



A G E N D A

CITY OF SEASIDE
BOARD OF ARCHITECTURAL
REVIEW

REGULAR MEETING
Council Chamber
440 Harcourt Avenue
Wednesday, October 16, 2019
5:30 PM

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

BOARD OF ARCHITECTURAL REVIEW

Kathleen Ventimiglia

Chair

Bani Khalsa

Vice Chair

Mitsugu Mori

Board Member

Keith Mitchell

Board Member

LisAnne Sawhney

Board Member

3. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. PUBLIC COMMENT

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. APPROVAL OF MINUTES

**A. APPROVAL OF MINUTES FOR JUNE 19, 2019 REGULAR MEETING,
JULY 10, 2019 SPECIAL MEETING, JULY 17, 2019, AUGUST 7, 2019
AND AUGUST 21, 2019 REGULAR MEETINGS.**

6. BUSINESS ITEMS

A. BOARD OF ARCHITECTURAL REVIEW APPLICATION No. BAR-19-17: WEST END PARTNERS, LLC, APPLICANT, AND THE CITY OF SEASIDE SUCCESSOR AGENCY, PROPERTY OWNER, ARE REQUESTING CONCEPTUAL DESIGN REVIEW FOR A 10 BUILDING 108,247 SQUARE-FOOT MIXED USE PROJECT GENERALLY LOCATED AT 1131 BROADWAY AVENUE BETWEEN TERRACE STREET AND SAN LUCAS STREET. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 32, SECTION 15332 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

RECOMMENDATION: In accordance with Section 17.62.030.C of the Seaside Municipal Code (SMC), the Community Development Director is requesting that the Board of Architectural Review (BAR) conduct a conceptual design review for a mixed use development prior to the project receiving a Minor Use Permit approval for the land use entitlement of the project.

City staff recommends that the BAR open the public hearing and provide direction to City staff on the architectural design, lighting and landscaping for the project as part of the Minor Use Permit application that would be subject to the review and Approval by the Zoning Administrator.

B. THE CITY OF SEASIDE, APPLICANT, AND PROPERTY OWNER, REQUESTING DESIGN APPROVAL FOR THE PROPOSED IMPROVEMENTS TO MANZANITA STUART PARK LOCATED IN THE OPEN SPACE RECREATION (OSR) ZONING DISTRICT. THIS PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301(d) EXISTING FACILITIES.

RECOMMENDATION: In accordance with Section 17.62.030.B.5 of the Seaside Municipal Code, improvements are subject to review and approval by the Board of Architectural Review. Staff recommends approval of the proposed Conceptual Design Improvements for Manzanita Stuart Park.

C. BOARD OF ARCHITECTURAL REVIEW: BAR-19-15
THE CITY OF SEASIDE, APPLICANT AND PROPERTY OWNER, IS
SEEKING ARCHITECTURAL REVIEW APPROVAL AS REQUIRED OF SMC
17.62.030.B.3 FOR THE CREATION OF POLLINATOR HABITATS
(LANDSCAPING) IN CITY PARKS, EXCEPT PACCHETTI DOG PARK, AND
RIGHTS-OF-WAYS AND AS RELATED TO THE REQUIREMENTS OF THE
SEASIDE'S BEE CITY USA DESIGNATION.

RECOMMENDATION: The City is requesting BAR approval for the creation of pollinator habitats in all city parks, except Pacchetti Dog Park, and rights-of-ways in order to meet the requirements of BEE CITY USA and the MOU of the Xerces Society.

It's recommended that the BAR approve the request to allow for the creation of pollinator habitats in city parks, except Pacchetti Dog Park, and rights-of-ways in order to meet the requirements of BEE CITY USA.

D. BOARD OF ARCHITECTURAL OF APPLICATION No. BAR-19-13:
MIACHAEL KOBRINSKY, PROPERTY OWNER, AND JON RASMUSSEN,
APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A
FACADE RENOVATION TO ACCOMODATE A FITNESS TRAINING
CENTGER AT 1564 DEL MONTE BOULEVARD IN THE MIXED USE (MX)
ZONING DISTRICT IN THE WEST BROADWAY URBAN VILLAGE
SPECIFIC PLAN (APN# 011-302-008). THE PROJECT IS
CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E), PER THE
CALIFORNIA ENVIRONMENTAL QUALITY ACT GUIDELINES.

RECOMMENDATION: In accordance with Chapter 7 of the West Broadway Urban Village Specific Plan, design review approval is required for façade improvements to commercial buildings located within the Specific Plan boundaries.

City staff recommends approval of the façade change as proposed in accordance with the Conditions of Approval.

7. REPORTS FROM BOARD MEMBERS

8. REPORTS FROM STAFF

9. ADJOURNMENT

Next Regularly Scheduled Meeting:
November 6, 2019
Seaside City Hall
5:30 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE

REGULAR MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, June 19, 2019
5:30 PM

1. CALL TO ORDER

Chair Ventimiglia called the meeting to order at 5:43 PM.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: Mitchell, Mori, Ventimiglia, Sawhney (arrived at 6:13 PM)

ABSENT: Khalsa

BOARD OF ARCHITECTURAL REVIEW

3. REVIEW OF AGENDA

There were no changes to the agenda.

4. PUBLIC COMMENT

There were no requests to speak.

5. APPROVAL OF MINUTES

A. APPROVAL OF MINUTES FOR JUNE 5, 2019 REGULAR MEETING

On motion by Board Member LisAnne Sawhney and seconded by Board Member Keith Mitchell and passed by the following vote the Board of Architectural Review postponed approval of minutes until next scheduled Board of Architectural Review meeting.

RESULT:

Postponed

AYES:

Kathleen Ventimiglia, Mitsugu Mori, Keith Mitchell, LisAnne Sawhney

NOES:

None

6. BUSINESS ITEMS

**A. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-12.
CITY OF SEASIDE, PROPERTY OWNER AND APPLICANT, IS
REQUESTING DESIGN REVIEW APPROVAL FOR THE REPLACEMENT OF
THE EXISTING 10-FOOT BY FOUR-FOOT FREESTANDING SCOREBOARD
WITH A 16-FOOT BY FIVE-FOOT FREESTANDING SCOREBOARD AT THE
SAME LOCATION BEHIND THE CENTERFIELD FENCE AT THE METZ PARK
BASEBALL FIELD LOCATED AT 1556 MILITARY AVENUE IN THE POS**

(PARKS AND OPEN SPACE) ZONING DISTRICT THE PROJECT IS CATEGORICALLY EXEMPT CLASS 11, SECTION 15311(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On motion by Board Member Keith Mitchell and seconded by Board Member LisAnne Sawhney and passed by the following vote the Board of Architectural Review postponed item and asked to be continued for a site visit and meeting on a Special Meeting scheduled for July 10, 2019.

RESULT: *Postponed*
AYES: *Kathleen Ventimiglia, Mitsugu Mori, Keith Mitchell, LisAnne Sawhney*
NOES: *None*

B. BOARD OF ARCHITECTURAL REVIEW APPLICATION No. BAR-19-07: CLAY AND LISA MATTHEWS, PROPERTY OWNER, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 478 SQUARE FOOT ROOF DECK ABOVE A NEW TWO CAR GARAGE ATTACHED TO A ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On motion by Board Member Mitsugu Mori and seconded by Board Member Keith Mitchell and passed by the following vote the Board of Architectural Review Approved the replacement of the existing 10-foot by four-foot freestanding scoreboard with a 16-foot by five-foot freestanding scoreboard at the same location behind the centerfield fence at the Metz Park baseball field located at 1556 Military Avenue in the POS (Parks and Open Space).

RESULT: *Approved*
AYES: *Kathleen Ventimiglia, Mitsugu Mori, Keith Mitchell*
NOES: *None*

7. REPORTS FROM BOARD MEMBERS

None.

8. REPORTS FROM STAFF

Gloria Stearns, Community Development Director, asked Board Members if they are available to attend the 5:30 PM City Council meeting to speak on the Board of Architectural Review work plan. Board Member Keith Mitchell volunteered.

A. SCHEDULING FOR FUTURE MEETINGS

Rick Medina, Sr. Planner, spoke to scheduling future meetings. Mr. Medina asked Board to have filed trip to 1892 Juarez Street and Ord Grove on Special Meeting for July 10th. Also, another Special Meeting for July 24th to visit 1740 Darwin Street. Board agreed to those meeting dates. Requested workshop will take place in August.

9. ADJOURNMENT

On motion, the meeting was adjourned at 6:37 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



DRAFT MINUTES

CITY OF SEASIDE

SPECIAL MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, July 10, 2019
4:00 PM

1. CALL TO ORDER

Chair Ventimiglia called the meeting to order at 5:35 PM.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: Sawhney, Khalsa, Ventimiglia, Mitchell (arrived at 5:38 PM)

ABSENT: Mori

BOARD OF ARCHITECTURAL REVIEW

3. FIELD TRIP - 4:00 PM

Board Members departed City Hall at 4:00 PM to field trip location. Other Members arrived at the field trip location on their own.

4. REVIEW OF AGENDA

There were no changes to the agenda.

5. PUBLIC COMMENT

There were no requests to speak.

6. APPROVAL OF MINUTES

A. APPROVAL OF MINUTES FOR JUNE 5, 2019 REGULAR MEETING

On motion by Board Member Bani Khalsa and seconded by Board Member LisAnne Sawhney and passed by the following vote the Board of Architectural Review approved minutes as presented.

RESULT:

Approved

AYES:

Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney

NOES:

None

7. BUSINESS ITEMS

A. BOARD OF ARCHITECTURAL REVIEW APPROVAL (FILE No. BAR-19-07) MARC AND JEANETTE DRANCHAK, PROPERTY OWNER, AND ALLEN ROBINSON, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A ROOFTOP DECK ADDITION TO AN EXISTING ONE-

STORY SINGLE FAMILY DWELLING LOCATED AT 1892 JUAREZ STREET IN THE RS-12 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN: 012-015-039). THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.1, EXISTING FACILITIES, FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JUNE 5, 2019 MEETING.

Board Member Keith Mitchell arrived. Item was presented by Rick Medina, Sr. Planner. Mr. Medina went over power point presentation. Applicant Allen Robinson spoke on the project. Chair Ventimiglia invited public comments. Marc and Jeanette Dranchak, property owners spoke on their proposed project.

Public comment:

John Del La Cruz, Mike, Catherine, Linda Gabrielson, Gundy, Donna.

On motion by Keith Mitchell and seconded by Board Member Bani Khalsa and passed by the following vote the Board of Architectural Review Approved project as presented.

RESULT: **Approved**

AYES: Kathleen Ventimiglia, Bani Khalsa, Keith Mitchell, LisAnne Sawhney

NOES: None

B. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-07. CLAY AND LISA MATTHEWS, PROPERTY OWNERS, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 478 SQUARE FOOT ROOF DECK ABOVE A NEW TWO CAR GARAGE ATTACHED TO A ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JUNE 19, 2019 BAR MEETING.

Rick Medina, Sr. Planner presented item. Project is a continuance of the June 19th hearing. Applicant was asked to step forward. Applicant Thomas Rettenwender, spoke further on the project.

On motion by LisAnne Sawhney and seconded by Keith Mitchell and passed by the following vote the Board of Architectural Review Continued item with insuring that the railings are vertical, garage move to one unit, color to come back, materials for deck and the overhang on the front porch, roof similar to the house roof and stairs to the west side. Item will be scheduled for August 7, 2019.

RESULT: **Continued**

AYES: Kathleen Ventimiglia, Bani Khalsa, Keith Mitchell, LisAnne Sawhney

NOES: None

8. REPORTS FROM BOARD MEMBERS

None.

9. REPORTS FROM STAFF

Rick Medina, Sr. Planner, spoke to the DEIR for Campus Town now being available in website and hardcopy 656 Broadway Avenue. Board Member Sawhney requested meeting to discuss design guidelines. Mr. Medina responded that meeting will be scheduled in August.

10. ADJOURNMENT

On motion, the meeting was adjourned at 7:29 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



DRAFT MINUTES

CITY OF SEASIDE

REGULAR MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, July 17, 2019
5:30 PM

1. CALL TO ORDER

Chair Ventimiglia called the meeting to order at 5:30 PM.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: Sawhney, Khalsa, Ventimiglia

ABSENT: Mitchell, Mori

BOARD OF ARCHITECTURAL REVIEW

3. REVIEW OF AGENDA

There were no change to the agenda.

4. PUBLIC COMMENT

Public comment: Linda Gabrielson, filed an appeal against approved project (1892 Juarez location) by Board of Architectural Review. Gundy, supporting 1893 Nadina Street, against remodel of 1892 Juarez location. Alex Mille, Chair of NIP informed Board Members of project the NIP is working on with MPUSD (basketball court) on Sonoma and Contra Costa and would like Board of Architectural Reviews support.

5. BUSINESS ITEMS

A. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-04. WALTER GEORIS, PROPERTY OWNER AND APPLICANT, IS REQUESTING DESIGN APPROVAL FOR A FAÇADE RENOVATION OF A COMMERCIAL BUILDING LOCATED 600 BROADWAY AVENUE IN THE MIXED USE (MX) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.

Item was presented by Gloria Stearns, Community Development Director, item was before Board on the March 6, 2019 agenda the Board approved the façade except for fencing and landscaping.

On motion by Board Member LisAnne Sawhney and seconded by Board Member Bani Khalsa and

passed by the following vote the Board of Architectural Review Approved fence and landscape as presented. Board requested that signage be brought before the Board at a future meeting.

