



A G E N D A
CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
Council Chamber
440 Harcourt Avenue
Wednesday, February 12, 2020
7:00 PM

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

3. PLANNING COMMISSION

John Owens	Chair
Michael Spalletta	Vice Chair
Keith Dodson	Commissioner
Arlington La Mica	Commissioner
Dave Evans	Commissioner
William Silva	Commissioner

4. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

5. PUBLIC COMMENT

Members of the public wishing to address the City Council on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

6. APPROVAL OF MINUTES

**A. APPROVE MINUTES FOR NOVEMBER 13, DECEMBER 4 AND 11, 2019
AND JANUARY 22, 2020**

7. BUSINESS ITEMS

- A. USE PERMIT APPLICATION No. UP-19-15: CHARTWELL SCHOOL, APPLICANT AND JIM WEAVER, APPLICANT, ARE REQUESTING APPROVAL FOR A NEW MODULAR CLASSROOM BUILDING AND THE PERMITTING OF TWO EXISTING MODULAR CLASSROOM BUILDINGS AS PERMANENT CLASSROOM BUILDINGS ON THE CHARTWELL SCHOOL CAMPUS LOCATED AT 2511 NUMA WATSON ROAD. THE PROJECT IS EXEMPT CLASS 3, SECTION 15303(C) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

RECOMMENDATION: In accordance with Section 17.18.030.B (Table 2-

7 - Allowed Land Uses and Permit Requirements for Special Purpose Zones), a project for a private or specialized education facility is subject to the issuance of a use permit by the Planning Commission.

B. CAMPUS TOWN SPECIFIC PLAN AND DEVELOPMENT PROJECT

RECOMMENDATION: Planning Commission is tasked with making a recommendation on several of the project's entitlements, including the Campus Town Specific Plan, the Development Agreement, the General Plan amendment, and the Zoning text and map amendments, Inclusionary (Affordable) Housing Agreement, and Vesting Tentative Subdivision Map, which have been included as attachments to this staff report.

8. REPORTS FROM STAFF

9. ADJOURNMENT

Next Regularly Scheduled Meeting:
February 26, 2020
Seaside City Hall
7:00 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER

Wednesday, November 13, 2019
7:00 PM

1. CALL TO ORDER

The meeting was called to order at 7:04 p.m.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: DODSON, ROSS, LA MICA, EVANS, SILVA

ABSENT: SPALLETTA, OWENS

3. PLANNING COMMISSION

4. REVIEW OF AGENDA

None.

5. PUBLIC COMMENT

None.

6. APPROVAL OF MINUTES

A. REGULAR MEETING MINUTES FROM NOVEMBER 5, 2019

Typo on the agenda - correctly posted in the packet. Item 6A should read "Regular Meeting Minutes from October 23, 2019". There were no comments from the public.

On motion by Commissioner Ross and second by Commissioner La Mica and carried by the following vote, the Planning Commission moved to approve the October 23, 2019 meeting minutes.

RESULT: 4-0-1-2

AYES: SILVA, EVANS, LA MICA, ROSS

NOES: NONE

ABSTAIN: DODSON

ABSENT: SPALLETTA, OWENS

7. BUSINESS ITEMS

A. USE PERMIT APPLICATION NO. UP-19-13: 500 BROADWAY PARTNERS, LLC, APPLICANT, AND BENNY ENEA, PROPERTY OWNER, ARE REQUESTING THE APPROVAL OF A USE PERMIT TO ALLOW FOR A NIGHTCLUB WITHIN AN EXISTING 2,154 SQUARE-FOOT BUILDING WHICH WILL INCLUDE ENTERTAINMENT (I.E. COMEDY, LIVE MUSIC, DJ), A CLASS 47 ALCOHOL LICENSE, AND BONA FIDE MEALS LOCATED AT 500 BROADWAY AVENUE IN THE WEST BROADWAY URBAN VILLAGE SPECIFIC PLAN MIXED USE (MX) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(A) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT GUIDELINES. CONTINUED FROM THE OCTOBER 23, 2019 PLANNING COMMISSION MEETING.

Senior Planner Rick Medina provided a presentation. Staff recommended in accordance with the Zoning Standards of the Mixed Use zoning in the West Broadway Urban Village Specific Plan, a use permit is required to allow for a nightclub business. Community Development Director Gloria Stearns provided further information regarding the project, draft resolution and conditions. The applicant, Darryl Choates responded to questions and comments from the Commission.

On motion by Commissioner Silva and second by Commissioner Evans and carried by the following vote, the Planning Commission moved to approve UP-29-13 subject to condition changes as follows: that the use of the patio would be conditioned upon adequately enclose it and dealing with safety and egress with the building official and if the noise on the patio were to become a nuisance to the neighbor, that the use of the patio with alcohol be able to be reconsidered by the City. Noise generated by use -- add "or the patrons..."

RESULT: 5-0-2-0

AYES: SILVA, DODSON, LA MICA, EVANS, ROSS

NOES: NONE

ABSENT: SPALLETTA, OW

ABSTAIN:

8. REPORTS FROM COMMISSIONERS

Evans - Suggested to staff to add the appeal language to agenda.

Silva - Reported on intersection gridlock issues at Fremont from SB1 near Sand City.

9. REPORTS FROM STAFF

December 4, 2019 Planning Commission Special Meeting for review of the Housing Element. The November 27, 2019 regular meeting for the Planning Commission will be cancelled.

10. ADJOURNMENT

The meeting adjourned at 7:54 p.m.

Respectfully submitted,

Lesley Milton, City Clerk

John Owens, Chair



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

SPECIAL MEETING
COUNCIL CHAMBER

Wednesday, December 4, 2019
7:00 PM

1. CALL TO ORDER

The meeting was called to order at 7:03 p.m.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: SPALLETTA, DODSON, ROSS, LA MICA, SILVA, EVANS
ABSENT: OWENS

Commissioner Evans arrived at 7:09 p.m.

3. PLANNING COMMISSION

4. REVIEW OF AGENDA

None.

5. PUBLIC COMMENT

None.

6. BUSINESS ITEMS

A. PUBLIC HEARING RECEIVING TESTIMONY FROM THE PUBLIC AND CONSIDER ADOPTING RESOLUTIONS RECOMMENDING THAT 1.) THE CITY COUNCIL ADOPT A NEGATIVE DECLARATION OF NO SIGNIFICANT IMPACT FOR THE 5TH CYCLE (2015-2023) DRAFT HOUSING ELEMENT TO THE GENERAL PLAN AND 2.) CONSIDER ADOPTION OF A RESOLUTION RECOMMENDING THAT THE CITY COUNCIL AMEND THE GENERAL PLAN BY ADOPTING THE 5TH CYCLE (2015-2023) DRAFT HOUSING ELEMENT TO THE GENERAL PLAN

Senior Planner Rick Medina introduced the item and consultant Veronica Tam. Ms. Tam provided a presentation to the Commission and responded to questions and comments.

On motion by Commissioner Silva and second by Commissioner Ross and carried by the following vote, the Planning Commission moved to recommend that the City Council adopt a negative declaration of no significant impact for the 5th cycle (2015-2023) draft housing element to the general plan.

On motion by Commissioner Ross and second by Commissioner Silva and carried

by the following vote, the Planning Commission moved to adopt a resolution recommending that the City Council amend the general plan by adopting the 5th cycle (2015-2023) draft housing element to the general plan.

RESULT: 6-0-0-1

AYES: SPALLETTA, DODSON, ROSS, LA MICA, EVANS, SILVA

NOES: NONE

ABSTAIN: NONE

ABSENT: OWENS

7. REPORTS FROM COMMISSIONERS

Commissioner Ross announced that she would be relocating out of state and this meeting would be her last. (Commissioner Ross has served on the Planning Commission for 5 years).

8. REPORTS FROM STAFF

None.

9. ADJOURNMENT

The meeting was adjourned at 7:36 p.m.

Respectfully submitted,

Lesley Milton, City Clerk

John Owens, Chair



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER

Wednesday, December 11, 2019
7:00 PM

1. CALL TO ORDER

The meeting was called to order at 7:05 p.m.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: OWENS, SPALLETTA, DODSON, LA MICA, SILVA
ABSENT: ROSS, EVANS

3. PLANNING COMMISSION

4. REVIEW OF AGENDA

None.

5. PUBLIC COMMENT

None.

6. APPROVAL OF MINUTES

None.

7. BUSINESS ITEMS

A. RECEIVE AND PROVIDE INPUT ON THE DRAFT SAFE ROUTES TO SCHOOL PLAN PRESENTED BY ECOLOGY ACTION

Interim City Engineer, Scott Ottmar introduced the item and Amelia Cohen from Ecology Action that would provide a presentation on the Draft Safe Routes to School Plan.

8. REPORTS FROM COMMISSIONERS

Owens - inquired about paving on streets that have had temporary repairs and paving.

9. REPORTS FROM STAFF

None.

10. ADJOURNMENT

The meeting was adjourned at 7:43 p.m.

Respectfully submitted,

Lesley Milton, City Clerk

John Owens, Chair



DRAFT MINUTES

CITY OF SEASIDE
PLANNING COMMISSION

REGULAR MEETING
COUNCIL CHAMBER

Wednesday, January 22, 2020
7:00 PM

1. CALL TO ORDER

The meeting was called to order at 7:00 p.m.

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: OWENS, SPALLETTA, DODSON, LA MICA, EVANS, SILVA, HUYNH
ABSENT: NONE

3. PLANNING COMMISSION

4. REVIEW OF AGENDA

None.

5. PUBLIC COMMENT

None.

6. APPROVAL OF MINUTES

None.

7. BUSINESS ITEMS

A. USE PERMIT APPLICATION NO. UP-19-16: FELIPE VILICANA, APPLICANT, AND NANCY MARZI, PROPERTY OWNER, ARE REQUESTING APPROVAL OF A SMALL COLLECTION RECYCLING FACILITY LOCATED AT 1220 BROADWAY AVENUE IN THE COMMERCIAL MIXED USE (CMX) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT GUIDELINES, CLASS 11, SECTION 15311.C.

Associate Planner Beth Rocha provided a presentation and responded to questions. The applicant Felipe Villicana responded to questions from the Commission and a public comment letter that was distributed at the meeting.

