall Planes	No more than 60% of the front elevation can be composed of a single wall plane. Each building should incorporate one or more 2-story element.
BUILDING MATERIAL & COLOR BLOCKING	
Any elevation visible from interior streets, perimeter streets, community open space or other public spaces	Material and color blocking shall not terminate at an outside corner.
COLOR SCHEMES	
Number of color schemes required:	3 color schemes min. Each color scheme shall have at least 3 colors, including: • Base Color • Accent • Trim
ROOFS	
Roof Pitch	4:12 pitch mixed together with flat roof elements. Roofs should include articulated eaves and a variety of ridgelines
Roof Overhang	• Roof eaves shall have a minimum of 12" overhang; or may be reduced to a 6" overhang when a corresponding fascia element 12" or greater in height is provided. • Rakes may be tight or have a 12" overhang as appropriate to the architectural style of the residence.
Roof Material	Concrete tiles, metal roofs, or high quality dimensional composite roofing
Roof Finish	Matte finish to minimize glare

Table 5.3
Multi-Family Residential / Campus Housing Design Matrix

Skylights	• Framing material shall be colored to match the adjoining roof. • White dome skylights are not permitted.
Mechanical Equipment	All pipes, vents and other similar equipment shall be painted to match the roof surface
MISCELLANEOUS	
Light and Glare	• Street lighting shall be per City of Seaside standards. • Residential complex lighting, other than street lighting, shall be shielded to minimize illumination of adjacent lots or properties and to reduce glare.
Utilities	All utility connections from the main line in the public right-of-way to building shall be located underground.

CHAPTER 5 – Architectural Design Guidelines

5.2.2 General Architectural Guidelines

a. Building Form and Massing

- For single family detached and cluster residential development, single-story elements should be incorporated into two-story buildings to create a more pleasant street scene.
- Two- to four-story buildings are planned in the multi-family residential/campus housing area. Encourage variation in building massing to provide variety to street scene.
- Articulation of front elevation, as well as side and rear elevations that are highly visible from streets or open space/trails, is required.
- Balconies and/or porches that are integral to the building design are encouraged. Color schemes for balconies, porches and patio covers shall reflect the architectural style of the building.
- For single family detached and cluster residential development, entries, windows, porches and living areas should be placed close to the street so that active, articulated architecture visually dominates the street scene.
- Roof planes and types should vary between different products to promote visual diversity.

b. Wrap-Around Architecture

- The front façade treatment of single family detached and cluster residential buildings should wrap partially around onto the side of the house, especially on corner lots where the side of the homes is highly visible. However, some elements (such as trim) should continue on the sides of the buildings
- Multi-family residential/campus housing buildings should be articulated on all four sides with building projections, decorative trim, and windows.

c. Variations in Garages for Single-Family Detached Homes

- A variety of garage types are allowed in Monterey Downs. The permitted garages types include, but are not limited to, front loaded garages, side-on garages, tandem garages, rear garages, and detached garages. Each home shall provide at least two garage parking spaces. No specific type of garage is required, but each required parking space shall have an interior dimension of 10' wide by 19' deep; therefore a two-car, side by side garage would be 20' wide by 19' deep.. The developer/builder will select the most appropriate garage type for the style and type of building(s) being proposed.
- Overhangs, trellises, arbors and other architectural elements are permitted to visually soften

the front-facing garage doors. Decorative garage door treatments, styles, trims and colors that reflect the architectural style of the building elevation are encouraged.

d. Building Materials and Colors

- Building materials and colors should match the overall neighborhood design theme color palette and be consistent with the building's architectural style.
- The material palettes should provide a harmonious variety in color and texture.
- The use of natural materials such as tile, brick, stone, or wood or equivalent simulated materials are encouraged. Simulated materials may be used with approval of the Board of Architecture.
- Smooth finishes and or other light finish texture should be used on exterior plaster or stucco.

e. Screening

- Roof mounted equipment (except for solar panels and satellite dishes) must be screened from adjacent public ground level views by parapet or architectural features. This applies particularly to multi-family residential and campus housing buildings.