RESULT:

Approved

AYES:

Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney

NOES:

None

6. REPORTS FROM BOARD MEMBERS

Board Member Sawhney requested workshop to be scheduled in August. She spoke on the liquor store on Broadway and Noche Buena is making some improvements and would like to have a list of current approvals or quarterly updates on projects. Would like to have a workshop to look at the policies and codes. Gloria Stearns, Community Development Director responded to the questions the Board had. She spoke on the Planning Session scheduled in August. Will make sure the city attorney is available for the study session. Ms. Stearns thanked Board for working together to make the city better.

7. REPORTS FROM STAFF

None.

8. ADJOURNMENT

On motion, the meeting was adjourned at 6:08 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



DRAFT MINUTES

CITY OF SEASIDE

REGULAR MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, August 7, 2019
5:30 PM

1. CALL TO ORDER

Chair Ventimiglia called the meeting to order at 5:33 PM.

BOARD OF ARCHITECTURAL REVIEW

PRESENT: Mitchell, Mori, Khalsa, Ventimiglia

ABSENT: Sawhney

2. ROLL CALL - ESTABLISHMENT OF QUORUM

3. FIELD TRIP - 4:30 PM

Board Members departed City Hall at 4:30 PM to field trip location.

4. REVIEW OF AGENDA

There were no changes to the agenda.

5. PUBLIC COMMENT

There were no requests to speak.

6. BUSINESS ITEMS

A. BOARD OF ARCHITECTURAL REVIEW APPLICATION BAR-19-13. PROPERTY OWNER E&E CAPLOW LIVING TRUST AND APPLICANTS ROBERT FORLOINE (PM DESIGN GROUP) AND SILVIA WYTKIND (MCDONALD'S) ARE REQUESTING DESIGN APPROVAL FOR THE RECONSTRUCTION OF A DRIVE-THROUGH RESTAURANT AND ASSOCIATED SITE IMPROVEMENTS AT 1516 CANYON DEL REY BOULEVARD. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 2, SECTION 15302(B) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

On motion by Board Member Keith Mitchell and seconded by Board Member Bani Khalsa and passed by the following vote the Board of Architectural Review Approved with the conditions of the safe guardrails be included as they are in the presentation and the inception of the height parking light fixtures.

RESULT: **Approved**

AYES: Kathleen Ventimiglia, Bani Khalsa, Mitsugu Mori, Keith Mitchell
NOES: None

B. BOARD OF ARCHITECTURAL REVIEW NO. BAR-19-08: MICHAEL AND REBECCA LANSCASTER, PROPERTY OWNERS, AND SAMUEL PITNICK, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 277 SQUARE-FOOT SECOND STORY ADDITION TO AN EXISTING 1,022 SQUARE-FOOT, ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1740 DARWIN STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-762-026). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

—
On motion by Board Member Mitsugu Mori and seconded by Keith Mitchell and passed by the following vote the Board of Architectural Review Denied project and directed staff to gather the findings and evidence and bring before Board at the August 21st meeting.

RESULT: **Denied**
AYES: Kathleen Ventimiglia, Bani Khalsa, Mitsugu Mori, Keith Mitchell
NOES: None

C. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-07. CLAY AND LISA MATTHEWS, PROPERTY OWNERS, AND THOMAS RETTENWENDER, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 478 SQUARE FOOT ROOF DECK ABOVE A NEW TWO CAR GARAGE ATTACHED TO A ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1565 ORD GROVE AVENUE IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 011-043-014). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. CONTINUED FROM THE JULY 10, 2019 BAR MEETING.

On motion by Board Member Mitsugu Mori and seconded by Board Member Bani Khalsa and passed by the following vote the Board of Architectural Review Approved project as presented.

RESULT: **Approved**
AYES: Kathleen Ventimiglia, Bani Khalsa, Mitsugu Mori, Keith Mitchell
NOES: None

7. REPORTS FROM BOARD MEMBERS

None.

8. REPORTS FROM STAFF

Rick Medina, Sr. Planner informed the Board about the EIR and will email

link to Campus Town EIR to the Board. Will discuss with Mr. Overmeyer as to when it will be brought before the Board.

9. ADJOURNMENT

On motion, the meeting was adjourned at 7:16 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



DRAFT MINUTES

CITY OF SEASIDE

REGULAR MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, August 21, 2019
5:30 PM

1. CALL TO ORDER

Chair Ventimiglia called the meeting to order at 5:30 PM.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: Sawhney, Khalsa, Ventimiglia

ABSENT: Mitchell

BOARD OF ARCHITECTURAL REVIEW

3. REVIEW OF AGENDA

There were no changes to the agenda.

4. PUBLIC COMMENT

There were no requests to speak.

5. BUSINESS ITEMS

- A. BOARD OF ARCHITECTURAL REVIEW NO. BAR-19-08: THE BOARD OF ARCHITECTURAL REVIEW WILL CONSIDER THE ADOPTION OF FINDINGS AND EVIDENCE FOR THE DENIAL OF A 277 SQUARE-FOOT SECOND STORY ADDITION TO AN EXISTING 1,022 SQUARE-FOOT, ONE-STORY SINGLE FAMILY DWELLING LOCATED AT 1740 DARWIN STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-762-026). THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E)(1) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. ITEM HAS BEEN CONTINUED FROM THE AUGUST 7, 2019 BAR MEETING.**

—
On motion by Board Member Bani Khalsa and seconded by Board Member LisAnne Sawhney and passed by the following vote the Board of Architectural Review Approved the adoption of findings and evidence for the denial of the project. An appeal may be submitted in writing within 7 calendar days from the date of this meeting and should be accompanied by the requiring filing fee.

RESULT:

Approved

AYES:
NOES:

Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney
None

6. REPORTS FROM BOARD MEMBERS

None.

7. REPORTS FROM STAFF

Rick Medina, Sr. Planner, informed the Board that the public review period will be closing soon on Campus Town. A schedule will be provided of the hearing process; will give an update to the Board at the next meeting. Staff will look into scheduling the discussion on ADU's and single family design guidelines, tentatively scheduled for the second meeting in September.

8. ADJOURNMENT

On motion, the meeting was adjourned at 5:42 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



CITY OF SEASIDE STAFF REPORT

Item No.: 6.A.

TO: Board of Architectural Review

BY: Gloria Stearns, Community Development Manager

DATE: October 16, 2019

SUBJECT: **BOARD OF ARCHITECTURAL REVIEW APPLICATION No. BAR-19-17: WEST END PARTNERS, LLC, APPLICANT, AND THE CITY OF SEASIDE SUCCESSOR AGENCY, PROPERTY OWNER, ARE REQUESTING CONCEPTUAL DESIGN REVIEW FOR A 10 BUILDING 108,247 SQUARE-FOOT MIXED USE PROJECT GENERALLY LOCATED AT 1131 BROADWAY AVENUE BETWEEN TERRACE STREET AND SAN LUCAS STREET. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 32, SECTION 15332 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

PURPOSE & RECOMMENDATION

In accordance with Section 17.62.030.C of the Seaside Municipal Code (SMC), the Community Development Director is requesting that the Board of Architectural Review (BAR) conduct a conceptual design review for a mixed use development prior to the project receiving a Minor Use Permit approval for the land use entitlement of the project.

City staff recommends that the BAR open the public hearing and provide direction to City staff on the architectural design, lighting and landscaping for the project as part of the Minor Use Permit application that would be subject to the review and Approval by the Zoning Administrator.

BACKGROUND

The applicant, West End Partners, LLC, is proposing to construct a ten building 108,247 square-foot mixed use project, including 4,079 square feet of ground floor commercial space, 105 one, two, and three bedroom residential units on the first, second and third floors, 8,154 square feet of combined parking (89 spaces under podium, 55 surface off-street), delivery, refuse, and

mechanical area. The proposed residential units range in size from 633 +/- SF to 1,320 +/- SF. The 89 podium parking spaces are reserved for the residential units. Project information and the current Project Plans dated October 8, 2019 may be accessed at following web link: <http://www.ci.seaside.ca.us/DocumentCenter/View/10000/19-1008-Ascent-Entitlement-Package-22x34>. Location Map is provided as Attachment 1.

Mixed use developments including ground floor commercial space and multi-family dwellings are allowed in the Commercial Mixed Use (CMX) Zoning District with an approved Minor Use Permit, are subject to design review approval pursuant to Section 17.62.030 of the SMC.

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act pursuant to Class 32, Section 15332 – In-Fill Development. This section exempts projects that are consistent with general plan and zoning regulations, that are within city limits on sites less than 5 acres in size, can be served by all required utilities, do not have any habitat value, and do not result in any significant effects relating to traffic, noise, air quality, or water quality. The project and site meet these criteria.

PROJECT DESCRIPTION

Site Description: The Project site is proposed on 14 parcels consisting of 121,236 square feet that will be adjusted with a Lot Line Adjustment to be comprised of six parcels. The adjusted parcels contain a one-story, 3,240 square foot commercial building occupied with a barber shop and beauty shop and a one-story, 5,760 square-foot vacant commercial building. The proposal involves the removal of all structures and parking areas for the new mixed use development.

Building Design: The project is a 10 building rental housing project consisting of one bedroom, two bedroom, and three bedroom units along Broadway Avenue and Olympia Avenue. The Building at the corner of Terrace Street and Broadway Avenue will have a 4,000 square foot commercial lease area on the first floor. The existing alley between Broadway Avenue and Olympia Avenue will be expanded to 24 feet to allow two-way access and all of the buildings on Broadway Avenue would have both street and alley access. The buildings along Broadway Avenue are paired together with a shared vehicular driveway to access podium parking on the first floor. The townhomes on Olympia Avenue will have two-car garages. Green spaces are proposed between the Buildings on Broadway Avenue.

The exterior design will consist of a combination of stucco panels, composite horizontal siding, metal bands, metal frame and charcoal vinyl windows, and composite wood rail and cable rail for the exterior decks.

For a more complete description of the Project's architectural design components, please refer to the Project plans at following web link: <http://www.ci.seaside.ca.us/DocumentCenter/View/10000/19-1008-Ascent-Entitlement-Package-22x34>.

Landscape Design: The proposed building's footprint and parking surfaces occupies nearly the entire site area. As a result, landscaping at the ground level consists of planter areas within the

open space areas between buildings, between the back of sidewalk and the buildings and adjacent to the parking areas. Climbing vines, shrubs, succulents and/or groundcovers, and/or accent are also incorporated at these locations and in planters at the building's base adjacent to the central courtyards. Street trees are proposed along Broadway Avenue, Terrace Street, Olympia Avenue, and San Lucas Street.

Building Circulation and Parking: The Building Layout affords primary ground floor access for pedestrians directly to residential units and the commercial lease area. Secondary or service access is also afforded for each residential building from the rear alley and surface parking spaces via a common sidewalk which is integrated into the rear alley driveway. Pedestrian access to the private second and third floor residential units is provided via a central hallway/lobby both from the podium parking, street frontages, and residential parking lot.

The covered 75 podium parking spaces dedicated for the residential units is integrated beneath the second and third floors and accessed via a courtyard driveway from the alley and Broadway Avenue/Terrace Street. The 54 surface parking spaces will be accessed from the alley and Broadway Avenue.

REQUIRED ENTITLEMENTS AND NEED FOR MINOR USE PERMIT ACTION

Minor Use Permit: Section 17.14.050.D establishes the Zoning Administrator as the review authority to act on use permits. However, the Zoning Administrator may require what the Community Development Director determines to be a project of significant size or impact to receive conceptual design review by the Board of Architectural Review prior to final action.

STAFF ANALYSIS

Mixed-Use Project Design Standards:

Section 17.14.060 of the Zoning Ordinance provides standards and objectives for the design of mixed-use projects as follows (note: after each standard and objective, staff provides a brief statement regarding compliance with and/or implementation thereof):

1. Building Placement

The building layout will consist of 10 buildings with podium parking under nine of the 10 buildings being reserved for the residents and surface parking being provided for additional resident parking and commercial use. Building 6 will not have any podium parking.

Analysis: Issue with staff concerns the multiple driveways along Broadway Avenue. City staff finds that only the driveway between Building 6 and Building 7 should remain with the others being eliminated. The areas where the driveways would be eliminated can be improved with street trees and decorative entrances to the residential units. The removal of the driveways would improve the walkability of Broadway Avenue and also provide for additional on-street parking to support the business community and the commercial tenant located within the first floor of Building 6.

2. Building Design and Architectural Elements

Analysis: The proposed design will consist of using multiple materials which will serve to

differentiate the building façade and provide interest through the use metal frame windows, balconies, offset planes, composite siding, and multiple colors that create a dimensional relief.

CONCLUSION

The Board shall provide its comments on the proposed architectural design that will be included as part of the Minor Use Permit application and the subsequent Design Review Hearing for the approval of the final architectural design.