PUBLIC COMMENT SPEAKERS: Robert Taylor (business owner), Bethany (homeowner)

Comments from the Commissioners sought to clarify whether the regulation was mandated by the State and the process for the enforcement of cleanliness. Chair Owens re-opened public comment to allow a member of the public to ask questions regarding operating hours and noise control.

On motion by Commissioner Dodson and second by Commissioner Silva and carried by the following vote, the Planning Commission moved to approve Use Permit 19-16 for a small collection recycling facility located at 1220 Broadway Avenue in the Commercial Mixed Use zoning district with the additional

conditions that the unit be maintained and cleaned daily, glass and other debris off the ground; and for the hours on Saturdays to be reduced pursuant to the state law.

RESULT: 7-0-0-0

AYES: OWENS, SPALLETTA, DODSON, LA MICA, EVANS, SILVA, HUYNH

NOES: NONE

ABSTAIN: NONE

ABSENT: NONE

8. ELECTION OF CHAIR AND VICE CHAIR

On motion by Commissioner Dodson and second by Commissioner La Mica and carried by the following vote, the Planning Commission moved to elect John Owens as Chair and Michael Spalletta as Vice Chair of the Planning Commission for the 2020 calendar year.

RESULT: 7-0-0-0-0

AYES: OWENS, SPALLETTA, DODSON, LA MICA, EVANS, SILVA, HUYNH

NOES: NONE

ABSTAIN: NONE

ABSENT: NONE

9. REPORTS FROM COMMISSIONERS

None.

10. REPORTS FROM STAFF

Senior Planner Rick Medina announced a Planning Commissioner Conference on February 1 and advised the Commission that they would be provided with details and invitation to attend.

11. ADJOURNMENT

The meeting was adjourned at 7:36 p.m.

Respectfully submitted,

Dominique L. Davis, Secretary

John Owens, Chair



CITY OF SEASIDE STAFF REPORT

Item No.: 7.A.

TO: Planning Commission

BY: Rick Medina, Senior Planner

DATE: February 12, 2020

SUBJECT: USE PERMIT APPLICATION No. UP-19-15: CHARTWELL SCHOOL, APPLICANT AND JIM WEAVER, APPLICANT, ARE REQUESTING APPROVAL FOR A NEW MODULAR CLASSROOM BUILDING AND THE PERMITTING OF TWO EXISTING MODULAR CLASSROOM BUILDINGS AS PERMANENT CLASSROOM BUILDINGS ON THE CHARTWELL SCHOOL CAMPUS LOCATED AT 2511 NUMA WATSON ROAD. THE PROJECT IS EXEMPT CLASS 3, SECTION 15303(C) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PURPOSE & RECOMMENDATION

In accordance with Section 17.18.030.B (Table 2-7 - Allowed Land Uses and Permit Requirements for Special Purpose Zones), a project for a private or specialized education facility is subject to the issuance of a use permit by the Planning Commission.

BACKGROUND

Chartwell School was approved by Planning Commission with a site plan review application on July 9, 2003. The original project description in the Negative Declaration for the campus anticipated the school housing its educational/administrative services within three (3) main buildings. Of these planned buildings, two classroom buildings have been built with the location of the third building being developed with prefabricated, modular classrooms. Based on funding, Chartwell School is now foregoing the larger campus type facility and pursuing the expansion of its middle school and high school curriculum by using modular buildings. The proposed and existing modular classrooms consist of a high quality, LEED certified design to match the LEED certified status of the existing campus.

SITE LOCATION AND DESCRIPTION

The subject parcel is approximately 28 acres, with a portion of the northwest area of the parcel developed as the existing Chartwell School campus and the remaining portion of the site vegetated with dense tree canopy. The proposed modular building would be located on previously graded level ground, immediately adjacent to two existing modular classroom buildings and main classroom buildings on the Chartwell School campus. There are no significant site or infrastructure improvements planned as part of the proposed project, other than physical connections of the buildings to existing school utilities.

Surrounding land uses consist of Marshall Elementary School to the west, military residential community to the north and vacant former Ft. Ord land to the east and south (See Aerial Photo provided as Attachment 3) . Site photos of the school campus and proposed location on the campus are provided as Attachment 4.

Project Description

The applicant is proposing to locate a 2,023 square-foot prefabricated, modular classroom building at the northwest corner of the campus. In addition to approving the proposed modular building, the applicant is also requesting that the City allow two existing prefabricated, modular classroom buildings which were previously approved in 2009 as temporary buildings to remain as permanent classroom facilities. The project plans are provided as Exhibit "A" to attachment 1.

The proposed modular classroom building and the two existing modular classroom buildings consist of green building materials and systems, consistent with the existing Chartwell School green building certification through the U.S. Green Building Council. The classrooms would be used for middle school and high school grades.

Access to the project site would occur via existing driveways, parking areas and walkways of the Chartwell School campus. The modular buildings would be prefabricated off-site and transported to the site for assembly. An existing unimproved driveway would provide access to transport vehicles during initial assembly and occupants would access the proposed buildings from existing paved walkways within the Chartwell School campus. Both a short stairway and ADA ramp would provide entry to both proposed temporary buildings.

Additional parking spaces are not proposed as part of this proposed project. Existing off-street parking is adequate for the existing and future development phases of the School, as approved in 2003, and the proposed project would not increase the required parking spaces for the project site.

STAFF ANALYSIS

Use Permit Findings

In accordance with Seaside Municipal Code (S.M.C) Section 17.16, an application for a classroom building shall be filed through the Use Permit process, and considered by the Planning Commission to determine whether the following findings can be made concerning the proposed project:

Finding No. 1

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Zoning Ordinance Conformance

The project is located within the PI (Public/Institutional) Zoning District. The Chartwell School was approved in July of 2003 as a permitted use under the previous 2003 Seaside Zoning Ordinance. The proposed project is consistent with the development standards of the PI Zone under S.M.C. Section 17.18.050 (Special Purpose Zone Site Planning and Building Standards) in that the development area is currently disturbed and will not have any impacts on existing vegetation/fauna/trees that surround the perimeter of the project area.

Finding No. 2

The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is PI (Public/Institutional). The land use classification is intended to include public and private schools and other public or public-serving uses. According to the Seaside General Plan, the PI land use designation is intended to provide for land uses that are under public or institutional ownership and/or have public benefit. The proposed project would be utilized in conjunction with the previously approved private Chartwell School campus.

The proposed project is consistent with the following General Plan Goals and Policies.

Land Use Element

Goal LU-11: Cooperate with local school districts and other educational organizations to ensure that a level of public education is provided that meets the community's educational needs

Policy LU-11.1: Consider impacts of proposed projects on school enrollment and facilities.

Evidence: Approval of high quality modern modular classroom buildings on the Chartwell School campus would provide for the quality accommodation of immediate and long-term future school enrollment for grades 6-12. The available infrastructure on site is sufficient to accommodate the proposed expansion of its middle and high

school grades.

Finding No. 3

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Design

The proposed design of the three modular buildings would be of a modern contemporary style with natural stained wood siding and standing seam metal roof. The proposed design of the modular buildings would be consistent with the existing design style of the Chartwell School campus.

Location

The proposed modular buildings would be located on the existing Chartwell School campus, immediately to the north of the permanent classroom buildings. The site layout of the modular classrooms will be consistent with the existing outdoor walkway and congregation areas of the Chartwell School. The proposed buildings would specifically be located on the site of a future expansion area.

Size

The proposed modular classroom buildings would be approximately sixteen (16) feet in height with a footprint each of approximately 1,152 square feet (including access stairs and ramps) for the two pre-existing buildings and 2,023 square feet for the new modular classroom building. The proposed dimensions of each building are consistent with the existing scale and size of the existing Chartwell School campus.

Operating Characteristics

The proposed modular classroom buildings would be used primarily during normal school business hours. Occasional evening use would occur by school faculty or afterschool activities. These operating characteristics are consistent with the existing Chartwell School campus.

Finding No. 4 The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

The Chartwell School campus is served by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project. As condition of approval, the applicant must receive clearance from the applicable public utility agency to permit the connection of standard utilities for the two buildings.

Finding No. 5

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

The granting of Use Permit Application No. UP-19-15 would not create significant noise,

traffic, or other conditions or situations that may be objectionable or detrimental to other existing or future uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

ENVIRONMENTAL REVIEW

The project is a Categorically Exempt, Class 3, Section 15303 meeting the following conditions:

a)The proposed structures would total approximately 2,023 for a new modular classroom and 1,920 square feet in floor area (960 square feet each) for the existing modular classrooms, less than the maximum structure floor area of 10,000 square feet as defined under this exemption. The proposed structures would also involve less than significant amounts of hazardous substances as the structures are proposed to be built using green building techniques and would be approved for occupancy as classroom, meeting, and office space.

CONCLUSION

Based on the analysis, staff recommends approval of the Use Permit Application No. UP-19-15. The proposed Use Permit complies with the goals and policies of the Seaside General Plan and applicable requirements of Title 17 of the Seaside Municipal Code.

ATTACHMENTS

1. Attachment 1 - Draft Resolution
 2. Attachment 1 - Exhibit A - Project Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Aerial Photo
 5. Attachment 4 - Site Photos
-

RESOLUTION NO. 20-XX

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SEASIDE, STATE OF CALIFORNIA,

APPROVING A USE PERMIT TO GRANT FOR THE CONSTRUCTION OF A MODULAR CLASSROOM BUILDING AND MAKING PERMANENT TWO EXISTING MODULAR CLASSROOM BUILDINGS ON THE CAMPUS OF CHARTWELL SCHOOL AT 2511 NUMA WATSON ROAD, IN THE PI (PUBLIC/INSTITUTIONAL) ZONING DISTRICT.

WHEREAS, Chartwell School, property owner, and Jim Weaver, applicant, have applied for a Use Permit for approval of modular classroom buildings on the Chartwell School campus at 2511 Numa Watson Road, located in the PI (Public/Institutional) Zoning District; and

WHEREAS, the proposed project requires discretionary approval, and it is the responsibility of the Planning Commission to consider and weigh the merits of the application and public input in relation to the policies, standards and intent of the Seaside General Plan and Seaside Municipal Code; and

WHEREAS, the Seaside Planning Commission considered oral comments and written information concerning the proposed amendment at a duly noticed public hearing held on February 12, 2020; and

WHEREAS, the project is a Categorically Exempt, Class 3, Section 15303 meeting the following conditions:

- a) The proposed structures would total approximately 2,023 for a new modular classroom and 1,920 square feet in floor area (960 square feet each) for the existing modular classrooms, less than the maximum structure floor area of 10,000 square feet as defined under this exemption. The proposed structures would also involve less than significant amounts of hazardous substances as the structures are proposed to be built using green building techniques and would be approved for occupancy as classroom, meeting, and office space.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission adopts the following findings for Use Permit Application No. UP-19-15:

Finding No. 1

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code.