- All exterior components of plumbing, heating and cooling systems, and ventilating systems located near or at ground level must be screened from public view by walls, fences, berms, landscaping, or a combination thereof.

f. Gutters and Downspouts

- Gutters and downspouts may be located within the walls of the building.
- If exposed, the colors of gutters and downspouts should match or complement the surface to which they are attached to, or the accent colors of the building.

g. Sustainable Building Design

- Use energy efficient lighting, cooling systems, and windows to promote natural ventilation.
- Promote the use of natural ventilation through building orientation, window placement, architectural shade elements and landscape design.
- Install Energy Star appliances and low-flow water fixtures.
- Properly install drywall, insulation, and sealing to maintain the optimal temperature inside the home.
- Use renewable and recyclable building materials wherever feasible.
- Implement an on-site construction waste recycling program.

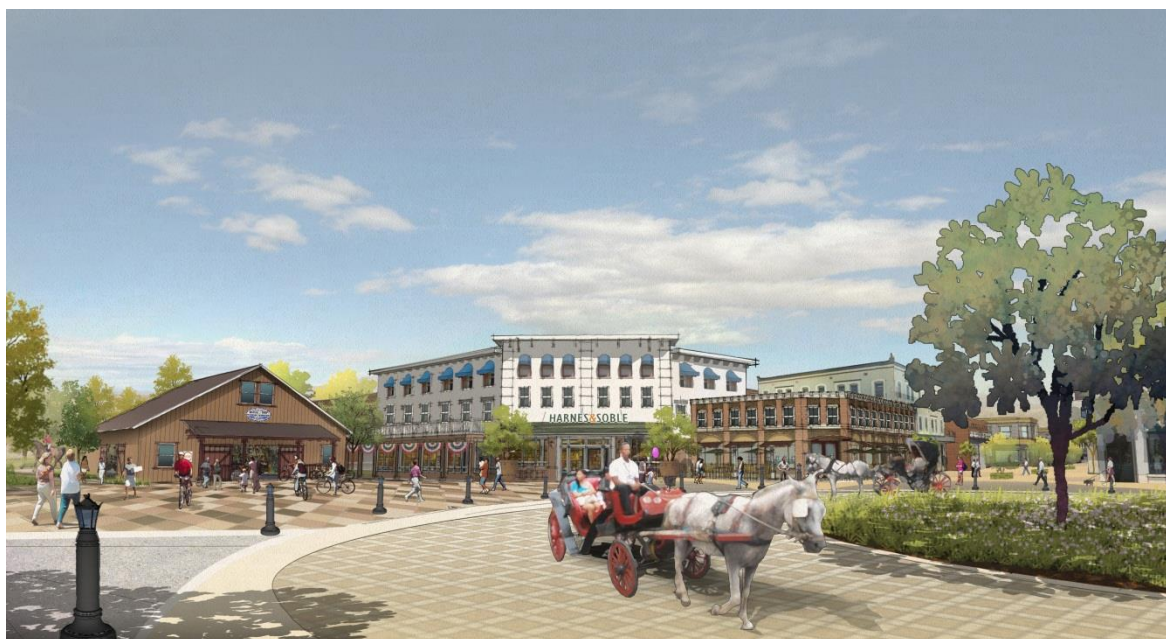
5.3 Commercial Architectural Design Guidelines (C-2 Planning Area)

The Monterey Downs Country Walk commercial district (C-2 Planning Area) will function as a vital commercial boulevard that supports the needs of recreation tourism visitors and local residents. Appropriate uses for this district include commercial, retail services, restaurants, hotels, offices, theaters, museum/cultural venues, mixed-use development, and multi-family residential. The commercial district is a place for shopping, dining, working and gathering. It will be designed to be reminiscent of the retail found along Main Street in many smaller towns and cities, as an open-air town center with a Western character. Businesses will be situated along the pedestrian street.