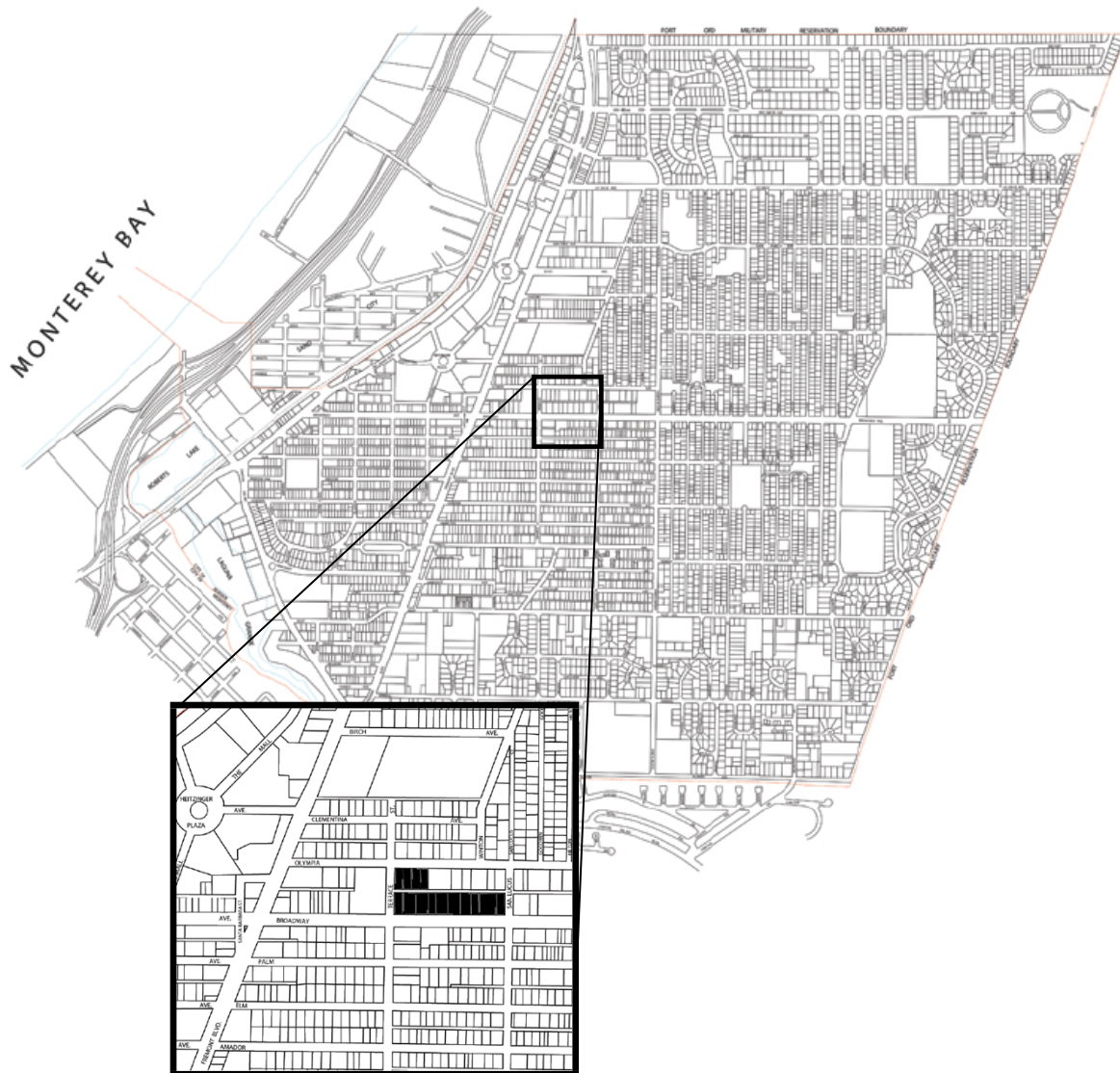
ATTACHMENTS

1. Attachment 1 - Location Map
-

Attachment 1

Location Map

Project Site: 1131 Broadway Avenue





CITY OF SEASIDE STAFF REPORT

Item No.: 6.B.

TO: Board of Architectural Review

BY: Rick Riedl, City Engineer
Misty Bradshaw, Associate Engineer

DATE: October 16, 2019

SUBJECT: THE CITY OF SEASIDE, APPLICANT, AND PROPERTY OWNER, REQUESTING DESIGN APPROVAL FOR THE PROPOSED IMPROVEMENTS TO MANZANITA STUART PARK LOCATED IN THE OPEN SPACE RECREATION (OSR) ZONING DISTRICT. THIS PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15301(d) EXISTING FACILITIES.

PURPOSE & RECOMMENDATION

In accordance with Section 17.62.030.B.5 of the Seaside Municipal Code, improvements are subject to review and approval by the Board of Architectural Review. Staff recommends approval of the proposed Conceptual Design Improvements for Manzanita Stuart Park.

BACKGROUND

Manzanita Stuart Park is a small park (0.77-acre) that lies immediately adjacent to the International School of Monterey (formerly Manzanita Elementary School), and serves as a trailhead connecting the school with Lincoln Cunningham Park. Existing facilities at the site include a playground, sculpture, and open play area. Due to the poor condition of the play structure and its heavy use, it is recommended the park and its features be upgraded to better serve the community, as well as improve the accessibility in accordance with the Americans with Disabilities Act (ADA).

Staff has held study sessions and presented the proposed improvements at multiple Parks and Recreation Committee (PRC) meetings, as well as receiving public input at outreach events. These meetings included a Study Session at the PRC on October 15, 2018, a presentation on the Draft Conceptual Plan to PRC on April 15, 2019, an onsite special meeting of the PRC with the community and the users of the park on April 29,

2019, and tabling events at the City's Earth Day event on April 28, 2019, Fourth of July event, as well as the Special Environmental Committee meeting and Park Cleanup event on June 22, 2019.

Staff submitted an application to the Statewide Parks Program Prop 68 Grant to fund the Construction of the proposed improvements, as well as to fund the costs to finalize the Conceptual Design, Specifications, and Engineer's Estimate of Probable Construction Cost (PS&E), and prepare construction documents for bidding. An important criteria for the Grant application was to include community outreach, support, and implementation of the communities ideas. The Conceptual Plan incorporates input from the community where feasible.

Based upon input received from the PRC meetings and public feedback from the tabling events, staff has developed a Conceptual Plan for the proposed improvements to include the following:

1. Replace the playground structure;
2. Provide ADA accessible entrances, pathways, and flatwork;
3. Upgrade ancillary facilities such as a new drinking fountain, signage, waste receptacles, benches;
4. Incorporate outdoor chess/checker tables to encourage multiple age and interest groups to utilize the park space; and
5. Upgrade the landscaping to improve the aesthetics of the park.

As part of the Conceptual Plan, a preliminary planting schedule has been provided in Attachment 2. The 60% PS&E will include a detailed planting plan with landscaping layout and groupings generally conforming to the proposed planting schedule.

STAFF ANALYSIS

City staff finds that the improvements will be compatible with the park and surrounding neighborhood and will provide ADA improvements, specifically a ramp from San Pablo Ave. to provide access up to the playground area. Due to the nature of the proposed project on a public park, the Board of Architectural Review has purview to consider the proposed park improvements to ensure neighborhood compatibility and architectural consistency.

ENVIRONMENTAL COMPLIANCE

The project is Categorically Exempt from the California Environmental Quality Act (CEQA) in accordance Title 14 of the California Code of Regulations, Chapter 3, Article 19, Section 15301 "Existing Facilities" (d) "Restoration or rehabilitation of deteriorated or damaged structures...".

Evidence:

The existing play structure and various park facilities are in deteriorating condition and

the facilities currently do not meet current standards for ADA access requirements. The proposed improvements include replacing the deteriorated play structure with a new play structure in the same location, and increasing ADA accessibility to existing and proposed facilities in accordance with the current standards and codes.

ATTACHMENTS

1. Conditions of Approval
 2. Planting Schedule
-

**Conditions of Approval
Board of Architectural Review
October 2, 2019**

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plan identified as “Manzanita Stuart Park Conceptual Plan” dated July 31, 2019.
2. Pedestrian walks will be constructed in accordance with Title 24 of the 2016 California Building Code.

Standard:

1. The landscape plan shall be installed and maintained in compliance with standards and regulations of the Monterey Peninsula Water Management District.
2. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.64.090.C.

Preliminary Planting Schedule Manzanita Stuart Park



Achillea Millefolium



Arctostaphylos Glauca



Baccharis Pilularis 'Pigeon Point'



Epilobium Canum



Heteromeles Arbutifolia



Lupinus Arboreus



Lupinus Formosus



Monardella Villosa



Phacelia Californica



Symphyotrichum Chilense

Emphasis put on those that are perennial, require low water, and incorporate varied bloom times. Plantings will be clustered appropriately for their needs allowing adequate room to grow.



CITY OF SEASIDE STAFF REPORT

Item No.: 6.C.

TO: Board of Architectural Review

BY: Gloria Stearns, Community Development Manager

DATE: October 16, 2019

SUBJECT: **BOARD OF ARCHITECTURAL REVIEW: BAR-19-15**
THE CITY OF SEASIDE, APPLICANT AND PROPERTY OWNER, IS SEEKING ARCHITECTURAL REVIEW APPROVAL AS REQUIRED OF SMC 17.62.030.B.3 FOR THE CREATION OF POLLINATOR HABITATS (LANDSCAPING) IN CITY PARKS, EXCEPT PACCHETTI DOG PARK, AND RIGHTS-OF-WAYS AND AS RELATED TO THE REQUIREMENTS OF THE SEASIDE'S BEE CITY USA DESIGNATION.

PURPOSE & RECOMMENDATION

The City is requesting BAR approval for the creation of pollinator habitats in all city parks, except Pacchetti Dog Park, and rights-of-ways in order to meet the requirements of BEE CITY USA and the MOU of the Xerces Society.

It's recommended that the BAR approve the request to allow for the creation of pollinator habitats in city parks, except Pacchetti Dog Park, and rights-of-ways in order to meet the requirements of BEE CITY USA.

BACKGROUND

The Environmental Committee (EC) collaborated with Planning staff to write a code amendment to the existing beekeeping regulations, changing beekeeping from requiring City Council approval to making it permitted by-right citywide.

April 4, 2019: Seaside City Council unanimously approved a Resolution supporting the designation of Seaside as a BEE CITY USA Affiliate.

What is BEE CITY USA?

Bee City USA fosters ongoing dialogue in urban areas to raise awareness of the role pollinators play in our communities and what each of us can do to provide them with

healthy habitat. The Bee City USA program endorses a set of commitments, defined in a resolution, for creating sustainable habitats for pollinators, which are vital to feeding the planet (<https://www.beecityusa.org/what-is-a-bee-city.html>).

The EC approached the Parks and Recreation Committee regarding collaborating to meet some of the BEE CITY USA obligations and they expressed interest and support. Sustainable Seaside approached the EC about collaborating to support pollinators and they were recently accepted into MC Gives! with their Make Seaside the Best Bee City project.

The EC is interested in fostering relationships with local community groups including Friends of Seaside Parks Association, Friends of Seaside Library, and Return of the Natives to achieve our collective goals related to pollinator habitats.

Seaside City Council signed a proclamation declaring Pollinator Week June 17-23, 2019. That week the EC and SeaStars co-hosted a Pollinator Week event at Stewart-Manzanita Park, which also involved Sustainable Seaside and Friends of the Natives.

The EC applied for a Monarch and Pollinator Habitat Kit through the Xerces Society and was selected as a recipient (see Attachment 1: Letter and MOU). The native plants will be delivered around the end of October 2019 and the EC will coordinate planting efforts. In total 1,600 plugs will be delivered. Friends of Seaside Parks Association, Friends of Seaside Library, and Sustainable Seaside all have communicated interest in being involved in the creation of pollinator habitats.

Xerces Society Pollinator Statement:

Pollinators are essential to our environment. The ecological service they provide is necessary for the reproduction of over 85% of the world's flowering plants, including more than two-thirds of the world's crop species. The United States alone grows more than 100 crops that either need or benefit from pollinators, and the economic value of these native pollinators is estimated at \$3 billion per year in the U.S. Beyond agriculture, pollinators are keystone species in most terrestrial ecosystems. Fruits and seeds derived from insect pollination are a major part of the diet of approximately 25% of all birds, and of mammals ranging from red-backed voles to grizzly bears. In many places, the essential service of pollination is at risk from habitat loss, pesticide use, and introduced diseases (<https://xerces.org/pollinator-conservation/>).

HABITAT SITE SELECTION

The city is interested in establishing pollinator habitats in city parks and in rights-of-ways. Coordination between the EC, Parks and Recreation Committee and Seaside Public Works will be essential to the successful establishment of pollinator habitats. Additionally, keeping site options open will allow for flexibility and responsiveness to changing resources and community input over a span of time.

Monarch habitat planting sites identified and status of stewards:

Farallones - Emily Howard (FOSPA)
Durant - Patty Kennedy (FOSPA)
Beta - Laura Murphy (as citizen)
Boys and Girls Club - (Save the Whales/Maris Sidenstecker)
Capra - NEED STEWARD
Lincoln-Cunningham - NEED STEWARD
Leslie Park - NEED STEWARD
Seaside Library - NEED STEWARD

Additional planting sites will be accommodated if a community group or individual suggests it and agrees to take responsibility as a steward. Ideally, the steward lives or works within a comfortable walk of the site and can easily make a routine of checking on the planting at least once weekly.

The EC will coordinate delivery of one cubic yard each of compost and mulch to each of the planting sites. All planting will take place preferably in November 2019. The EC is also working to have informational signage available for all planting sites related to the purpose of establishing these public pollinator gardens and Seaside's status as a Bee City USA. We will coordinate with all community partners to hold a public outreach event at one of the sites in November, but will not coordinate public outreach for all planting sites. If the steward for any given site would like to hold an event, the EC will coordinate as possible to support that activity. The preferred site for a public outreach event will be the Seaside Public Library, pending establishment of a steward for that site.