Zoning Ordinance Conformance

The project is located within the PI (Public/Institutional) Zoning District. Chartwell School was established in July of 2003 as a permitted use under the 2003 Seaside Zoning Ordinance. The proposed project is consistent with the development standards of the PI Zone under S.M.C. Section 17.18.050 (Special Purpose Zone Site Planning and Building Standards) in that the development area is currently disturbed and will not have any impacts on existing vegetation/fauna/trees that surround the perimeter of the project area.

Finding No. 2

The proposed use is consistent with the General Plan and any applicable specific plan.

Seaside General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is PI (Public/Institutional). The land use classification is intended to include public and private schools and other public or public-serving uses. According to the Seaside General Plan, the PI land use designation is intended to provide for land uses that are under public or institutional ownership and/or have public benefit. The proposed project would be utilized in conjunction with the previously approved private Chartwell School campus.

The proposed project is consistent with the following General Plan Goals and Policies.

Land Use Element

Goal LU-11: Cooperate with local school districts and other educational organizations to ensure that a level of public education is provided that meets the community's educational needs

Policy LU-11.1: Consider impacts of proposed projects on school enrollment and facilities.

Evidence: Approval of high quality modern modular classroom buildings on the Chartwell School campus would provide for the quality accommodation of immediate and long-term future school enrollment for grades 6-12. The available infrastructure on site is sufficient to accommodate the proposed expansion of its middle and high school grades.

Finding No. 3

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Design

The proposed design of the three modular buildings would be of a modern contemporary style with natural stained wood siding and standing seam metal roof. The proposed design of the modular buildings would be consistent with the existing design style of the Chartwell School campus.

Location

The proposed modular buildings would be located on the existing Chartwell School campus, immediately to the north of the permanent classroom buildings. The site layout of the modular classrooms will be consistent with the existing outdoor walkway and congregation areas of the Chartwell School. The proposed buildings would specifically be located on the site of a future expansion area.

Size

The proposed modular classroom buildings would be approximately sixteen (16) feet in height with a footprint each of approximately 1,152 square feet (including access stairs and ramps) for the two pre-existing buildings and 2,023 square feet for the new modular classroom building. The proposed dimensions of each building are consistent with the existing scale and size of the existing Chartwell School campus.

Operating Characteristics

The proposed modular classroom buildings will be in use primarily during normal school business hours. Occasional evening use would occur by school faculty or afterschool activities. These operating characteristics are consistent with the existing Chartwell School campus.

Finding No. 4

The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

The Chartwell School campus is serviced by existing water, wastewater, and electrical infrastructure and facilities with adequate capacity to serve the proposed project. The proposed modular classroom will remain in compliance with the six acre-foot water

allocation for the project site. As condition of approval, the applicant must receive clearance from the applicable public utility agency to permit the connection of standard utilities for the two buildings.

Finding No. 5

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare, or materially injurious to persons, property, or improvements in the vicinity and zone district in which the property is located.

The granting of Use Permit Application No. UP-19-15 would not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other existing or future uses in the vicinity or adverse to the public interest, health, safety, convenience, or welfare of the City.

BE IT FURTHER RESOLVED, that the Planning Commission approve Use Permit Application No. UP-19-15 subject to the following conditions:

Project Specific

Planning:

1. The new modular building and two temporary portable buildings shall be located on the Chartwell School campus in accordance with the site plan, floor plan, and elevations dated 1-20-20, Chartwell School Addition. Prior to issuance of occupancy by the Building Division, the project shall receive a consistency determination by the Fort Ord Reuse Authority (FORA).

Building:

2. The project shall be constructed in compliance with the 2016 California Building Code.
3. The applicant shall receive building permit approval by the Building Division for the construction of the new modular building approved under this Use Permit, prior to assembly of the pre-fabricated buildings on the Chartwell School campus. The existing modular buildings shall receive a final inspection in as-built condition for their occupancy as permanent buildings.
4. A soils report shall be submitted along with plans submitted with the building permit application. The soils report submitted for the approval of the original Chartwell School campus may be submitted, to the satisfaction of the Building Official.

Public Works:

5. Plans submitted for a building permit application shall clearly define the direction and flow of stormwater created by new construction and all new impervious surfaces added as a result of new construction. Any new retention basins required to mitigate new stormwater runoff shall be approved by the Public Works Department prior to approval of final inspection by the Building Division.

Fire Department:

6. The proposed development shall be in compliance
7. Both the new and existing modular buildings approved under this Use Permit shall install automatic fire sprinklers and indicate the location of sprinklers and all associated appurtenances with plans submitted for a building permit application. The Seaside Fire Marshall shall be responsible for the approval of such improvements.

Standard:

8. Use Permit approval is subject to revocation procedures contained in S.M.C.S. 17.69.060 in the event any of the conditions of this approval are violated, this discretionary permit was granted on the basis of false or misleading information, written or oral, given willingly or negligently by the applicant or property owner, and/or there has been a discontinuance of the use, or purposed for which the permit was issued, for a period of 180 days or more.
9. This Use Permit is subject to procedures and requirements of Chapter 17.54 (Permit Implementation, Time Limits, and Extensions), and those related to appeals and revocation in Article 6 (Zoning Ordinance Administration) of Title 17 of the Municipal.
10. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney's fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
11. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

12. The project shall comply with all applicable fees and regulations of the Fort Ord Reuse Authority (FORA) prior to occupancy of approved use.
13. The project shall comply with the requirements and the applicable ordinances of the Marina Coast Water District (MCWD) for the installation of new water and sewer infrastructure.
14. The permit shall have no force or effect unless and until accepted, and the terms thereof agreed to, in writing, by the applicant and property owner within fifteen (15) days from the date of its approval.
15. This Use Permit shall expire and become void 12 months from the date of approval, or upon the expiration of another time limit established by the review authority, unless use has commenced within the required time limit or the Zoning Administrator has granted an extension of time. In accordance with Section 17.54.080.B.1.a of the Zoning Code, the applicant must file request for time extension at least 30 days prior to expiration date in order to receive consideration of time extension by the Commission.
16. For purposes of assuring compliance, the applicant, agents, representatives or their assignees agree not to deny or impede access to the subject property by City employees in the performance of their duties.

PASSED AND ADOPTED at the regular meeting of the Planning Commission of the City of Seaside, State of California, on the February 12, 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

John Owens, Chairperson

ATTEST:

Planning Commission Secretary

**USE PERMIT APPLICATION NO. UP-19-15
RESOLUTION NO. 20-XX**

These permits are hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Planning Commission.