5.3.1 Western Architectural Style

Building architecture within the commercial district should adhere to a Western architectural theme. A mix of different architectural styles is discouraged, although variety of building colors and materials within the overall context of Western architecture is permitted. Distinguishing characteristics of the Western architectural theme are described below.

- Rectilinear building form, with a dominant use of the 90 degree angle for major plane and elevation elements
- Street façade consisting of a series of small buildings that vary in height, colors and materials
- Building fronts generally set to the street property line or build-to line with zero front setback



The conceptual drawing is provided for illustration purposes only. Actual site development concept may vary.

Commercial District Concept

- Typically shed or gable roof with the ridgeline extending perpendicular to the street and ending at the false front or parapet of the building
- Relatively articulated doors and windows
- Windows designed to represent multiple, small panes of glass rather than large plate glass
- Transom windows
- Flat arches on masonry façade
- Awnings over windows
- Doors with solid or opaque perimeter, glass panels in the center; ornate brass or bronze hardware
- Pilasters and reveals
- Cornices and corbels along parapets
- Accent base and capitals on columns and posts
- Champhered corners on columns and posts
- Exterior building materials consisting of horizontal wood siding with a reveal, vertical wood board and batten, brick masonry, corrugated tin or galvanized steel, steel trowelled smooth finished concrete plaster
- No highly reflective or mirrored glass is permitted
- Wall surface colors to recall natural materials; no bright, artificial or metallic colors
- Accent colors to be muted blues, greens, yellows, browns, and shades of white and beige.
- Roof materials consisting of composition shingle, flat concrete tile, corrugated or standing seam metal compatible with the Western architectural theme

Examples of the Western architectural style are depicted on the following pages. The Western architectural theme should be a contemporary interpretation of historic architecture and not an exact re-creation of a historic Old Western town.

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Examples of Western Architecture



Examples of Western Architecture

CHAPTER 5 – Architectural Design Guidelines



Examples of Western Architecture



Examples of Western Architecture

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5.3.2 General Architectural Guidelines

- Buildings should front onto a central street or spine, which shall be designed as a vehicle free zone with the exception of horse-drawn carriages.
- Along the central retail street or spine, building fronts should generally be arranged to the property line or a build-to line with zero front setback, except where recesses are provided for entries or covered sidewalks.
- Three- or four-story buildings may have a second floor balcony creating a first floor porch, setting the main building mass back from the street.
- Mixed-use projects are encouraged for buildings that are two stories or higher, such as first-floor retail with office, boutique hotel, or residential uses above. Visually, this arrangement divides the facade into two basic parts: the upper façade and the storefront.
- Two-story and taller buildings should have a full height façade, with the upper story(ies) generally at the front property line.
- Large monolithic buildings, such as movie theaters and cultural venues, may be set back from the street or build-to line and lined with smaller businesses in front to create a more appealing streetscene.
- Parking will be provided behind the commercial and mixed-use buildings, connected by pedestrian passageways and walkways between buildings.
- Open views into the retail space at the storefront level will enhance the pedestrian experience by providing a visual connection to the use inside the building. On upper levels, windows should continue the aesthetics of the building while serving the occupants' need for privacy.
- Primary entrances into retail buildings should be clearly marked and provide a sense of welcome and convenient access into the building interior.
- Entry area walls should incorporate accent colors, higher level of detailing, and entry/accent lighting.
- Corner buildings may be designed as anchor buildings. Anchor buildings are often larger in scale and massing than surrounding buildings, and may have more ornamentation than adjacent buildings. In addition, anchor buildings typically have both primary and secondary façade that relate to the streets on which they front.
- Horse corral and dog barns/lockers for visitors to leave their horses and dogs while they shop and/or dine are proposed in the Country Walk. These ancillary structures

shall be designed with 4-sided architecture consistent with the architecture of the nearby buildings.