Responsibility of stewards (11/2019 - 11/2021):

- Communicate with project coordinator by text/phone/email to provide updates, photos and request assistance if needed throughout establishment of plants
- Support planting activities and education/outreach to community as available
- Check on plantings approximately once weekly to monitor condition
- Irrigate new plantings twice weekly until appreciable rain begins. Continue to supplement with irrigation depending on rainfall through Spring 2020.
- Spring-Fall 2020, continue to irrigate as needed for establishment, approximately 2-4x/month
- Winter 2020 - continue to monitor plants for establishment, need for irrigation

2021: Unless conditions resulted in poor establishment, the plants should be mostly self-maintaining. If not, this year will require ongoing monitoring and supplemental irrigation, too

The project coordinator will be in ongoing communication with all stewards about establishment of plants and any needs identified throughout the two-year establishment period, including accommodations for stewardship during vacations, etc.

of the primary steward.

Plant material will be delivered and available for planting by late October. Return of the Natives at CSUMB has agreed to care for the plants until each planting location is prepared to plant.

SPECIES LIST

The first habitats created will be from the Monarch and Pollinator Kit provided by the Xerces Society. The following species comprise the kit:

Monardella villosa, Coyote Mint: two-foot-high perennial with gray-green leaves and light purple clusters of flowers in summer. Native to the California coast ranges. Drought tolerant but takes garden water if given perfect drainage. Butterflies use as a nectar source. Attracts pollinating insects and butterflies.

Solidago velutina ssp. *californica*, California Goldenrod: yellow flowered perennial. Native to California.

Symphotrichum chilense, California aster: The flower cluster holds aster flower heads with centers of yellow disc florets and fringes of many narrow light purple ray florets. Perennial native that's concentrated in the central coast region. The flowers attract many beneficial insects.

Verbena lasiostachys, Vervain: Long blooming season. Native perennial herb found primarily along the coast. Good butterfly plant.

ATTACHMENTS

1. Attachment 1 - Xerces MOU
-

Monarch and Pollinator Habitat Kit

Memorandum of Understanding

The Xerces Society



Xerces Contact info:

General contact: centralvalleypollinators@xerces.org

Angela Laws: angela.laws@xerces.org

Jessa Kay-Cruz: jessa.kay-cruz@xerces.org

We are happy to announce that your project has been chosen to receive a Monarch and Pollinator Habitat Kit. Protecting and restoring habitat is a crucial step in the conservation of western monarchs and native pollinators. We're excited about working with you.

Each kit contains 1600 perennial transplants, most of which are plugs. Half of the transplants are milkweeds, and half are non-milkweed nectar plants. However, kits for sites within 5 miles of the CA coast will not contain milkweed. All the plants chosen are native, drought-tolerant plants known to be used by monarch butterflies and native pollinators.

Kits for northern CA will contain:

Asclepias speciosa (kits will contain plugs and rhizomes)

Asclepias fascicularis

Monardella villosa

Solidago velutina ssp. *californica*

Symphiotrichum chilense

Verbena lasiostachys

Kits for southern CA will contain:

Asclepias fascicularis

Salvia mellifera

Solidago velutina ssp. *californica*

Symphiotrichum chilense

Verbena lasiostachys

The Xerces Society will cover the cost of the kit, but you are responsible to pick up the kit or to pay for delivery from Hedgerow Farms in Winters, CA. For applicants that are far from Winters, CA, we will help put you in touch with other applicants in your county so you may arrange sharing the costs of picking up/delivery of the kits. **Please arrange for kit pick-up or delivery between October 7 and October 21, 2019.** If these dates change, we will notify you as soon as possible. The kits will come with a handout from Xerces containing tips on plant establishment and some useful resource links.

Hedgerow Farms:

Address: 1905 County Road 88
Winters, CA 95694
Phone: (530) 662-6847
Email: info@hedgerowfarms.com
Office Hours: Monday - Friday: 8am - 4pm (please make an appointment before coming out)

Additional terms:

1. By accepting the Monarch and Pollinator Habitat Kit, you are agreeing to plant the transplants in the habitat described in your application by the end of 2019. Xerces should be notified of any significant changes in the location or scope of your project. If for some reason you are not able to plant the transplants, Xerces should be notified as soon as possible so that the plants can be given to another applicant.
2. Once planting has been completed in late 2019, please: 1) notify Xerces (centralvalleypollinators@xerces.org) that planting is complete; 2) provide an estimate of the size of the area planted; and 3) please send some photos of the planting, along with the name of the person who took the photos. These photos may be used by Xerces in social media, outreach, publications, etc. The person who took the photos will be credited.
3. A one-page report on the project is due on June 30, 2020. Please submit the report to centralvalleypollinators@xerces.org. Information provided in the reports will help us learn more about successful habitat restoration in California. The project report should provide:
 - a. A brief description of the project, including the site where it took place
 - b. An outline of the site preparation methods, implementation and management techniques, including pesticide mitigation if applicable
 - c. Describe the success of plant establishment
 - d. A list of any outreach activities that have used the habitat
 - e. A shapefile or KMZ file of the habitat planting(s) (such as from google earth) or GPS coordinates of the corners of the habitat planting(s). These data will be added to our GIS map of pollinator habitat work in California.
 - i. *If the habitat work takes place on private property, please indicate whether or not these spatial data should remain private.* Data that remains private will be used internally by The Xerces Society, but will not appear on any externally shared maps of Xerces' work.
 - f. Pictures of the habitat and/or outreach activities, along with brief descriptions and photo credits. These photos may be used by Xerces in social media, outreach, publications, etc. The person who took the photo will be credited.
4. For any publicity or outreach events centered around your habitat project, please acknowledge The Xerces Society and our producer partners Hedgerow Farms and S&S Seeds.

Xerces is here to help! We're excited to partner with you to create habitat for California's monarchs and native pollinators. Xerces has a range of publications on monarchs, pollinators, site preparation methods, habitat restoration and management. All of these publications are available for free on our website (www.xerces.org). While we cannot actively manage your habitat restoration project, we do want your project to be successful. Please feel free to contact us with any questions or for guidance while working on your project.

Please consider including our community science projects for western monarchs (<https://www.monarchmilkweedmapper.org/>) and for bumble bees (<https://www.bumblebeewatch.org/>) in outreach activities at your site.

Thank-you for working to conserve California's monarch butterflies and native pollinators!

Signature /Date



CITY OF SEASIDE STAFF REPORT

Item No.: 6.D.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner

DATE: October 16, 2019

**SUBJECT: BOARD OF ARCHITECTURAL OF APPLICATION No. BAR-19-13:
MIACHAEL KOBRINSKY, PROPERTY OWNER, AND JON
RASMUSSEN, APPLICANT, ARE REQUESTING DESIGN REVIEW
APPROVAL FOR A FACADE RENOVATION TO ACCOMODATE A
FITNESS TRAINING CENTGER AT 1564 DEL MONTE
BOULEVARD IN THE MIXED USE (MX) ZONING DISTRICT IN
THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN
(APN# 011-302-008). THE PROJECT IS CATEGORICALLY
EXEMPT CLASS 1, SECTION 15301(E), PER THE CALIFORNIA
ENVIRONMENTAL QUALITY ACT GUIDELINES.**

PURPOSE & RECOMMENDATION

In accordance with Chapter 7 of the West Broadway Urban Village Specific Plan, design review approval is required for façade improvements to commercial buildings located within the Specific Plan boundaries.

City staff recommends approval of the façade change as proposed in accordance with the Conditions of Approval.

BACKGROUND

The project site is 6,680 square feet and is developed with a one-story, 2,337 square foot commercial building. The adjacent uses consist of a floor store and minor strip commercial center to the north, a vacant commercial building to the south, automotive services to the west, and multi-family housing to the east. Site Location Map is provided as Attachment 2. Site Photos are provided as Attachment 3.

Project Description

The proposed project is for a commercial façade renovation of an existing commercial

site to accommodate a new fitness training center. The following improvements are proposed:

142 square foot addition for the front entry at southwest corner of the site facing Del Monte Boulevard; and

Lighting

Office patio sconce lighting - Fixture A (H.E. Williams); and

Perimeter Lighting - Fixture B (Eaton Lumier EON 303); and

Main Patio General Lighting - Fixture C (Eaton Lumark LVI 20UG)

Entry Uplighting - Fixture D (Eaton Lumier BOCA 631); and

Exterior Materials

New aluminum storefront windows with black trim; and

Perimeter Fence (Rebar and Steel); and

Shou Sugi Ban siding installed vertically around entrance and cedar installed vertically on interior of entrance; and

Pantone "White Alyssum" paint on exterior; and

Black Steel Mesh Grid on exterior patio; and

Cedar Slat Fencing Installed Horizontally on the rear of building facing Palm Avenue; and

Wire Wrapped Rock Planters, Grey Rocks, Stainless Steel Metal Grid.

Signage

The signage will consist of installing individual metal letters on the south side of the front entry reading "THE HOOZGAU".

Parking Lot

The southern end of the site will be paved to provide a five space parking area.

Project Plans

The location of the improvements are listed on Sheet A-2001 (Exterior Elevations) of the project plans provided as Attachment 1 - Exhibit "A". The project plans also include site plan, floor plan and material sample of the siding, lighting, fencing, and planters.

Staff Analysis

The project site was formerly occupied by a bicycle shop which closed in 2018. The site has since been purchased by the individual who will also be operating the proposed fitness training center.

The proposed façade remodel will be consistent with the following design elements of the West Broadway Urban Village Specific Plan:

Building Location and Orientation

The new front entry and storefront window system will front on a primary street. The front entry will provide a recessed entrance with concealed lighting to further highlight the entry.

Corner Site

The new front entry will include the use of varying wood materials consisting of Shou Sugi Ban siding on the exterior and Cedar siding on the interior to provide both contrasting visual interest, pedestrian access, and special design to anchor the intersection with Del Monte Boulevard/Palm Avenue/Imperial Street.

Façade Articulation

The use of varying materials, recessed lighting and providing an outdoor patio on the south side of the building will emphasize three-dimensional detailing to cast shadows and create visual interest.

Findings

City staff recommends that the Board approve the project per the findings listed in Attachment 4.

ATTACHMENTS

1. Attachment 1 - Conditions of Approval
 2. Attachment 1 - Exhibit A Sign Plan
 3. Attachment 1 - Exhibit A Project Plans
 4. Attachment 2 - Location Map
 5. Attachment 3 - Site Photos
 6. Attachment 4 - Findings
-

Attachment 1

Conditions of Approval

File No. BAR 19-13

October 2, 2019

Commercial Conditions:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans stamped "Received September 23, 2019" and "Approved October 2, 2019."
2. The exterior building materials and colors must be installed in compliance with the materials board stamped "Received September 23, 2019".
3. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
4. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
5. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.54.090.C.
6. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
7. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.
8. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
9. All storm water runoff shall be contained and disposed of on site and the storm water retention system shall be reviewed and approved by the Public Works Department.

10. The project shall comply with the 2016 California Building Code.
11. The project shall comply with the 2016 California Fire Code.
12. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
13. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
14. Water conservation fixtures shall be provided in the proposed project.

Commercial:

Lighting:

1. Permanently installed lighting shall not blink, flash, or be of unusually high intensity or brightness. Lighting components must be replaced within two weeks of initial malfunction.

Signs:

1. Each sign and supporting hardware, including temporary signs, shall be maintained in good repair and functioning properly at all times.
2. Any repair to a sign shall be of equal or better in quality of materials and design as the original sign.
3. A sign that is not properly maintained and is dilapidated shall be deemed a public nuisance, and may be abated in compliance with the Municipal Code and Chapter 17.36 (Property Maintenance).
4. When an existing sign is removed or replaced, all brackets, poles, and other supports that are no longer required shall be removed.
5. Unpainted areas shall be painted to match the adjacent portion of the structure or the sign support structure.

Landscaping:

1. The property owner shall maintain all landscaping in a healthful and thriving condition at all times and in perpetuity, free of weeds, debris, and deceased plants.
2. Irrigation systems and their components shall be maintained in a fully functional manner consistent with the originally approved design.

3. Water waste in existing developments resulting from inefficient landscape irrigation leading to excessive runoff, low head drainage, overspray, and other similar conditions where water flows onto adjacent property, non-irrigated areas, walks, roadways, or structures is prohibited.
4. Failure to maintain landscape areas in compliance with the Conditions shall be deemed a public nuisance, and shall be subject to abatement in compliance with the Municipal Code, and/or the applicable planning permit may be revoked in compliance with Chapter 17.69 (Enforcement and Penalties).
5. Prior to final inspection or occupancy approval, all required landscaping shall pass an inspection to be performed by the Planning Division.