Applicant's Signature

Date

Property Owner's Signature

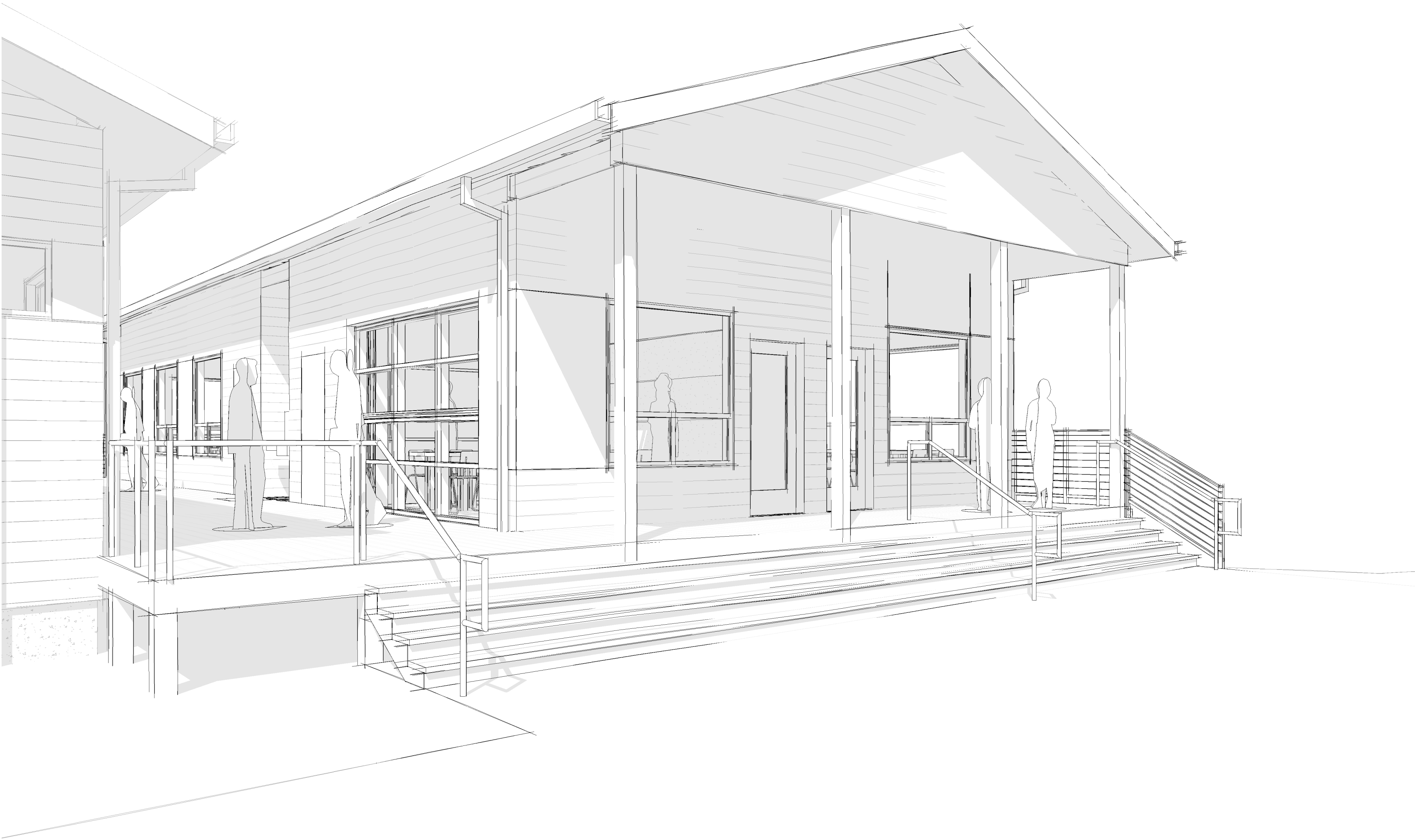
Date

CHARTWELL SCHOOL ADDITION BUILDING 500

2511 NUMA WATSON RD, SEASIDE, CA 93955

CONSTRUCTION DOCUMENTS

1/21/2020



VICINITY MAP



PROJECT DATA

PROJECT ADDRESS:	2511 NUMA WATSON RD SEASIDE, CA 93955
PROJECT DESCRIPTION:	CONSTRUCTION OF A PREFABRICATED MODULAR SCHOOL BUILDING WITH A SITE BUILT FOUNDATION AND ROOF. CONSTRUCTION OF A NEW SITE-BUILT DECK CONNECTING TO AN EXISTING BUILDING TO REMAIN
PARCEL NO:	031-151-022
LEGAL DESCRIPTION:	BY LETTER DATED AUGUST 31, 1995, FROM THE US ARMY CORPS OF ENGINEERS, CERTAIN FEDERAL SURPLUS REAL PROPERTY IDENTIFIED AS A PARCEL OF LAND CONTAINING BUILDING #P4308, THE FORT ORD OFFICERS CLUB - FERGIUSSON HALL, A PORTION OF THE FORT ORD MILITARY RESERVATION, CONSISTING OF 28.960 ACRES OF IMPROVED LAND, LOCATED IN MONTEREY COUNTY, CALIFORNIA. THE 1996 QUITCLAIM DEED (WITH THIS LEGAL DESCRIPTION) IS RECORDED IN THE OFFICIAL LAND RECORDS OF MONTEREY COUNTY, CALIFORNIA AT REEL 3331, PAGE 207.
TYPE OF CONSTRUCTION:	TYPE V-B
SPRINKLERED:	YES
APPLICABLE BUILDING CODES:	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA ENERGY EFFICIENT STANDARDS 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALGREEN CODE SEASIDE MUNICIPAL CODE
AHJ:	CITY OF SEASIDE (SITE WORK) STATE OF CALIFORNIA, FBH / DEPT OF HOUSING & COMMUNITY DEVELOPMENT (OFF SITE MODULAR)
LAND USE CODE CONFORMANCE:	CITY OF SEASIDE
DESIGN CRITERIA:	REFER TO SITE PLAN FOR ZONING / LAND USE INFORMATION REFER TO STRUCTURAL CALCULATIONS

PROJECT TEAM

OWNER:	CHARTWELL SCHOOL 2511 NUMA WATSON RD SEASIDE, CA 93955
TITLE 24 CONSULTANT:	FRI ENERGY CONSULTANTS, LLC 21 N. HARRISON AVE, SUITE 210, CAMPBELL, CA 95008 CONTACT: NICK BIGNARDI (408) 866-1620 NICK@FRICONSULTING.COM
ARCHITECT:	GROUPARCHITECT 1735 WESTLAKE AVE N, SUITE 200, SEATTLE, WA 98109 CONTACT: SCOTT LABENZ (206) 365-1230 SCOTT@GROUPARCH.COM
SURVEYOR:	WHITSON ENGINEERS 6 HARRIS COURT, MONTEREY, CA 93940 CONTACT: KATIE LEE (831) 649-5225 KLEE@WHITSONENGINEERS.COM
GEOTECH:	HARO, KASUNICH AND ASSOCIATES, INC. 116 EAST LAKE AVENUE, WATSONVILLE, CA 95076 CONTACT: CHRISTOPHER GEORGE (831) 722-4175
CIVIL:	WHITSON ENGINEERS 6 HARRIS COURT, MONTEREY, CA 93940 CONTACT: KATIE LEE (831) 649-5225 KLEE@WHITSONENGINEERS.COM
STRUCTURAL:	ASHLEY & VANCE 7530 LONGLEY LANE, SUITE 105, RENO, NV 89511 CONTACT: JORDAN DEMO (775) 825-4945
MODULAR CONTRACTOR:	METHOD HOMES 95 YESLER WAY, SUITE 300, SEATTLE, WA 98104 CONTACT: JOHN BACON (206) 789-5553 JOHN@METHODHOMES.NET
MODULAR PLANT LOCATION:	6819 NORTHGATE WAY FERNDAL, WA 98248
MECHANICAL:	DUERR HEATING AND AIR, INC. 8380 CHURCH ST, GILROY, CA 95020 DAVID DUERR (408) 782-9877 DAVE@DUERRHEATINGANDAIR.COM
MECHANICAL (HYDRONIC RADIANT HEATING):	WARMBOARD INC 8055 SQUEL DRIVE, SUITE 41-A, APTOS, CA 95003 CONTACT: PETER OTVOS (831) 219-1036 POTVOS@WARMBOARD.COM
ELECTRICAL:	PRIME DESIGN GROUP, INC. 303 POTRERO ST, SUITE 42-304, SANTA CRUZ, CA 95060 CONTACT: MIKE CABAK, PE (831) 430-3600 MIKE@PRMDSGN.COM
PLUMBING:	AXIOM ENGINEERS 22 LOWER RAGSDALE DR, SUITE A, MONTEREY, CA 93940 FRANK SOUZA (831) 649-8000 x106 FRANKS@AXIOMENGINEERS.COM
GENERAL CONTRACTOR:	MYNT SYSTEMS 111 MISSION ST, SANTA CRUZ, CA 95060 CONTACT: MATT BARTLETT (408) 426-5420 MBARTLETT@MYNTSYSTEMS.COM

SHEET INDEX

SHEET NUMBER	ISSUE DATE	SHEET NAME
00 - GENERAL		
G0.00	1/21/2020	COVER
00 - TITLE 24		
T-1	1/20/2020	TITLE 24 ENERGY COMPLIANCE FORMS
T-2	1/20/2020	TITLE 24 ENERGY COMPLIANCE FORMS
01 - SURVEY		
1 OF 1	11/26/19	SURVEY
02 - CIVIL		
C0.1	01/21/2020	CIVIL COVER SHEET
C0.2	01/21/2020	CIVIL DETAILS
C1.1	01/21/2020	GRADING, DRAINAGE, AND UTILITY PLAN
C2.1	01/21/2020	TEMPORARY EROSION CONTROL PLAN
03 - ARCHITECTURAL		
A0.01	01/21/2020	GENERAL ARCHITECTURAL NOTES AND SPECIFICATIONS
A0.02	01/21/2020	GENERAL ARCHITECTURAL NOTES AND SPECIFICATIONS
A1.00	01/21/2020	SITE PLAN
A1.01	01/21/2020	ENLARGED SITE PLAN
A2.01	01/21/2020	FLOOR PLANS
A2.02	01/21/2020	FLOOR PLANS
A2.03	01/21/2020	FLOOR PLANS
A2.04	01/21/2020	REFLECTED CEILING PLAN
A3.01	01/21/2020	ELEVATIONS
A3.02	01/21/2020	ELEVATIONS
A4.01	01/21/2020	SECTIONS
A6.01	01/21/2020	WINDOW/DOOR SCHEDULE
A6.02	01/21/2020	WINDOW & DOOR DETAILS
A8.01	01/21/2020	DETAILS
A8.02	01/21/2020	DETAILS
A9.01	01/21/2020	PERSPECTIVES
04 - STRUCTURAL		
S-1.1	01/21/2020	STRUCTURAL TITLE SHEET
S-1.2	01/21/2020	STRUCTURAL SPECIFICATIONS
S-2.1	01/21/2020	SITE FOUNDATION & FLOOR MARRIAGE PLAN
S-2.2	01/21/2020	ROOF MARRIAGE PLAN
S-3.1	01/21/2020	MODULAR FLOOR FRAMING PLAN
S-3.2	01/21/2020	MODULAR ROOF FRAMING PLAN
S-4.1	01/21/2020	STRUCTURAL DETAILS
S-5.1	01/21/2020	SITE BUILT & MARRIAGE STRUCTURAL DETAILS
S-6.1	01/21/2020	MODULAR STRUCTURAL DETAILS
05 - PLUMBING		
P0.00	1/20/2020	PLUMBING LEGEND, NOTES AND DETAILS
P2.02	1/20/2020	PLUMBING FLOOR PLANS
06 - MECHANICAL		
M-1	1/20/2020	MECHANICAL PLAN
06 - MECHANICAL - HYDRONIC HEATING		
1 OF 3	1/8/2020	PANEL LAYOUT
2 OF 3	1/8/2020	TUBING LAYOUT
3 OF 3	1/8/2020	TUBING & MANIFOLD LAYOUT
07 - ELECTRICAL		
E01	01/21/2020	ELECTRICAL SYMBOLS, NOTES AND SINGLE LINE
E02	01/21/2020	LIGHTING TITLE 24 COMPLIANCE DOCUMENTS INTERIOR
E03	01/21/2020	ELECTRICAL SITE PLAN
E10	01/21/2020	ELECTRICAL POWER PLAN
E20	01/21/2020	ELECTRICAL POWER PLAN

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grouparchitect

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PROJECT:

CHARTWELL SCHOOL ADDITION BUILDING 500

2511 NUMA WATSON RD,
SEASIDE, CA 93955

MODULAR MANUFACTURER:
METHOD HOMES

MODEL DESIGNATION: CHARTWELL 500

PROJECT ISSUES:

BUILDING PERMIT SUBMITTAL 01/23/2020

SHEET DATE: 1/21/2020

REVISIONS

DRAWN: JMA

CHECKED: RSL/BJP

PROJECT No. 1923

SHEET TITLE:

COVER

ISSUE: BUILDING PERMIT SUBMITTAL

G0.00

ABBREVIATIONS

± PLUS OR MINUS; APPROX
CO CLEANOUT
CONC CONCRETE
DI DRAIN INLET
DS DOWNSPOUT
ELEC ELECTRIC
FF FINISHED FLOOR
FR FIRE RISER
GRT GRATE
GV GAS VALVE/VAULT
INV INVERT
PA PLANTER AREA
SD STORM DRAIN
SS SANITARY SEWER
TYP TYPICAL
W WATER
WV WATER VALVE