- Bicycle parking facilities shall be provided in the commercial district (see Table 6.2). These facilities should be designed to be consistent with the main building architecture, as appropriate.
- Vary roof forms in the commercial district rather than using singular monolithic roofs. Flat roofs with parapets are permitted.
- Rooftop equipment shall be screened so as not to be visible from ground level views from public streets.
- Exposed gutters and downspouts should be colored to match or complement the surface to which they are attached.
- Signage plays a major role in creating a strong visual image for the commercial district. Signs should be in keeping with overall scale of the building or storefront to which they are attached. A sign program shall be submitted along with the conceptual architectural plan for each development. The sign program shall be approved by the Board of Architecture.
- Service, loading, and storage areas shall be conveniently located in proximity to the building served, to the extent possible, and shall be integrated into the site design of the development.
- Where the rear façade of the commercial and/or mixed-use buildings front on public or private streets, the rear building facades shall be articulated with trim or other design elements to create the appearance of 4-sided architecture.

5.4 Hotels and Office Park Architectural Guidelines(C-1 Planning Areas)

5.4.1 Architectural Styles

The architectural styles of the extended stay hotels and office park development within Monterey Downs should be similar to the blend of traditional styles found in Seaside and surrounding areas. Complementary architectural styles, such as Craftsman, Monterey and Spanish Eclectic, which relate to the Western architectural style of the commercial district, are appropriate for the extended stay hotels and office park buildings.

Examples of the appropriate architectural styles for the extended stay hotels and office park buildings are shown on the following pages.



Examples of Compatible Architectural Styles for Extended Stay Hotels

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Examples of Compatible Architectural Styles for Extended Stay Hotels



Examples of Compatible Architectural Styles for Office Park Buildings

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Examples of Compatible Architectural Styles for Office Park Buildings

5.4.2 General Architectural Guidelines

a. Form, Height and Massing

- Building architecture should address public areas with high quality materials, and should contain architectural elements and details relating to the human scale.
- Groups of buildings should be arranged in clusters around elements such as landscaped pedestrian walkways or landscaped areas.
- Buildings within the office park development should relate visually to one another and be compatible with adjacent buildings.
- Building design should consist of simple, geometric forms that complement the architectural style of the building.
- The bulk of the buildings should be broken up through articulation of the building mass and the use of color. Builds should have a two-foot physical break at least every 25 feet of horizontal building façade.

b. Façade, Features and Details

- Building design features and details should complement the architectural style of the building.

- All building elements should appear as an integral part of an overall site design concept. Details should be simple and streamlined and integrated into the buildings and not simply be applied as an afterthought.
- Front building façades should be designed with a high level of visual interest.
- Long, unarticulated building façades should be avoided.
- Provide architectural enhancements at main building entrances, where appropriate.
- Primary building entrances should be clearly visible and directly accessible from the streets and/or parking areas.
- Signs should be in keeping with overall scale of the building or storefront to which they are attached. A sign program shall be submitted along with the conceptual architectural plan for each development. The sign program shall be approved by the Board of Architecture.

c. Materials and Colors

- Use attractive, durable, high quality and weather resistant materials for all visible and weather exposed surfaces on the building exterior.
- Use integrally colored inorganic materials such as brick, concrete, stone, copper, core

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ten steel, metal, and anodized aluminum.