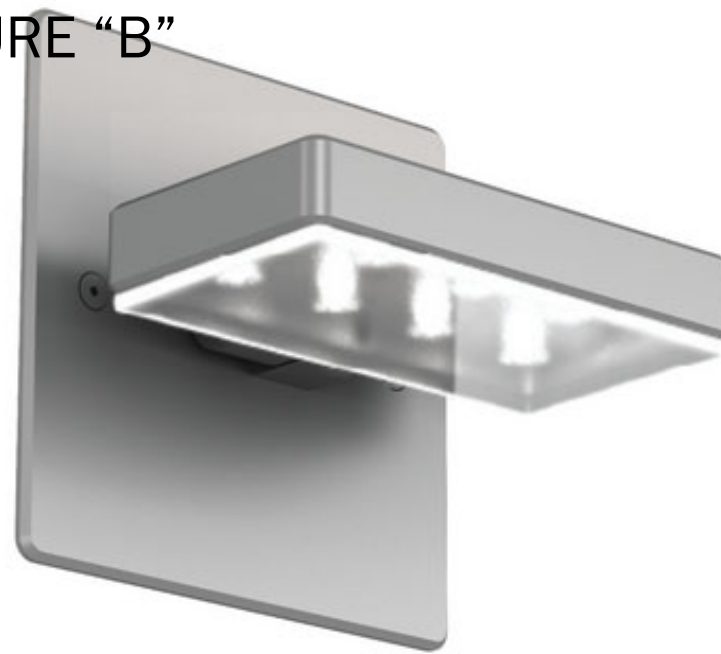


FIXTURE "A"



OFFICE PATIO GENERAL LIGHTING
H.E. WILLIAMS VWP

FIXTURE "B"



PERMITER LIGHTING
EATON LUMIERE EON 303

FIXTURE "C"



MAIN PATIO GENERAL LIGHTING
EATON LUMARK LVL20UG

FIXTURE "D"



ENTRY UPLIGHTING
EATON LUMIER BOCA 631

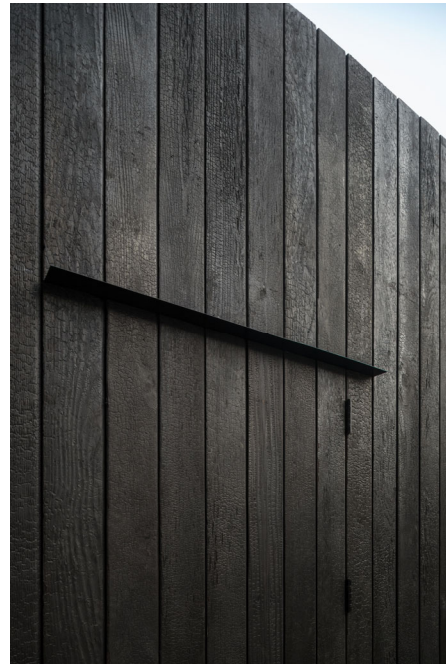


STOREFRONT SYSTEM COLOR
AND STYLE



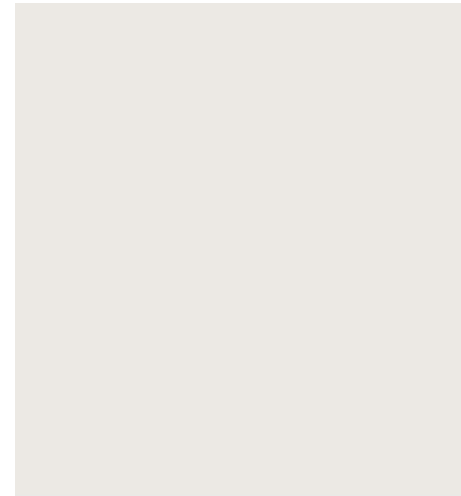
PERMIMETER FENCE. REBAR
AND STEEL

(A)



SHOU SUGI BAN SIDING,
INSTALLED VERTICAL AROUND
ENTRANCE

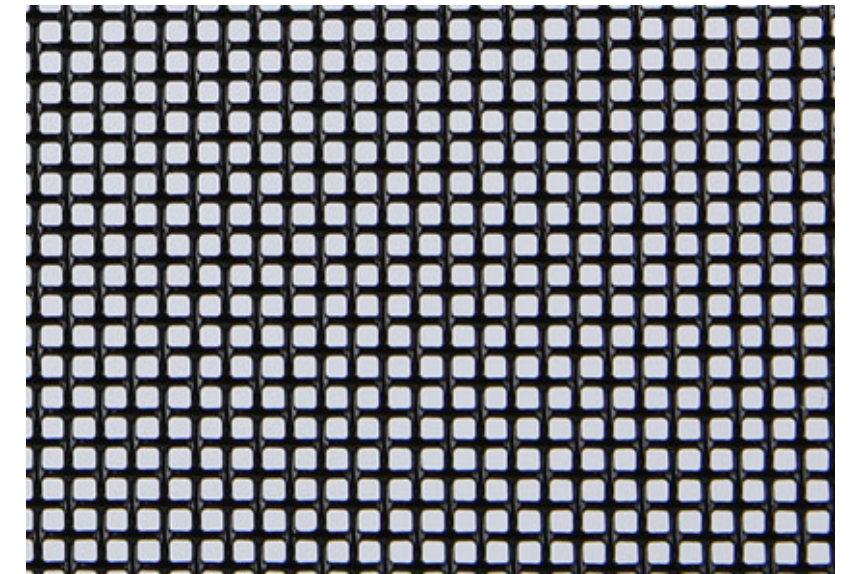
(B)



PANTONE®
11-1001 TPG
White Alyssum

EXTERIOR PAINT FINISH

(C)



BLACK STEEL MESH GRID

(D)



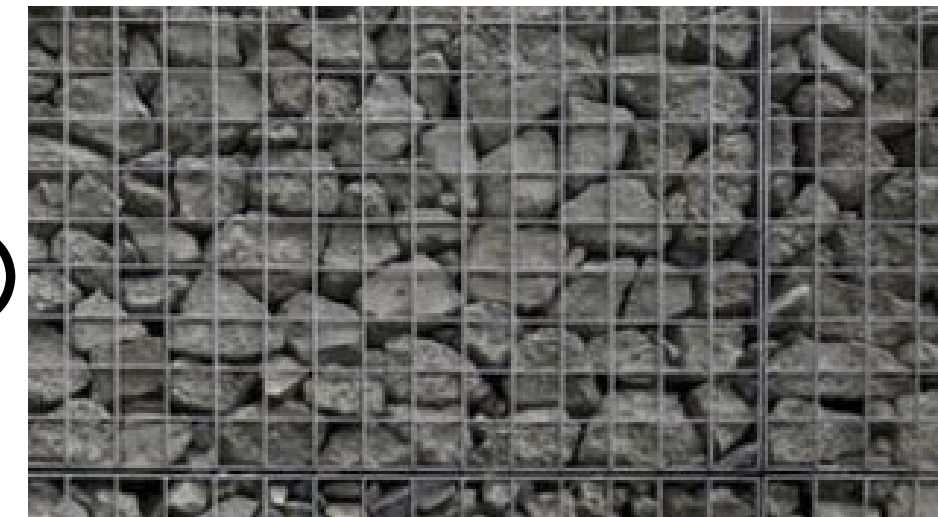
CEDAR SIDING INSTALLED
VERTICALLY ON INTERIOR OF
ENTRANCE

(E)



CEDAR SLAT FENCING
INSTALLED HORIZONATLLY

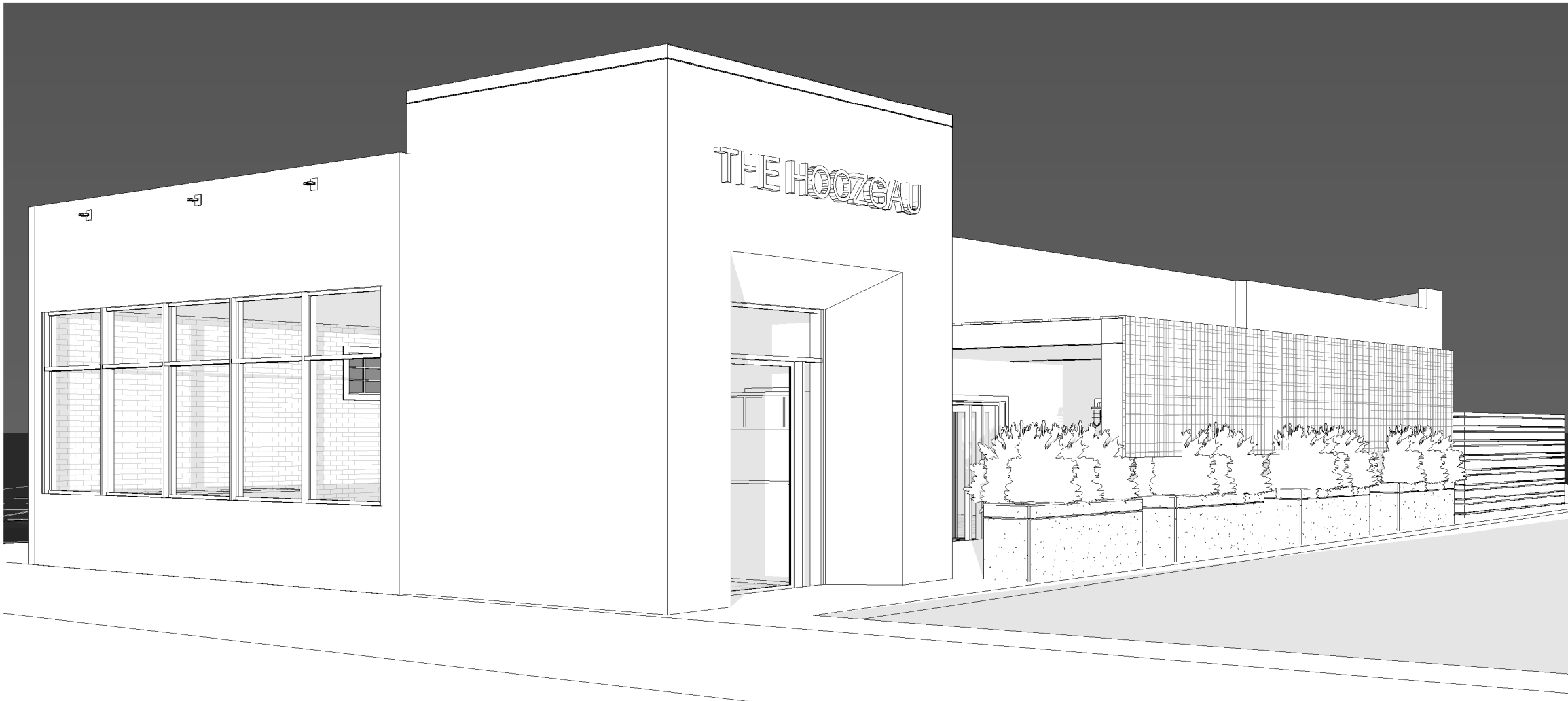
(F)



WIRE WRAPPED ROCK
PLANTERS, GREY ROCKS,
STAINLESS STEEL METAL GRID

ABBREVIATIONS

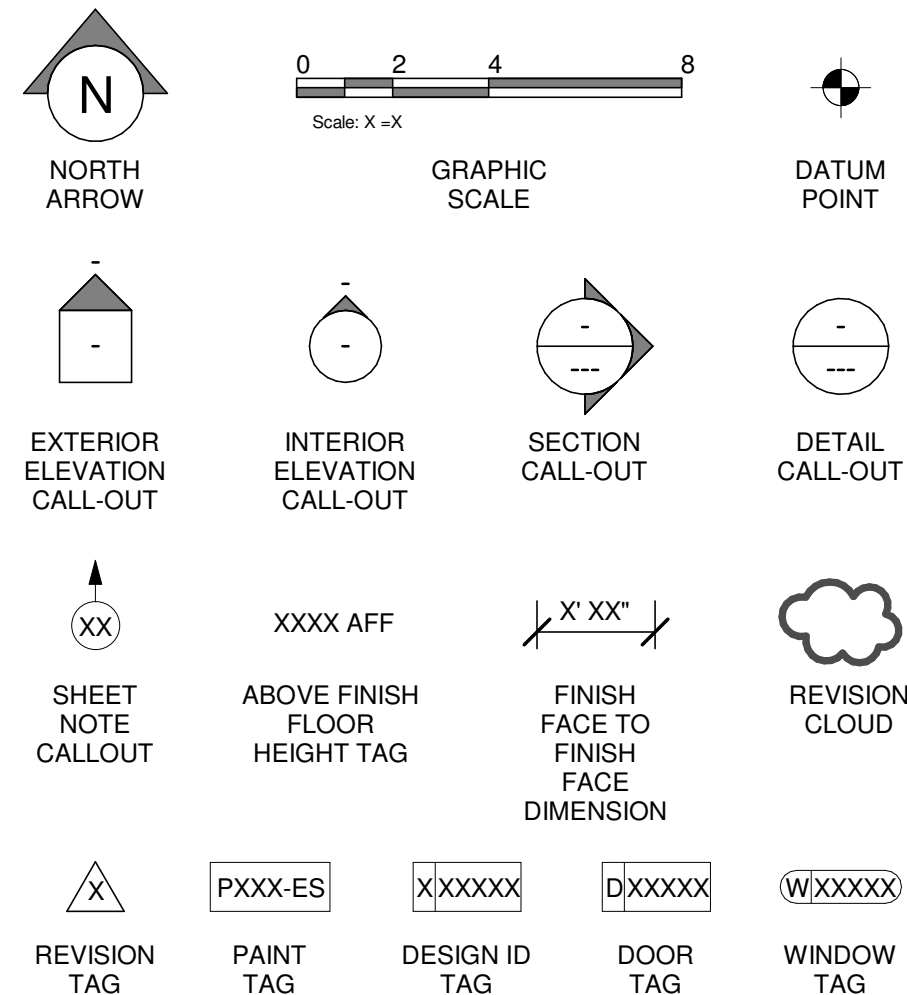
3PL	THIRD PARTY LOGISTICS
AC	AIR CONDITIONING
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITIES HAVING JURISDICTION
AMP	AMPERE
AOR	ARCHITECT OF RECORD
APPROX	APPROXIMATE
BOH	BACK OF HOUSE
BLDG	BUILDING
CAB	CABINET
CKT	CIRCUIT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR OR CLEARANCE
COL	COLUMN
COMP	COMPARTMENT
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CTR	CENTER
CW	COLD WATER
CWF	COLD WATER FILTERED
CX	COMMISSIONING
CXA	COMMISSIONING AGENT
DEG	DEGREES
DET	DETAIL
DIA	DIAMETER
DISP	DISPENSER
DIM	DIMENSION
DM	STARBUCKS DESIGN MANAGER
DN	DOWN
DWG(S)	DRAWING(S)
EA	EACH
EC	ELECTRICAL CONTRACTOR
EG	EXHAUST GRILLE
EL	ELEVATION
ELEC	ELECTRICAL
EM	EMERGENCY
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST OR (E)	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FC	STARBUCKS FIXTURE CONTRACTOR/INSTALLER
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FF&E	FURNITURE, FIXTURE AND EQUIPMENT
F&I	FURNISH AND INSTALL
FIN	FINISH
FLR	FLOOR
FOH	FRONT OF HOUSE
FRP	FIBERGLAS REINFORCED PANEL
FS	FLOOR SINK
FT	FOOT OR FEET
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GND	GROUND
HC	HOLLOW CORE
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HS	HAND SINK
HT	HEIGHT
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HW	HOT WATER
ID	INSIDE DIAMETER
LC	LICENSEE
LL	LAND LORD
LV	LOW VOLTAGE
MAX	MAXIMUM
MC	MECHANICAL CONTRACTOR
MECH	MECHANICAL
MEP	MECHANICAL, ELECTRICAL AND PLUMBING
MFR	MANUFACTURER
MIN	MINIMUM
MS	MOP SINK
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OA	OVER ALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
PC	PLUMBING CONTRACTOR
PLAM	PLASTIC LAMINATE
POS	POINT OF SALE
R	RADIUS
REF	REFERENCE
REQ(D)	REQUIRE(D)
REV	REVISION
RG	RETURN GRILLE
RND	ROUND
RT	ROOF TOP
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SST	STAINLESS STEEL
SUSP	SUSPENDED
TEL	TELEPHONE
TEMP	TEMPORARY
TW	TEMPERED WATER
TYP	TYPICAL
UC	UNDERCOUNTER
UON	UNLESS OTHERWISE NOTED
VD	VENDOR DIRECT
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	SANITARY WASTE
WH	WATER HEATER
WP	WEATHER PROOF
WCO	WALL CLEANOUT