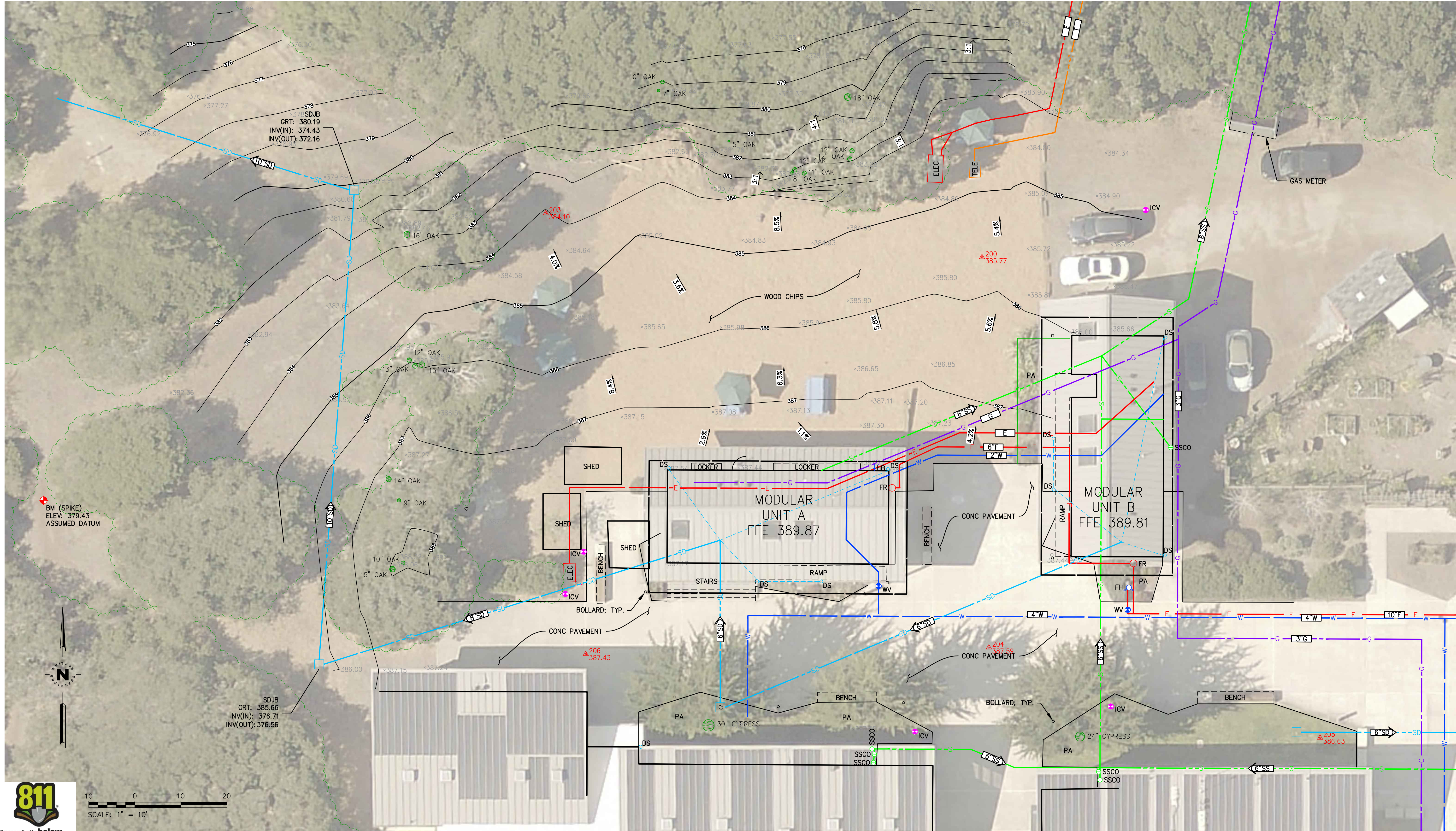
LEGEND

100 GROUND CONTOUR
BM BENCHMARK
200 CONTROL POINT
+ 928.30 SPOT GRADE
12" OAK TREE
TREE DRIP LINE
X FENCE
E UNDERGROUND ELECTRIC LINE
G GAS LINE
GV ICV GAS VALVE, IRRIGATION CONTROL VALVE
SD STORM DRAIN LINE

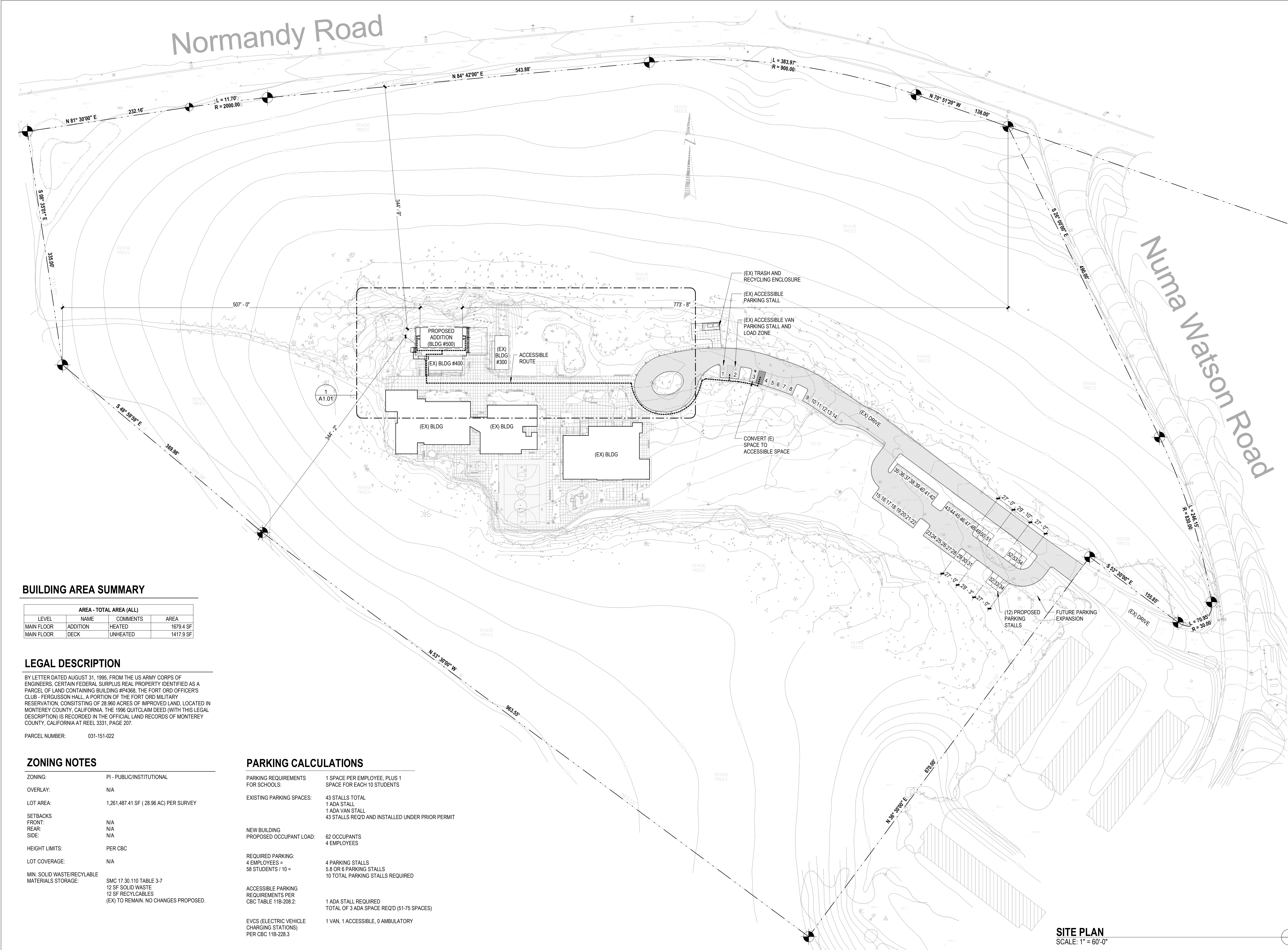
DS DOWNSPOUT
SSCO SANITARY SEWER LINE (GRAVITY)
CLEANOUT
UNDERGROUND TELEPHONE LINE
W WATER LINE
WV WATER VALVE
FH FIRE HYDRANT
HB HOSE BIB
UTILITY VAULT

NOTES:

1. THIS MAP REPRESENTS A TOPOGRAPHIC SURVEY PERFORMED BY WHITSON ENGINEERS ON NOVEMBER 18, 2019. IMAGERY SHOWN IS 2016 AMBAG.
2. THIS MAP PORTRAYS THE SITE AT THE TIME OF THE SURVEY AND DOES NOT SHOW SOILS OR GEOLOGIC INFORMATION, UNDERGROUND CONDITIONS, EASEMENTS, ZONING OR REGULATORY INFORMATION OR ANY OTHER ITEMS NOT SPECIFICALLY REQUESTED BY THE CLIENT.
3. THIS TOPOGRAPHIC MAP DOES NOT CONSTITUTE A BOUNDARY SURVEY. AS A TITLE REPORT WAS NOT PROVIDED, THERE MAY BE EASEMENTS OR OTHER RIGHTS, RECORDED OR UNRECORDED, AFFECTING THE SUBJECT PROPERTY, WHICH ARE NOT SHOWN HEREON.
4. DISTANCES AND DIMENSIONS SHOWN ARE EXPRESSED IN FEET AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
5. BENCHMARK: SPIKE (AS SHOWN) ELEVATION: 379.43 (ASSUMED DATUM)
6. LOCATION OF UNDERGROUND UTILITIES WAS NOT WITHIN THE SCOPE THIS SURVEY. THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND FACILITIES ARE SHOWN IN A GENERAL WAY ONLY. NOT ALL UTILITY MAY BE SHOWN. UNDERGROUND UTILITY LOCATIONS, WHERE SHOWN, ARE BASED ON FIELD LOCATION OF OBSERVED UTILITIES AND SCHEMATICS OF UNDERGROUND UTILITIES PROVIDED BY THE CLIENT.
7. THE EXISTENCE, LOCATION AND DEPTH OF ALL UTILITIES MUST BE VERIFIED BY POSITIVE LOCATION (POTHOLING) BY THE CONSTRUCTION CONTRACTOR PRIOR TO EXCAVATION OR ANY CONSTRUCTION WHICH MAY BE AFFECTED BY THE LOCATION OR ELEVATION OF THE UTILITY.
8. DIAMETERS OF TREES ARE SHOWN IN INCHES MEASURED AT BREAST HEIGHT. TREES SMALLER THAN 6" WERE NOT NECESSARILY LOCATED AS PART OF THIS SURVEY.