- Use glass to extend the interior space to the outside and create a visual link with the exterior setting.
- Subdued colors, though not specifically limited to earth tone colors, are encouraged. The use of bright, vibrant colors and primary colors are acceptable for signage, but otherwise should be limited to accent colors.

d. Roofs

- Roof treatments should be compatible with the building's architectural style.
- Use of varied roof forms and offsets in the project is encouraged over singular monolithic roofs.
- Flat roofs or a combination of flat and sloped roofs may be used.
- Roof materials should have a matte finish to minimize glare. Highly reflective roof surfaces are discouraged.
- Roof materials may be, but not limited to, clay or concrete flat tiles, clay or concrete shakes, painted metals and built-up roof. Wood shingle or shake roofs are prohibited.

e. Utilities and Mechanical Equipment

- Rooftop equipment shall be screened from view by architectural features integral to the design of the building.
- Rooftop mechanical equipment on larger buildings should be dispersed, where possible, and painted to match the rooftop.
- Utilities and mechanical equipment should be screened from public review.

f. Service, Loading and Storage Areas

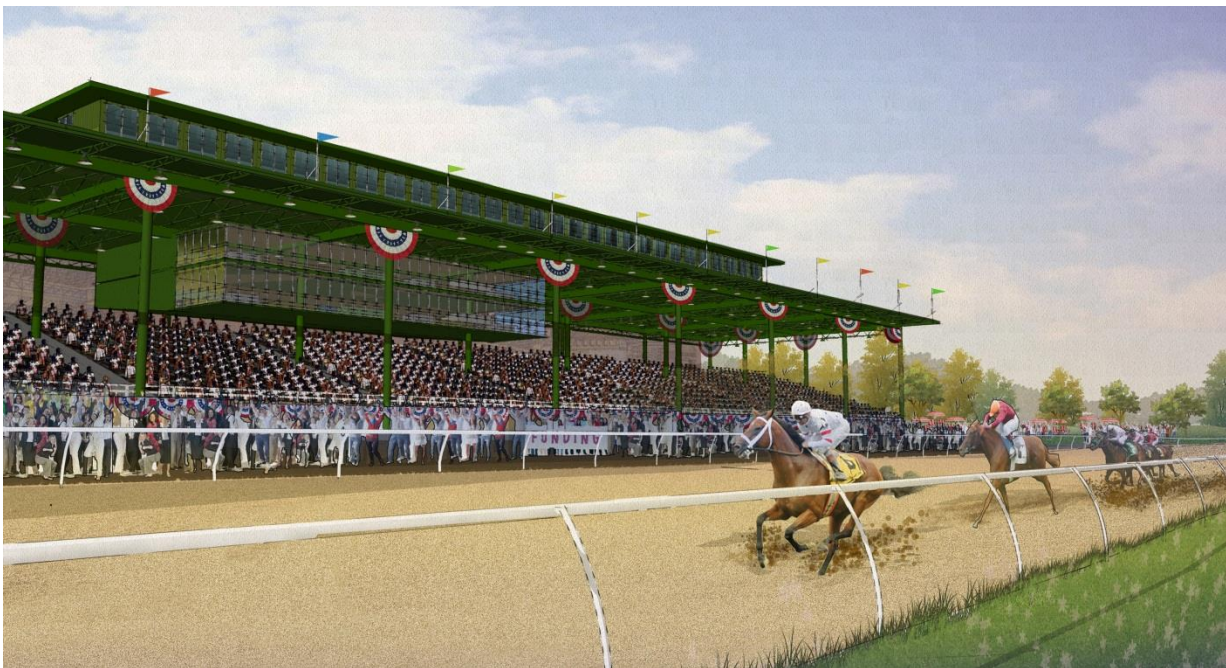
- Service, loading and storage areas should be located away from the streets and activity areas, and be integrated into the site design of the development.
- Storage containers or accessory structures should be architecturally treated on all exterior sides.