GENERAL NOTES

- CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE CONSTRUCTION DOCUMENTS PRIOR TO STARTING CONSTRUCTION.
- THE ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON THE PLANS, SECTIONS AND DETAILS.
- SPECIFIC DETAILS AND NOTES TAKE PRECEDENCE OVER STRUCTURAL AND TYPICAL DETAILS.
- WHERE SPECIFIC DETAILS ARE NOT PROVIDED, CONSTRUCTION CAN FOLLOW DETAILS FOR SIMILAR CONDITIONS, UNLESS CONFLICT OCCURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN INSTALLATION AND MAINTENANCE OF ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS FINALIZED.
- THE CONTRACTOR SHALL PERIODICALLY REMOVE DEBRIS AND CLEAN THE AREA WHERE THEY ARE WORKING.
- THE CONTRACTOR SHALL TURN OVER TO THE OWNER A CLEAN AND COMPLETE JOB. ANY WORK NOT SPECIFICALLY CALLED FOR OR SPECIFIED, BUT NECESSARY TO COMPLY WITH THE INTENT OF QUALITY AND COMPLETENESS SHALL BE PERFORMED AS PART OF THIS PROJECT.
- FIRE EXTINGUISHERS SHALL BE INSTALLED PER UNIFORM FIRE CODE STANDARDS.
- ALL APPLICABLE ITEMS WILL BE COMPLIANT WITH C.B.C. CHAPTER 11B AT FINAL INSPECTION.
- CODES:
 - 2016 CBC - CALIFORNIA BUILDING CODE
 - 2016 CPC - CALIFORNIA PLUMBING CODE
 - 2016 CMC - CALIFORNIA MECHANICAL CODE
 - 2016 CEC - CALIFORNIA ELECTRICAL CODE
 - 2016 CFC - CALIFORNIA FIRE CODE
 - 2016 CALIFORNIA TITLE 24 ENERGY REQMENTS

ARCHITECTURAL SYMBOL LEGEND



BEST MANAGEMENT PRACTICES

- General Construction
- Keep all construction debris away from the street, gutter, and storm drain.
 - During cleanup, check the street and gutters for refuse or debris.
 - Securely cover dumpster or trailer with a lid or tarp when not in use.
- Painting Cleanup
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water based paints, paint out brushes on scrap material to the extent possible, and rise to the sanitary sewer.
 - For oil based paints, paint out brushes, filter and reuse thinners and solvents.
 - Dispose of empty aerosol paint cans as household hazardous waste.
- Concrete, Masonry, and tile work
- Don't mix up more fresh concrete or cement than you will use in a day.
 - Cover and protect bags of cement and paste after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
 - Wash down exposed aggregate concrete only when wash water can flow onto a direct area, or be collected, pumped, and disposed of properly. Never wash excess material from bricklaying or patio or driveway construction into a street or storm drain. When rinsing tools used for concrete and plaster work make sure the runoff goes to a drain hooked up to the sewer and not a storm drain.

DEFERRED SUBMITTALS

-

PROJECT DATA

ADDRESS: 1564 DEL MONTE BLVD

A.P.N: 011-302-008

ZONING: MIXED USE (WBUV)

LOT SIZE: 6,860 SF

CONSTRUCTION TYPE: V

NUMBER OF STORIES: 1

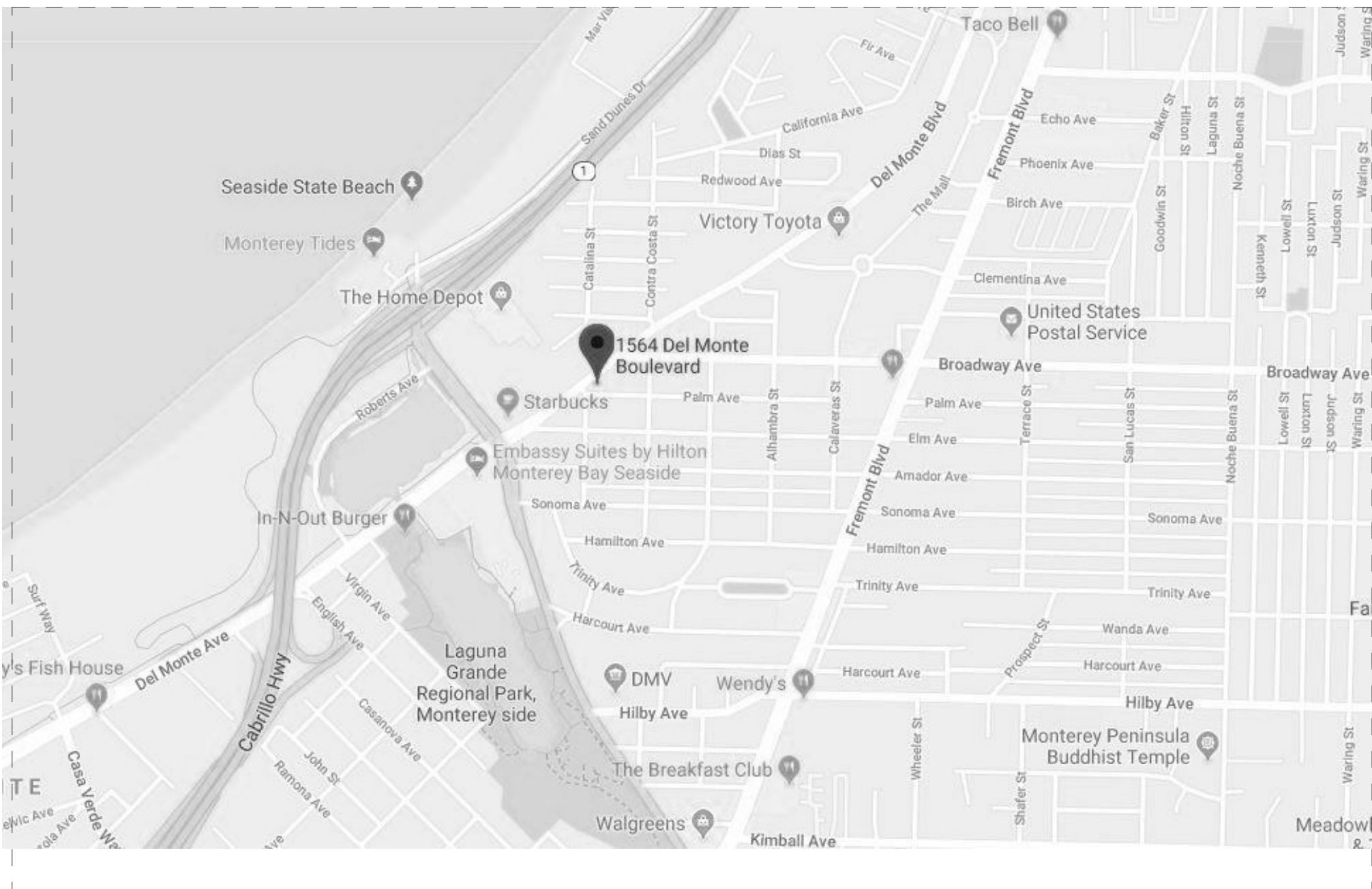
FIRE SPRINKLER SYSTEM: NONE

FIRE ALARM SYSTEM: NONE

FLOOR AREA BREAK DOWN			
FLOOR	EXISTING	CHANGE	TOTAL PROPOSED
1ST FLOOR	2,337 S.F.	145 S.F.	2,482

PROPOSED LOT COVERAGE: 36%
PROPOSED PARKING SPOTS: 5

VICINITY PLAN



SCOPE OF WORK

TENANT IMPROVEMENT. SCOPE TO INCLUDE 142 SF ADDITION, NEW ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS. NEW FINISHES THROUGHOUT, ADDITION OF STEEL TRELLIS STRUCTURE, NEW PARKING LOT, INTERIOR RECONFIGURATION, AND NEW FACADE.

PROJECT CONTACTS

DESIGNER:
CRAFT DESIGN-BUILD, INC
10 HARRIS CT SUITE C-4
MONTEREY, CA 93940
831-620-5235
JON@CRAFTDESIGNBUILD.COM

STRUCTURAL ENGINEER:
KYLER ENGINEERING

MECHANICAL ENGINEER:
ZAL ENGINEERING

ELECTRICAL ENGINEER:
AURUM CONSULTING ENGINEERS

CIVIL ENGINEER
WHITSON

INDEX OF SHEETS

SHEET	SHEET TITLE
GENERAL	
G-0001	GENERAL INFORMATION
A-2002	EXTERIOR ELEVATIONS
ARCHITECTURAL	
A-1001	ARCHITECTURAL SITE PLAN
A-1002	FLOOR PLAN
A-2001	EXTERIOR ELEVATIONS
A-3001	SECTIONS
INTERIORS	
I-1101	DEMOLITION FLOOR PLAN
I-1102	DEMOLITION CEILING PLAN
I-1103	CONSTRUCTION FLOOR PLAN
I-1104	PENETRATION PLAN
I-1105	FF AND E PLAN
I-1107	REFLECTED CEILING PLAN
I-1108	LIGHTING DIMENSION PLAN
I-1109	FLOOR FINISH PLAN
I-1110	WALL FINISH PLAN
I-2101	INTERIOR ELEVATIONS
PLUMBING	
P-0001	PLUMBING NOTES
P-1101	PLUMBING DESIGN PLAN
MECHANICAL	
M-0001	MECHANICAL NOTES
ELECTRICAL	
E-0001	ELECTRICAL NOTES
E-1101	ELECTRICAL DESIGN PLAN
E-1102	LIGHTING DESIGN PLAN



No.	Description	Date

THE PLANS, SPECIFICATIONS AND CALCULATIONS DETAILED HEREIN ARE INTENDED FOR THE EXCLUSIVE USE OF CRAFT DESIN-BUILD, INC. AS GUIDANCE FOR THEIR OWN CONSTRUCTION AND INSTALLATION PURPOSED