SUBMITTAL / REVISION



BUILDING AREA SUMMARY

AREA - TOTAL AREA (ALL)			
LEVEL	NAME	COMMENTS	AREA
MAIN FLOOR	ADDITION	HEATED	1679.4 SF
MAIN FLOOR	DECK	UNHEATED	1417.9 SF

LEGAL DESCRIPTION

BY LETTER DATED AUGUST 31, 1995, FROM THE US ARMY CORPS OF ENGINEERS, CERTAIN FEDERAL SURPLUS REAL PROPERTY IDENTIFIED AS A PARCEL OF LAND CONTAINING BUILDING #P4368, THE FORT ORD OFFICERS CLUB - FERGUSSON HALL, A PORTION OF THE FORT ORD MILITARY RESERVATION, CONSISTING OF 28.960 ACRES OF IMPROVED LAND, LOCATED IN MONTEREY COUNTY, CALIFORNIA, THE 1996 QUITCLAIM DEED (WITH THIS LEGAL DESCRIPTION) IS RECORDED IN THE OFFICIAL LAND RECORDS OF MONTEREY COUNTY, CALIFORNIA AT REEL 3331, PAGE 207.

PARCEL NUMBER: 031-151-022

ZONING NOTES

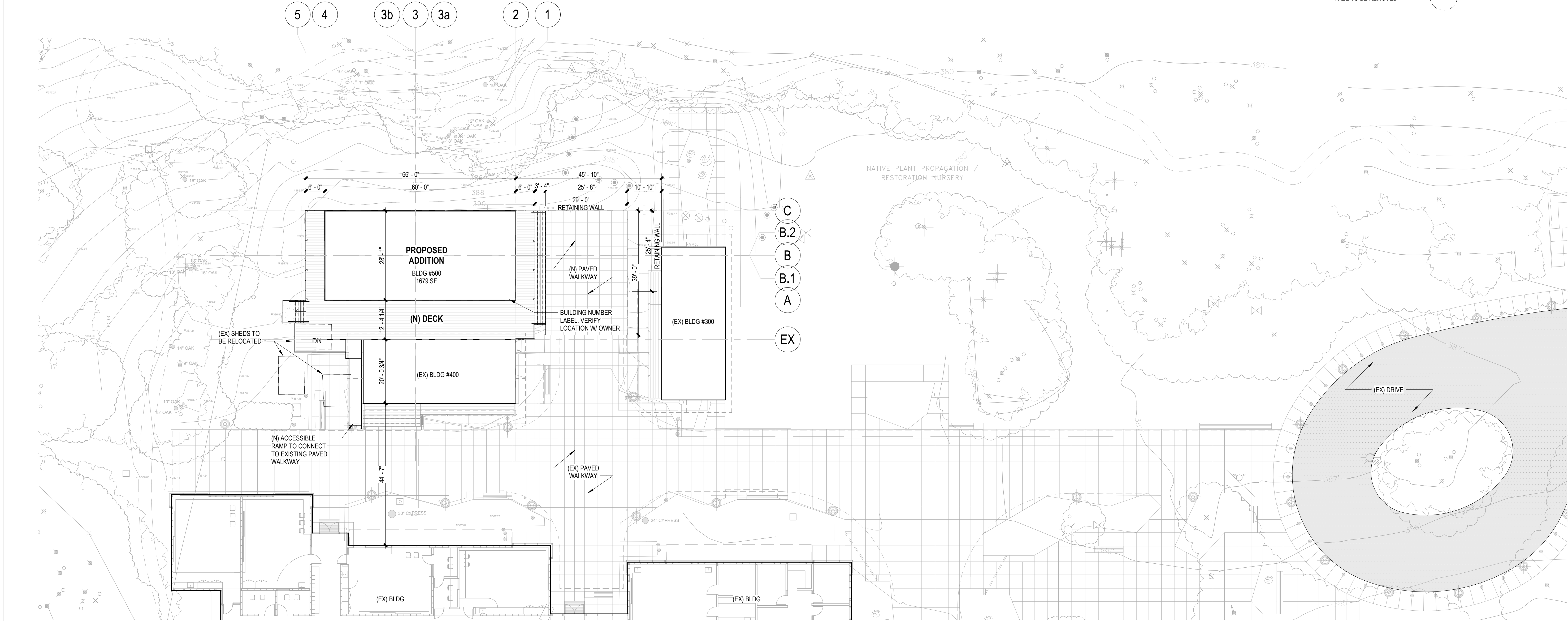
ZONING:	PI - PUBLIC/INSTITUTIONAL
OVERLAY:	N/A
LOT AREA:	1,261,487.41 SF (28.96 AC) PER SURVEY
SETBACKS	
FRONT:	N/A
REAR:	N/A
SIDE:	N/A
HEIGHT LIMITS:	PER CBC
LOT COVERAGE:	N/A
MIN. SOLID WASTE/RECYCLABLE MATERIALS STORAGE:	SMC 17.30.110 TABLE 3-7 12 SF SOLID WASTE 12 SF RECYCLABLES (EX) TO REMAIN. NO CHANGES PROPOSED.

PARKING CALCULATIONS

PARKING REQUIREMENTS FOR SCHOOLS:	1 SPACE PER EMPLOYEE, PLUS 1 SPACE FOR EACH 10 STUDENTS
EXISTING PARKING SPACES:	43 STALLS TOTAL 1 ADA STALL 1 ADA VAN STALL 43 STALLS REQ'D AND INSTALLED UNDER PRIOR PERMIT
NEW BUILDING PROPOSED OCCUPANT LOAD:	62 OCCUPANTS 4 EMPLOYEES
REQUIRED PARKING: 4 EMPLOYEES = 58 STUDENTS / 10 =	4 PARKING STALLS 5.8 OR 6 PARKING STALLS 10 TOTAL PARKING STALLS REQUIRED
ACCESSIBLE PARKING REQUIREMENTS PER CBC TABLE 11B-208.2:	1 ADA STALL REQUIRED TOTAL OF 3 ADA SPACE REQ'D (51-75 SPACES)
EVCS (ELECTRIC VEHICLE CHARGING STATIONS) PER CBC 11B-228.3	1 VAN, 1 ACCESSIBLE, 0 AMBULATORY

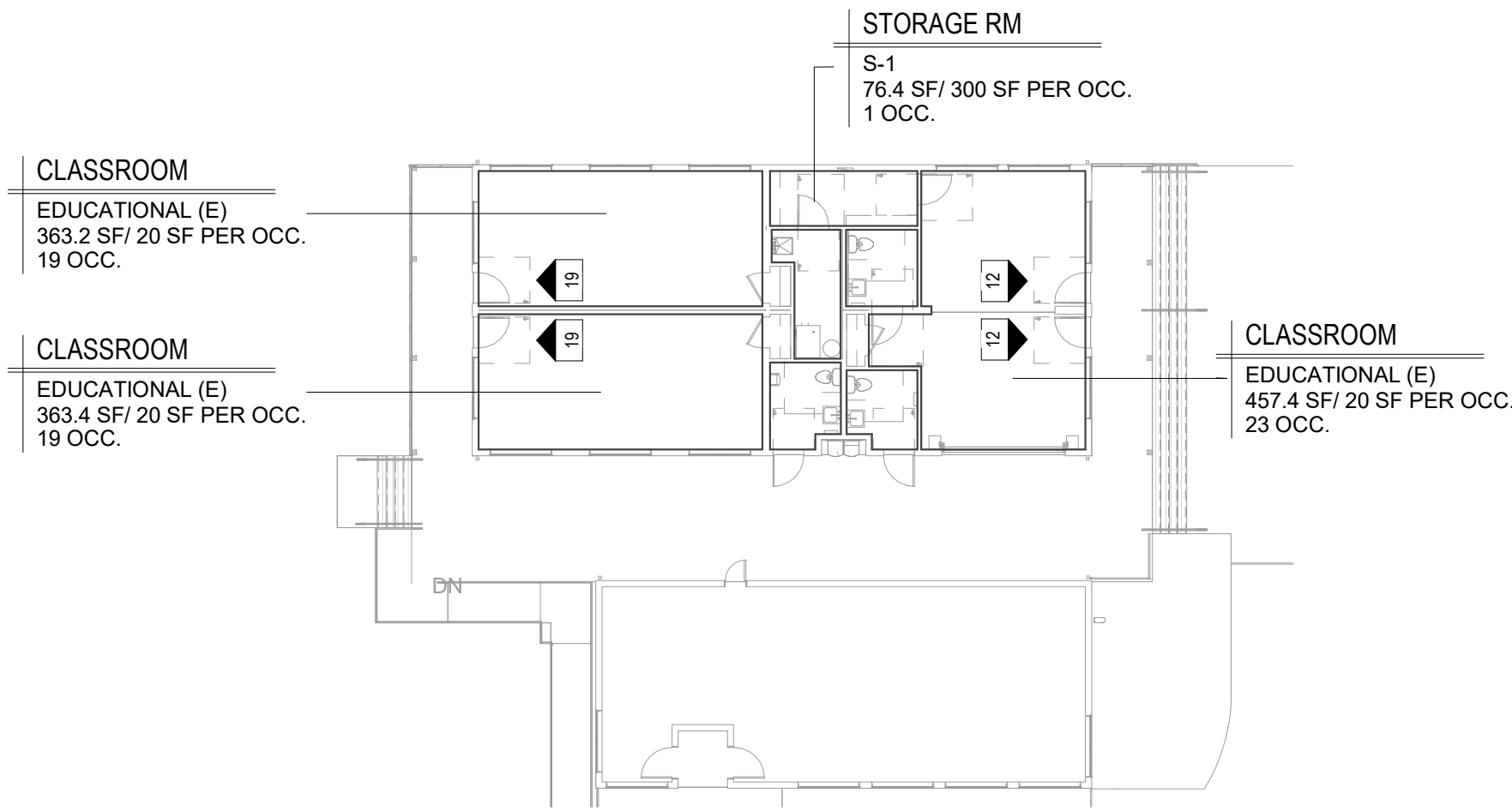
CHARTWELL
SCHOOL ADDITION
BUILDING 500

2511 NUMA WATSON
RD, SEASIDE, CA 93955



ENLARGED SITE PLAN
SCALE: 1/16" = 1'-0"

EGRESS PLAN
SCALE: 1/16" = 1'-0"



GENERAL SITE PLAN NOTES

1. UNO ALL EXISTING STRUCTURES INCLUDING TREES SHALL BE RETAINED.
2. UTILITIES SHOWN ON THIS SITE PLAN ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS PLAN MAY EXIST ON THIS SITE.