5.5 Horse Park, Training Track (with stands) and Sports Arena Architectural Design Guidelines (Rec-1 & Rec-2 Planning Areas)

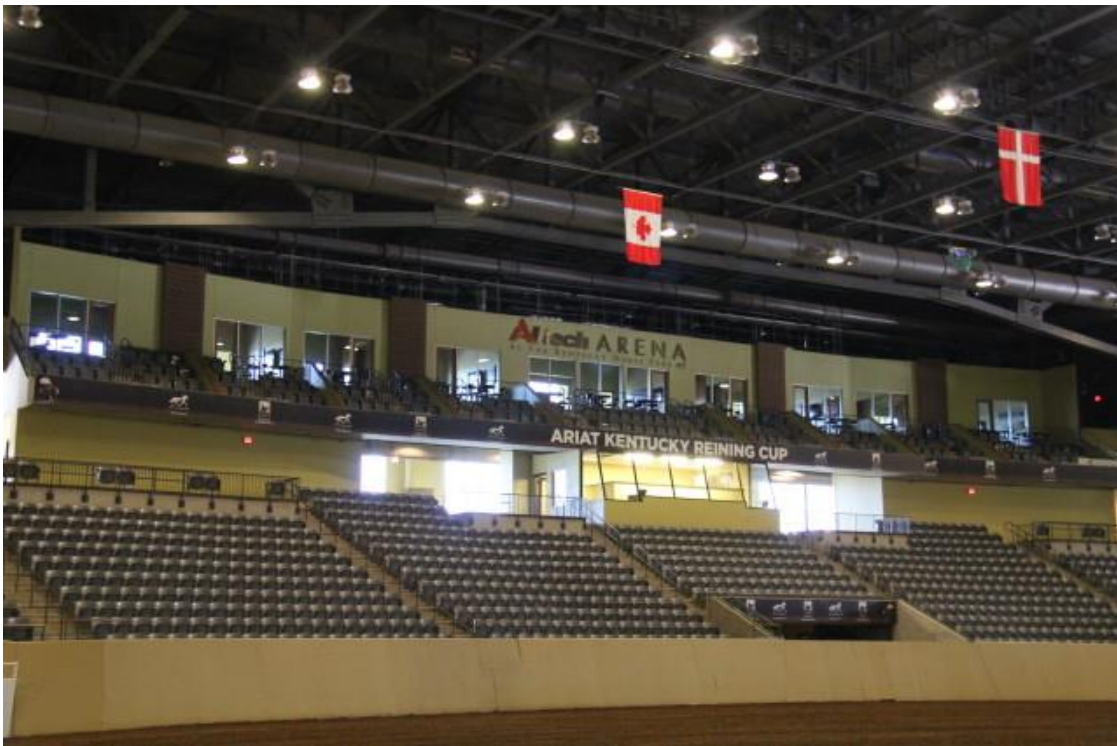
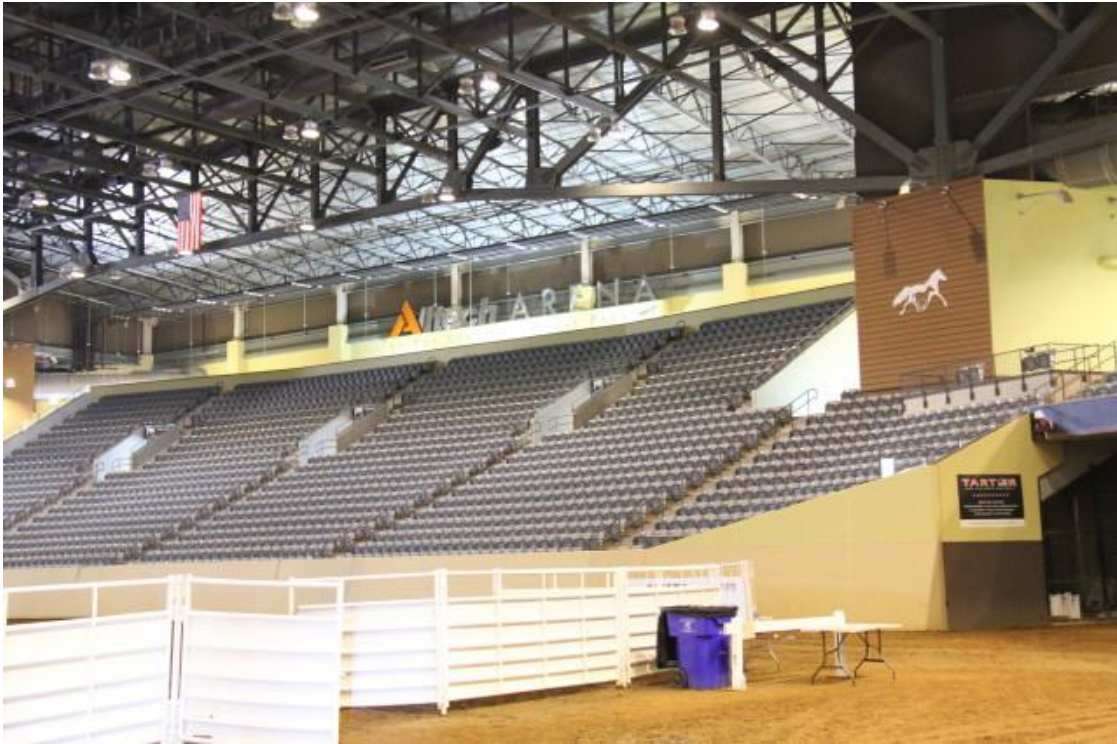
The architectural style of buildings in the horse park should be themed to reflect the equestrian nature of the venue. The architectural style of the sports arena complex should be compatible with the architectural styles in the other areas of Monterey Downs. Typical examples of the sports arena, grandstand, training track and horse stables are shown on the following pages. The final design of the sports arena/seating area/training track complex and the horse park shall be determined by the project developer, and shall be subject to review and approval by Seaside.