Consultants

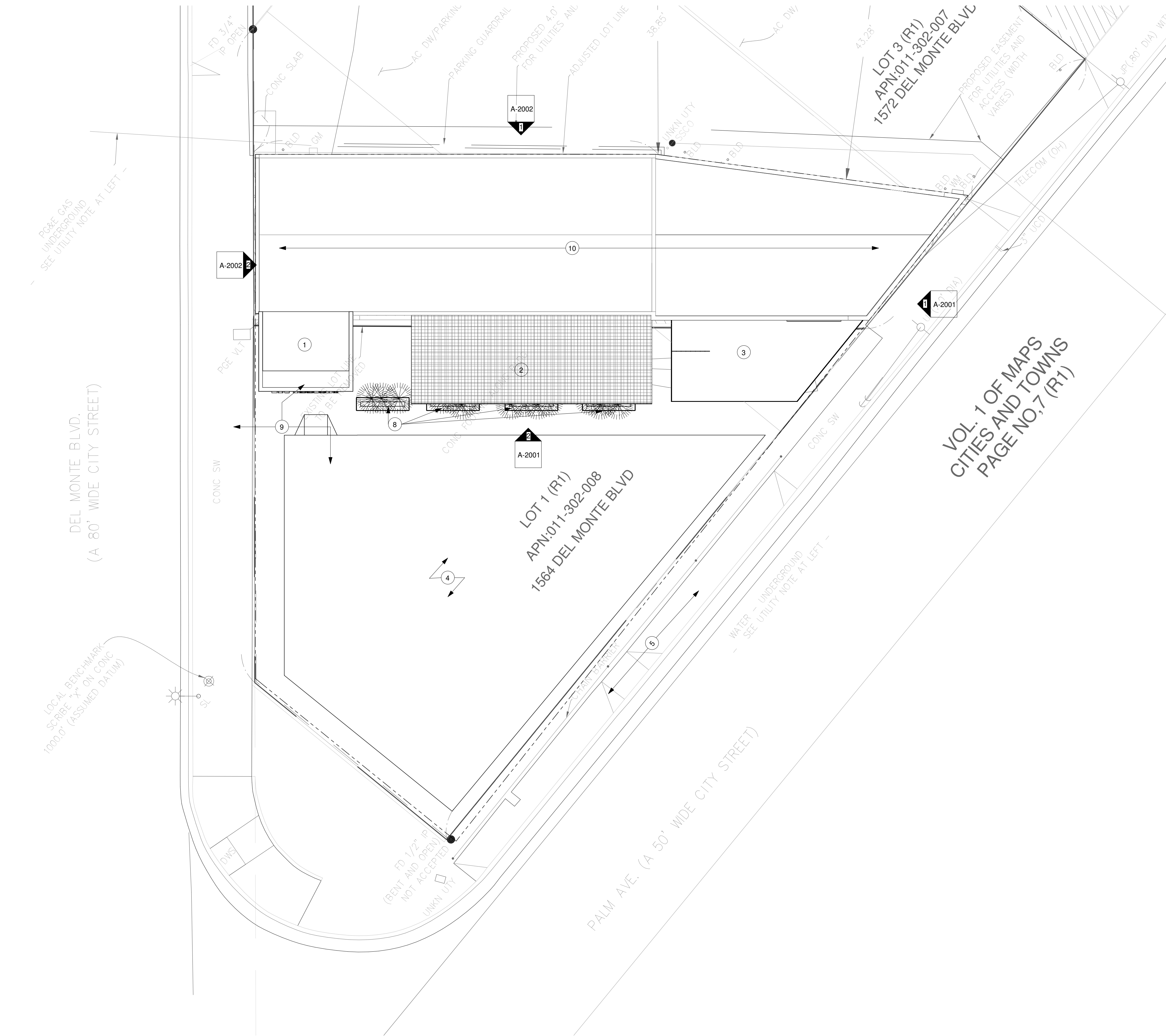
The Kobrinksys
THE HOOZGAU
1564 DEL MONTE BLVD

GENERAL INFORMATION

Project number	65663-001
Date	12/18/17
Drawn by	Author
Checked by	Checker

G-0001

Scale	As indicated
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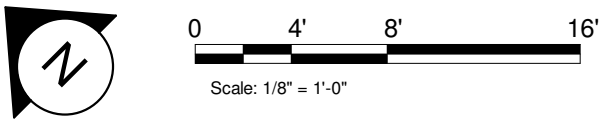
ARCHITECTURAL
SITE PLAN NOTES

A. REFER TO EXTERIOR ELEVATIONS ON SHEET A-2001, A-2002 FOR BUILDING SIGNAGE LOCATION.

B. REFER TO EXTERIOR ELEVATIONS FOR FINISH DETAILS

- SHEET NOTES
- 1 PROPOSED ADDITION
 - 2 NEW STEEL AND WELDED WIRE TRELLIS
 - 3 ENCLOSED PATIO
 - 4 PARKING AREA
 - 5 NEW APPROACH
 - 6 NOT USED
 - 7 PERMITER FENCE (REBAR AND STEEL)
 - 8 NEW CONCRETE PLANTERS
 - 9 ADA ACCESS
 - 10 EXISTING STRUCTURE TO REMAIN

1 SITE PLAN
Scale: 1/8" = 1'-0"



No.	Description	Date

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Consultants

The Kobrinksys

THE HOOZGAU

1564 DEL MONTE BLVD

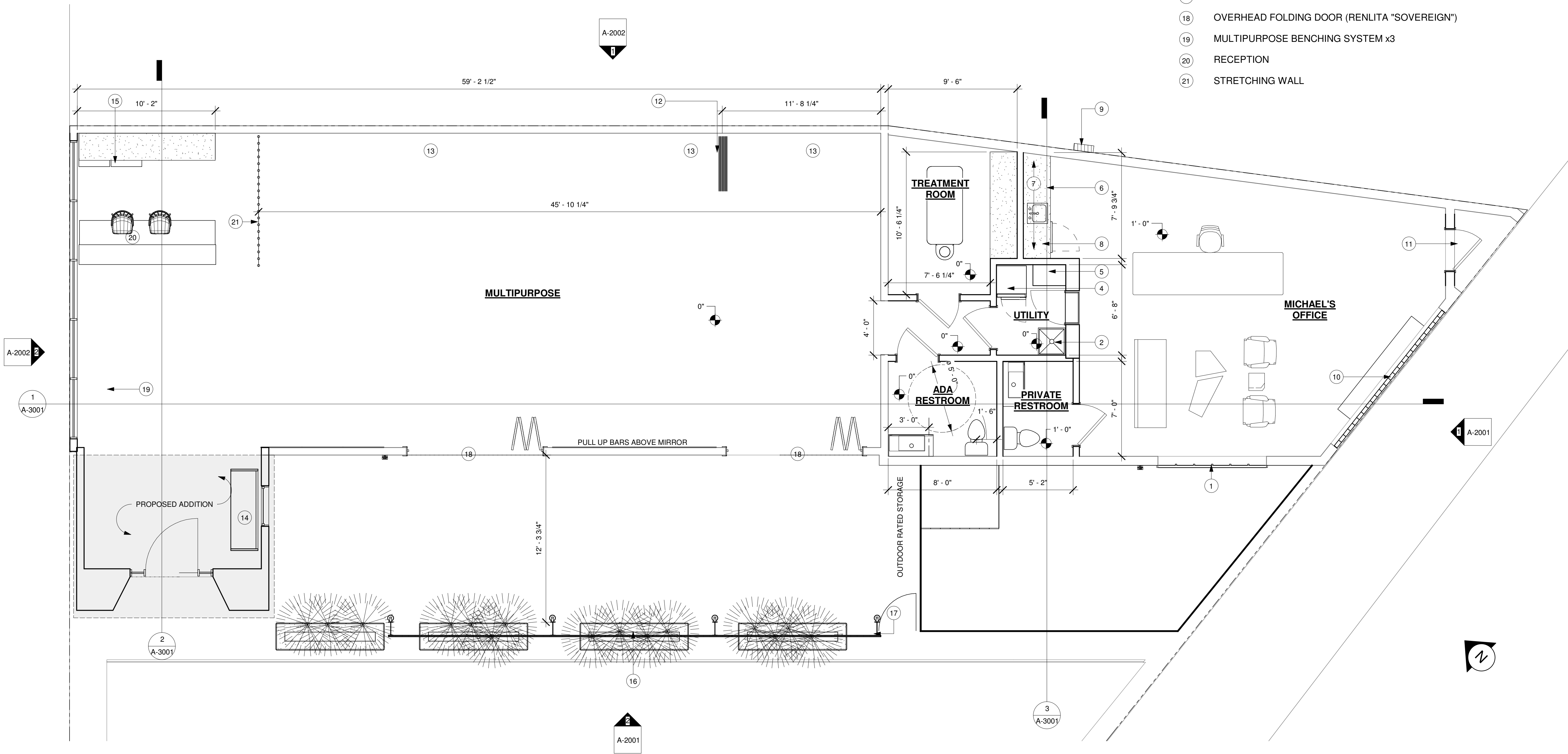
ARCHITECTURAL
SITE PLAN

Project number	65663-001
Date	12/18/17
Drawn by	Author
Checked by	Checker

A-1001

Scale	As indicated
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SHEET NOTES

- 1 GLASS ROLL-UP W/MAN DOOR (LUX GARAGE DOORS)
- 2 MOP SINK
- 3 NOT USED
- 4 STACKED WASHER AND DRYER
- 5 BUILT-IN STORAGE
- 6 LOWER CABINETS W/SOLID SURFACE COUNTERTOP
- 7 OPEN SHELVING
- 8 UNDER COUNTER REFRIGERATOR
- 9 TANKLESS WATER HEATER
- 10 INFILL WINDOW W/GLASS BLOCK
- 11 REPLACE W/SINGLE SOLID ENTRY DOOR
- 12 ROOM SEPARATION SYSTEM
- 13 EQUIPMENT STORAGE
- 14 MERCHANDISE
- 15 UNDERCOUNTER FRIDGE
- 16 PLANTERS/BARRICADES
- 17 STEEL TRELLIS STRUCTURE
- 18 OVERHEAD FOLDING DOOR (RENLITA "SOVEREIGN")
- 19 MULTIPURPOSE BENCHING SYSTEM x3
- 20 RECEPTION
- 21 STRETCHING WALL



No.	Description	Date

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Consultants

The Kobrinksys
THE HOOZGAU
1564 DEL MONTE BLVD

FLOOR PLAN

Project number	65663-001
Date	12/18/17
Drawn by	Author
Checked by	Checker

A-1002

Scale 1/4" = 1'-0"

DOOR SCHEDULE - "D"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
100	1	STOREFRONT METAL FRAME SINGLE - TYPE B		
150	2	VERTICAL FOLDING DOOR		RENLITA "SOVEREIGN"
200	1	GLASS ROLL UP GARAGE DOOR W/MAN DOOR		LUX GARAGE DOORS
10190	5	DOOR - SINGLE FLUSH - 36IN		

FINISH MATERIAL SCHEDULE - "Q"			
DESIGN ID	MATERIAL DESCRIPTION	FINISH DESCRIPTION	FINISH CODE
202	STUCCO	PAINTED FINISH	B
203	VERTICAL WOOD SIDING	JAPANESE SHOU SHUGI BAN	A
207	EXPANDED METAL SCREEN	POWDER COATED	C
208	CEDAR SIDING	STAINED CLEAR CEDAR	D
209	HORIZONTAL CEDAR FENCING	STAINED CLEAR CEDAR	E
260	W FLANGE STEEL	PAINTED STEEL	G
262	CONCRETE PLANTER	NATURAL CONCRETE	F

WINDOW SCHEDULE - "W"			
DESIGN ID	COUNT	DESCRIPTION	COMMENTS
100	1	STACKED GLASS BLOCK WINDOW	NEW
101	1	DIVIDED LIGHT WOOD WINDOW	EXISTING

SHEET NOTES

- 1
- WIDE FLANGE STEEL TRELLIS
- 2
- REPLACE (E) WINDOW W/GLASS BLOCK
- 3
- REPLACE DOUBLE DOORS W/SINGLE
- 4
- CLEAR CEDAR FENCE
- 5
- WELDED WIRE SCREEN
- 6
- CONCRETE PLANTERS
- 7
- METAL PARAPET CAP
- 8
- (N) OPENING FOR FOLDING DOOR SYSTEM
- 9
- ADDITION FOR NEW ENTRY

EXTERIOR ELEVATION NOTES

F. GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



No.	Description	Date

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Consultants

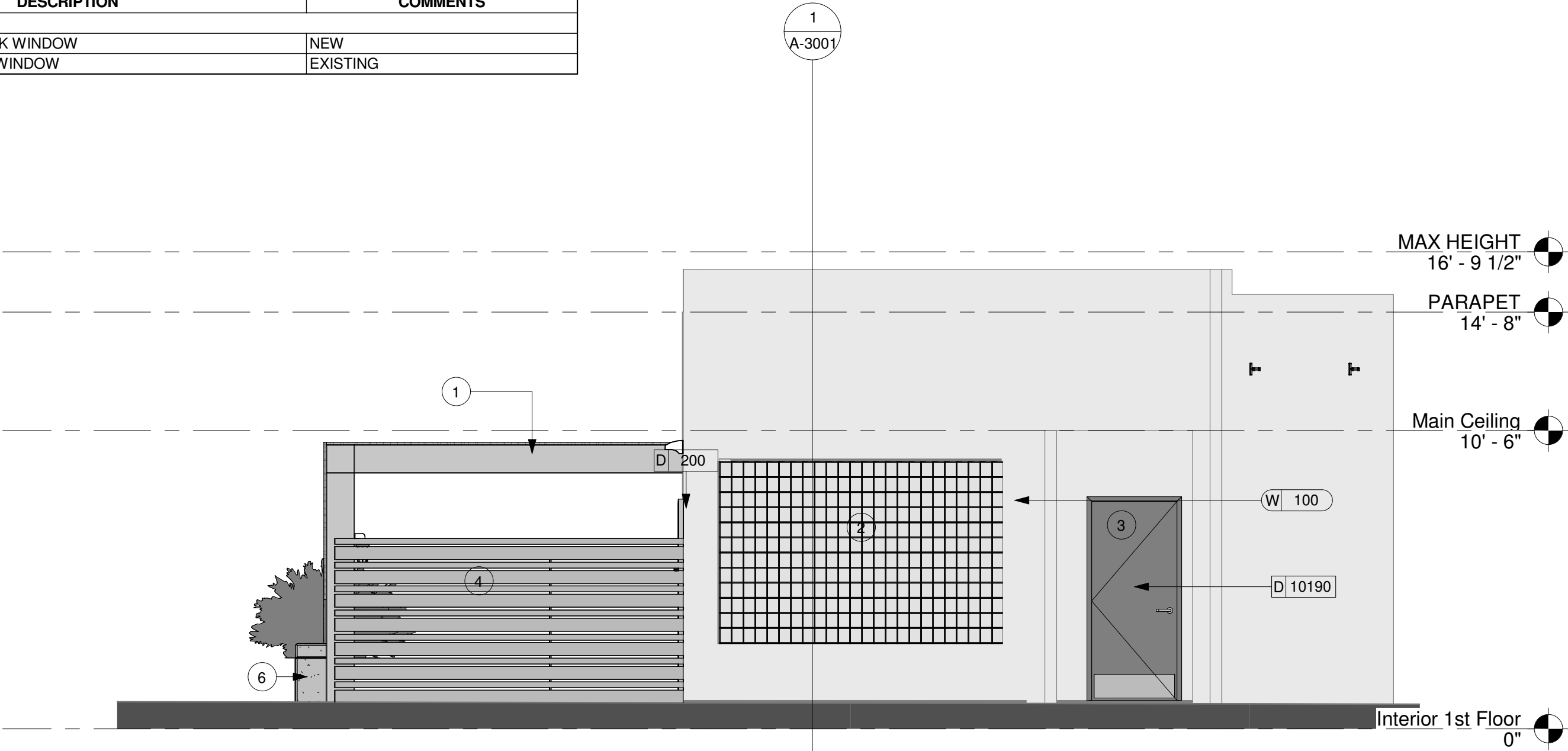
The Kobrinksys
THE HOOZGAU
1564 DEL MONTE BLVD