SYMBOL LEGEND

WOOD BOARD FENCE	-X-X-X-
OVERHEAD POWER LINE	-OHP-OHP-OHP-
UNDERGROUND POWER LINE	-UPL-UPL-UPL-
GAS LINE	-GAS-GAS-GAS-
STORM DRAIN	-SD-SD-SD-
WATER LINE	-W-W-W-
SANITARY SEWER LINE	-SS-SS-SS-
TELEPHONE LINE	-T-T-T-
PM POWER METER	□
GM GAS METER	□
WM WATER METER	□
DATA BOX	□
PROPOSED ADDITION	▨
CONCRETE HATCH	▨
EXISTING HOUSE	▨
ASPHALT HATCH	▨
PLANTER HATCH	▨
TREE TO REMAIN	○
TREE TO BE REMOVED	○

CHARTWELL
SCHOOL ADDITION
BUILDING 500

2511 NUMA WATSON
RD, SEASIDE, CA 93955

ENLARGED SITE
PLAN

BUILDING CODE ANALYSIS

PROPOSED USE: LOWER, MIDDLE AND HIGH SCHOOL CLASSROOMS, STORAGE, & MECH.

CBC CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION
CBC 305.1 OCCUPANCY TYPE: E - EDUCATIONAL
CBC 311.3 ACCESSORY OCCUPANCY: S-1 - MODERATE HAZARD STORAGE

CBC CHAPTER 5 - GENERAL BUILDING HEIGHT AND AREAS
TABLE 503 HEIGHT / AREA ANALYSIS: E OCCUPANCY STORIES
TYPE V-B CONSTRUCTION: ALLOWED 2 STORIES (60 FT)
TABLE 506.2 ALLOWABLE AREA: 38,000 SF
TABLE 508.4 1 HR SEPARATION REQ'D BTWN E & S-1 OCCUPANCY

CBC CHAPTER 6 - TYPES OF CONSTRUCTION
CH. 6 CONSTRUCTION TYPE: V-B PROPOSED
CBC TABLE 601 FIRE-RESISTANCE RATINGS: NON-RATED CONSTRUCTION ALLOWED
IN V-B BUILDINGS
CBC TABLE 602 EXT. WALL FIRE RATING: NO FIRE SEPARATION DISTANCE /
WALL RATING REQUIRED
(FIRE SEPARATION DISTANCE ≥10, <30 FT)

CBC CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES
TABLE 705.8 MAX AREA OF EXT. WALL OPGS: NO LIMITATION ON OPENINGS
(FIRE SEPARATION DISTANCE >20, <25 FT)

CBC CHAPTER 7A - MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE
CH. 7A FIRE HAZARD SEVERITY ZONE: N/A WITHIN LOCAL RESPONSIBILITY AREA
SEE GENERAL ARCHITECTURAL NOTES AND SPECS PAGES FOR ADDITIONAL INFO AND REQMTS

CBC CHAPTER 10 - MEANS OF EGRESS
OCCUPANT LOADS / EXIT PATHS OF TRAVEL AS SHOWN EGRESS PLAN
1007.7 EXT. AREA FOR ASSISTED RESCUE PROPOSED. AREA SHALL ACCOMMODATE
(2) 30"x48" WHEELCHAIR SPACES LOCATED AS TO NOT REDUCE REQUIRED
EGRESS WIDTH

CBC CHAPTER 11B - ACCESSIBILITY TO PUBLIC BUILDINGS, PUBLIC ACCOMMODATIONS, COMMERCIAL BUILDINGS, AND PUBLIC HOUSING
CH. 11B ACCESSIBILITY COMPLIANCE. SEE ACCESSIBILITY DOCUMENTATION
IN PROJECT SET

CBC CHAPTER 5 - PLUMBING FIXTURES AND FIXTURE FITTINGS
TABLE 422.1 PLUMBING FIXTURE OCC. LOAD
363.2 SF - CLASSROOM (E OCC.) (1/20 SF OCC. LOAD)
363.4 SF - CLASSROOM (E OCC.) (1/20 SF OCC. LOAD)
78.8 SF - STORAGE RM (S-1 OCC.) (1/300 SF OCC. LOAD)
453.0 SF - CLASSROOM (E OCC.) (1/20 SF OCC. LOAD)
= 62 OCC TOTAL (31 MALE, 31 FEMALE)

FIXTURE TYPE
WATER CLOSET REQUIRED: 2 WC / MALE + 2 WC / FEMALE REQ'D
PROPOSED: 3 UNISEX RESTROOMS (SINGLE TOILET RESTROOM
ALLOWED WHEN OCC. LOAD <50 FOR BOTH SEXES PER 422.2 EXC. #3)

LAVATORIES
REQUIRED: 2 LAV / MALE + 2 LAV / FEMALE REQ'D
PROPOSED: 3 LAV @ UNISEX RESTROOMS PROV'D

URINAL
REQUIRED: 1 URINAL (MALE ONLY)
PROPOSED: 1 URINAL PER PLANS (WC 1)

DRINKING FOUNTAIN:
REQUIRED: 1 DRINKING FOUNTAIN REQ'D
PROVIDED: 1 DRINKING FOUNTAIN PER PLANS

OTHER:
REQUIRED: 1 SERVICE SINK OR LAUNDRY TRAY
PROVIDED: 1 SERVICE SINK PER PLANS

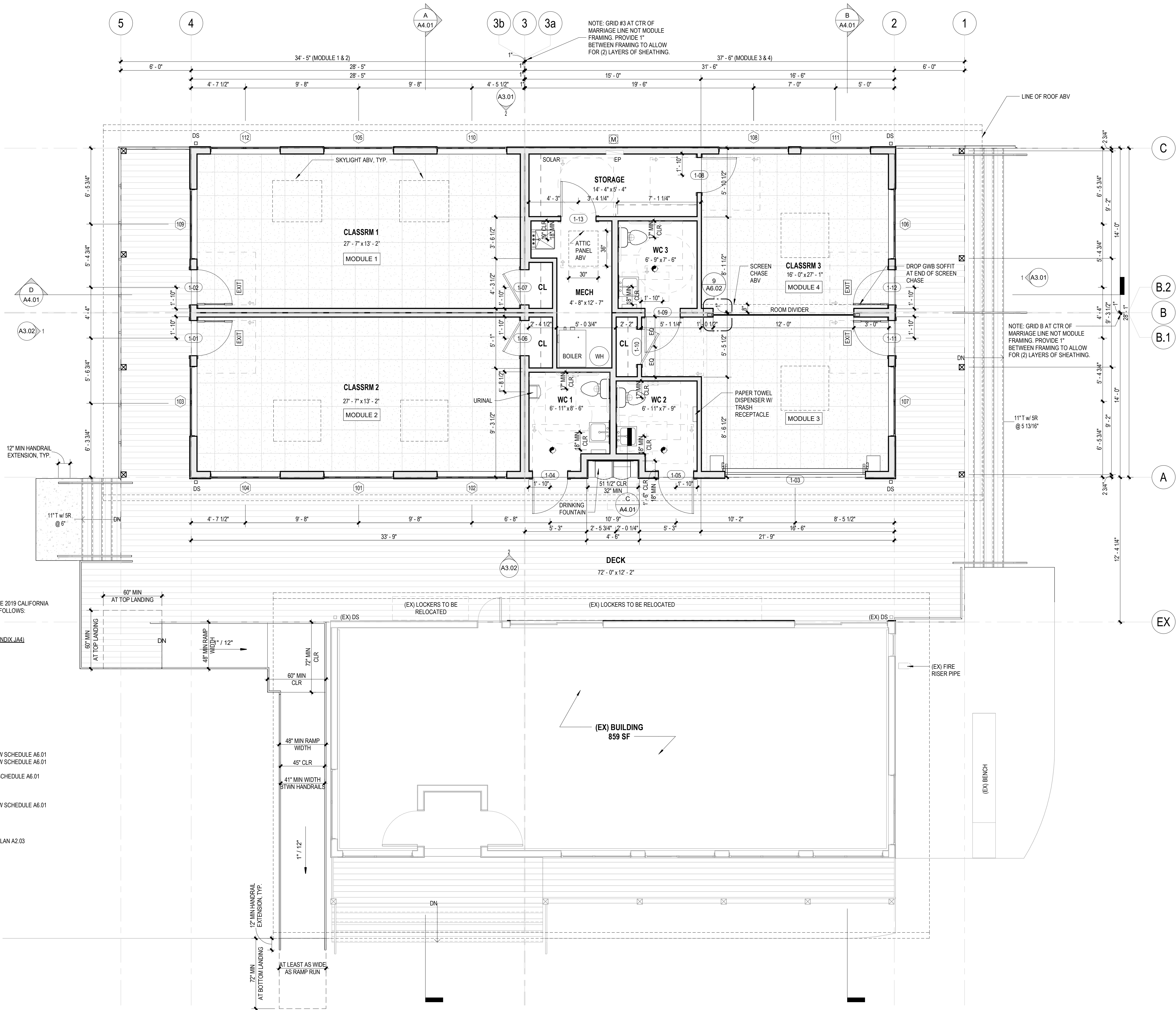
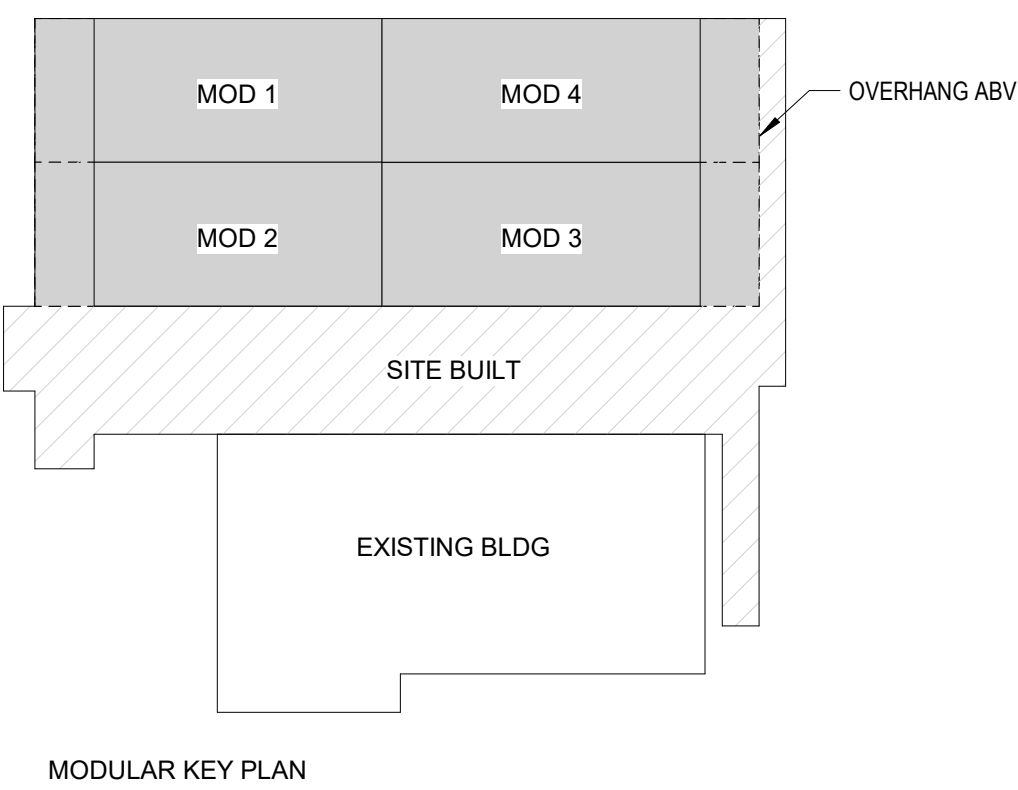
HVAC & MECHANICAL NOTES