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Typical Examples of Sports Arenas/Grandstands



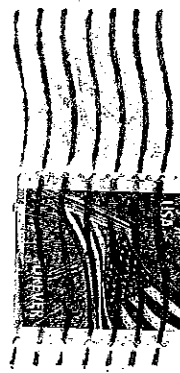
Typical Examples of Sports Arenas/Grandstands

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Typical Examples of Training Track/Arena and Stables

1985 Military Ave,
Seaside, CA 93955



Seaside City Hall

att: Bob Larsen

440 Harcourt 93955

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RESOURCE MANAGEMENT
SERVICES

June 26, 2015

To the members of Seaside's Board of Architectural Review,

Since I will be out of town on July 1, I would like to express to you by mail some concerns.

I am concerned about the viability of the oak woodland mitigation methods in the EIR. I have read them all.

Do you really think that they will succeed? I have seen attempts to plant oak trees in the medium of General Jim Moore Blvd. with poor results.

I am concerned about Monterey Downs demanding too much water. That is a small town that they want to build. The EIR states that there is not enough water for this whole project.

Oak woodlands are a valuable environmental part of our area. They are biologically, environmentally, and recreationally valuable. They should not be so completely destroyed.

I would compliment Marina for building on blighted areas. Blighted areas should be developed first.

Thank you for listening to me.

Bonnie Whisler
Bonnie Whisler
Seaside, CA

6/26/2015

City of Seaside

Seaside Board of Architectural Review

Dear Board of Architectural Review Members:

I am writing to express my strong opinion that it is a mistake - and perhaps inappropriate - for you, the public's Board of Architectural Review, to be considering the Monterey Downs (etc) development on July 1st. The final

E.I.R. will not even be considered for some time. I do not believe you should be spending your own valuable time as well as City resources to be considering the best way to design/construct this project when its very extreme environmental impacts may very well exclude any possibility of the project going forward - or even of Seaside securing the majority of the land from Monterey County.

Your consideration of the project at this point in time will contribute to supporting the development through the cost sunk fallacy, which can already be seen to have been in play in this decision making process to date. Please postpone your evaluations or contributions to this project until after it is known that the project is to go forward in any form - at any location.

Thank you very much for your consideration,

Cosmo Bua