EXTERIOR ELEVATIONS

Project number	65663-001
Date	12/18/17
Drawn by	Author
Checked by	Checker

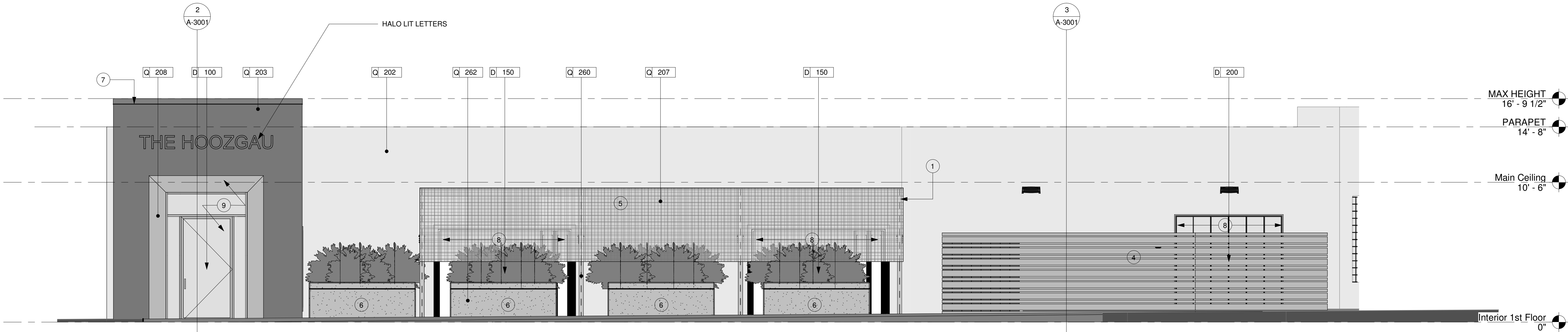
A-2001

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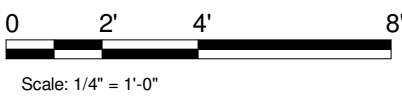
1 N ELEVATION

Scale: 1/4" = 1'-0"



2 NE ELEVATION

Scale: 1/4" = 1'-0"



FINISH MATERIAL SCHEDULE - "Q"			
DESIGN ID	MATERIAL DESCRIPTION	FINISH DESCRIPTION	FINISH CODE
202	STUCCO	PAINTED FINISH	B
203	VERTICAL WOOD SIDING	JAPANESE SHOU SHUGI BAN	A
207	EXPANDED METAL SCREEN	POWDER COATED	C
208	CEDAR SIDING	STAINED CLEAR CEDAR	D
209	HORIZONTAL CEDAR FENCING	STAINED CLEAR CEDAR	E
260	W FLANGE STEEL	PAINTED STEEL	G
262	CONCRETE PLANTER	NATURAL CONCRETE	F

WINDOW SCHEDULE - "W"			
DESIGN ID	COUNT	DESCRIPTION	COMMENTS
100	1	STACKED GLASS BLOCK WINDOW	NEW
101	1	DIVIDED LIGHT WOOD WINDOW	EXISTING



No.	Description	Date

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Consultants

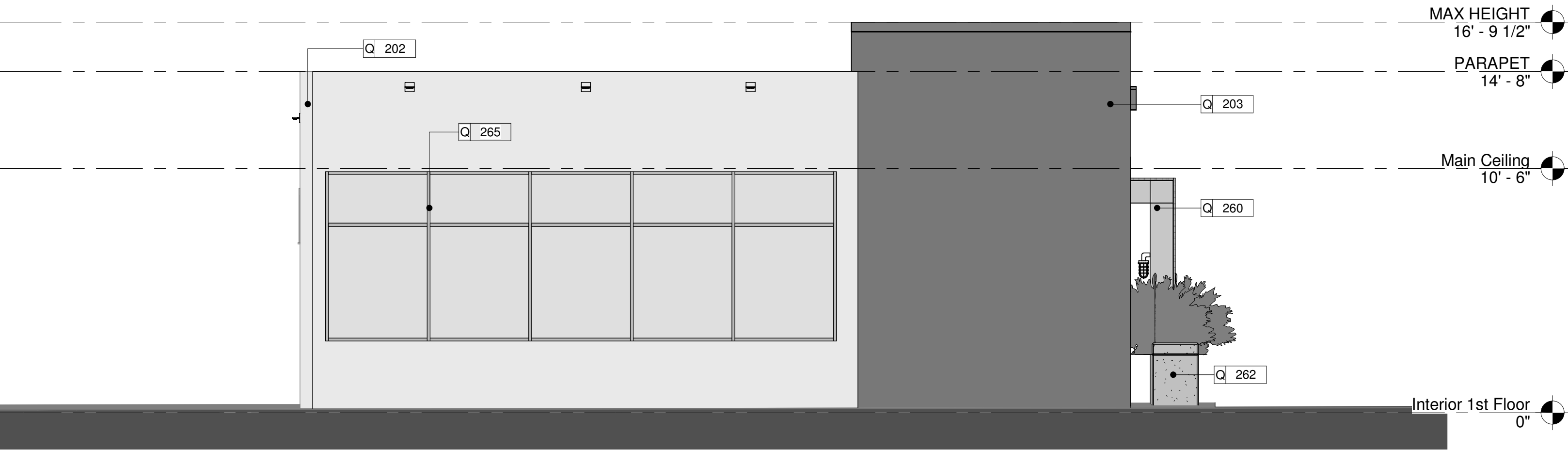
The Kobrinksys
THE HOOZGAU
1564 DEL MONTE BLVD

EXTERIOR
ELEVATIONS

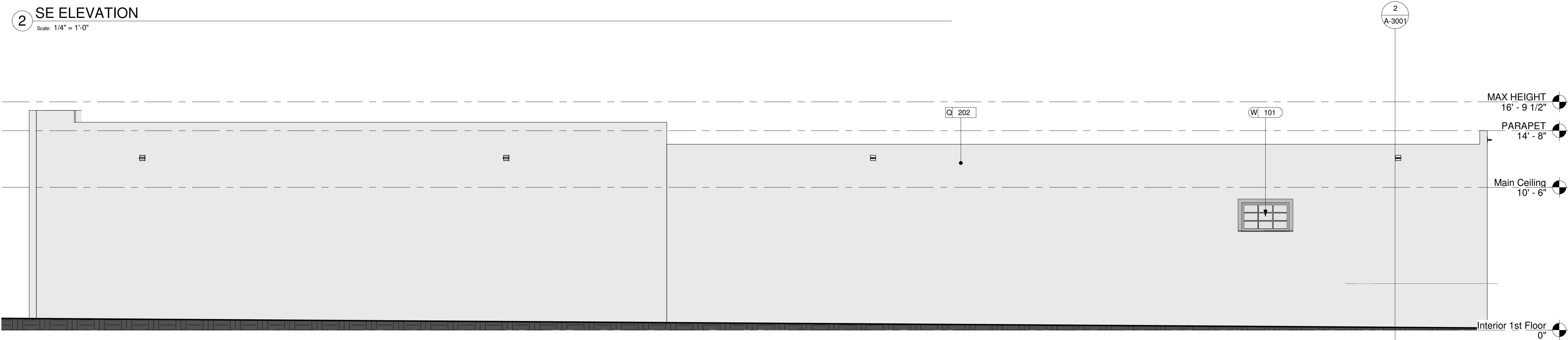
Project number	65663-001
Date	12/18/17
Drawn by	Author
Checked by	Checker

A-2002

Scale	1/4" = 1'-0"
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2 SE ELEVATION
Scale: 1/4" = 1'-0"

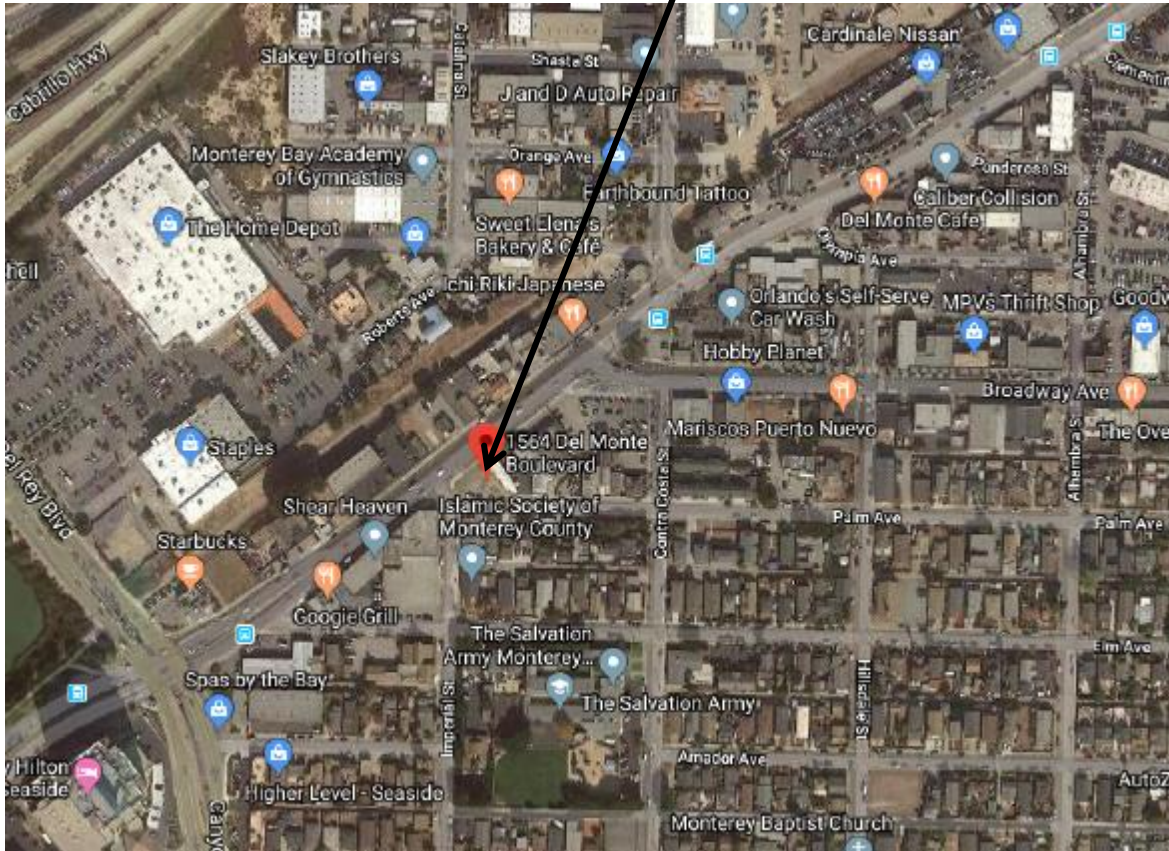


1 SW ELEVATION
Scale: 1/4" = 1'-0"

Attachment 2

Location Map

Project Site: 1564 Del Monte Boulevard



Attachment 3

Site Photos



Front Façade facing Del Monte Boulevard



South side facing Del Monte Boulevard and Palm/Imperial Intersection



Rear Elevation facing Palm Avenue

ATTACHMENT 4

FINDINGS

1. The design, height, location, and size of the exterior façade improvements and sign are visually complementary and compatible with the scale, and architectural style of the primary structures on the site, any prominent features on the site, and structures and prominent features on adjacent properties on the same street.

Evidence: The design would compliment the scale and style of on-site features as well as adjacent properties through color, placement, design, and consistent design per the design elements listed below:

Building Location and Orientation

The new front entry and storefront window system will front on a primary street. The front entry will provide a recessed entrance with concealed lighting to further highlight the entry.

Corner Site

The new front entry will include the use of varying wood materials consisting of Shou Sugi Ban siding on the exterior and Cedar siding on the interior to provide contrasting visual interest, pedestrian access, and special design to anchor the intersection with Del Monte Boulevard/Palm Avenue/Imperial Street.

Façade Articulation

The use of varying materials, recessed lighting and providing an outdoor patio on the south side of the building will emphasize three-dimensional detailing to cast shadows and create visual interest.

2. The proposed signs are in substantial conformance with the design criteria in Subsection 17.38.060.F (Design Criteria for Signs).

Evidence: The proposed signs comply with the Color, Design and Construction, Materials and Structure, and Street Address regulations outlined in Zoning Code Section 17.38.060.F. A company specializing in sign design and fabrication has prepared the sign plans. The materials and supporting structural members would be durable and proportional to the proposed signs. The street address would be provided on the west elevation of the proposed building.