REFER TO MECHANICAL AND ELECTRICAL PLANS BY OTHERS

ENERGY CODE NOTES - NON RESIDENTIAL BLDG

THE PROJECT SHALL MEET THE PRESCRIPTIVE BUILDING THERMAL ENVELOPE REQUIREMENTS OF THE 2019 CALIFORNIA ENERGY CODE TITLE 24, PART 6 FIGURE 100.1-A, TABLE 110.6-A, TABLE 110.8-A AND TABLE 140.3-B, AS FOLLOWS:

CLIMATE ZONE:		3	
<u>ENVELOPE</u>	<u>MAX U-FACTOR</u>	<u>PROPOSED U-FACTOR W/ MIN R-VALUES (APPENDIX JA4)</u>	
ROOF/CEILING	0.034	U = 0.031 / R-30	
<u>WALLS</u>	0.110	U = 0.069 / R-21	
MASS WALLS (HEAVY)	0.650	N/A	
FLOORS/SOFFITS	0.269	U = 0.024 / R-38	
FLOORS (MASS)	0.071	N/A	
EXT. NON SWINGING DOOR	1.45		
EXT. SWINGING DOOR	0.70		
<u>ROOF PRODUCTS (LOW SLOPE)</u>	<u>AGED SOLAR REFLECTANCE</u>	<u>THERMAL EMITTANCE</u>	
	0.63	0.75	
<u>AIR BARRIER</u>	NOT REQUIRED		
<u>FENESTRATION - VERTICAL</u>	<u>MAX U-FACTOR</u>	<u>MAX SHGC</u>	<u>PROPOSED</u>
FIXED	0.36	0.25	0.42
OPERABLE	0.46	0.22	0.32
CURTAINWALL/STOREFRONT	0.41	0.26	0.46
GLAZED DOOR	0.45	0.23	0.17
MAX WWR% = 40%			
<u>FENESTRATION - SKYLIGHTS</u>	<u>MAX U-FACTOR</u>	<u>MAX SHGC</u>	<u>PROPOSED</u>
GLASS, CURB MOUNTED	0.58	0.25	0.49
GLASS, DECK MOUNTED	0.46	0.25	0.49
PLASTIC, CURB MOUNTED	0.88	NR	0.64
MAX SRR% = 5%			
<u>SOLAR READY</u>	MIN 15% OF ROOF AREA FOR SOLAR ZONE		SEE ROOF PLAN A2.03



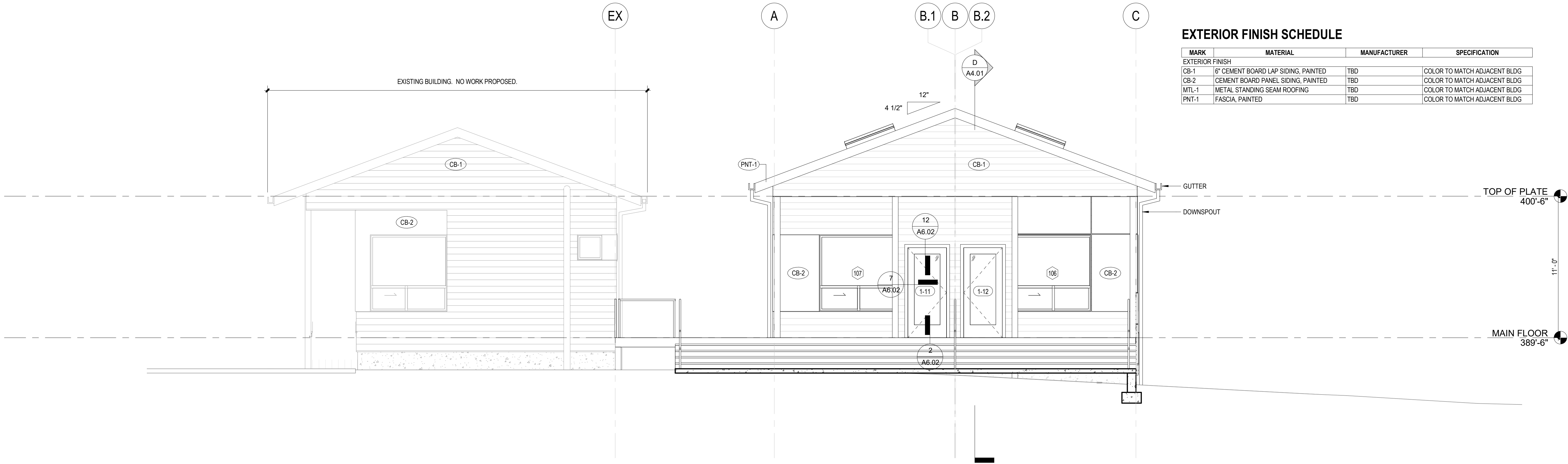
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

CHARTWELL SCHOOL ADDITION BUILDING 500

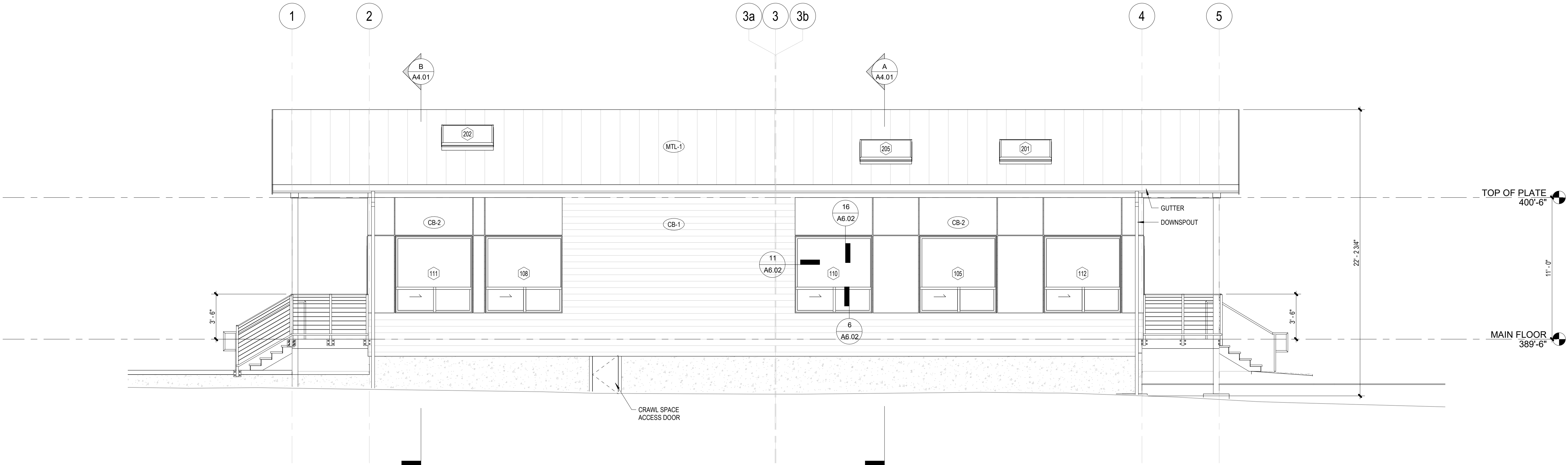
2511 NUMA WATSON
RD, SEASIDE, CA 93955

FLOOR PLANS



MARK	MATERIAL	MANUFACTURER	SPECIFICATION
EXTERIOR FINISH			
CB-1	6" CEMENT BOARD LAP SIDING, PAINTED	TBD	COLOR TO MATCH ADJACENT BLDG
CB-2	CEMENT BOARD PANEL SIDING, PAINTED	TBD	COLOR TO MATCH ADJACENT BLDG
MTL-1	METAL STANDING SEAM ROOFING	TBD	COLOR TO MATCH ADJACENT BLDG
PNT-1	FASCIA, PAINTED	TBD	COLOR TO MATCH ADJACENT BLDG

1 EAST ELEVATION
A3.01 SCALE: 1/4" = 1'-0"

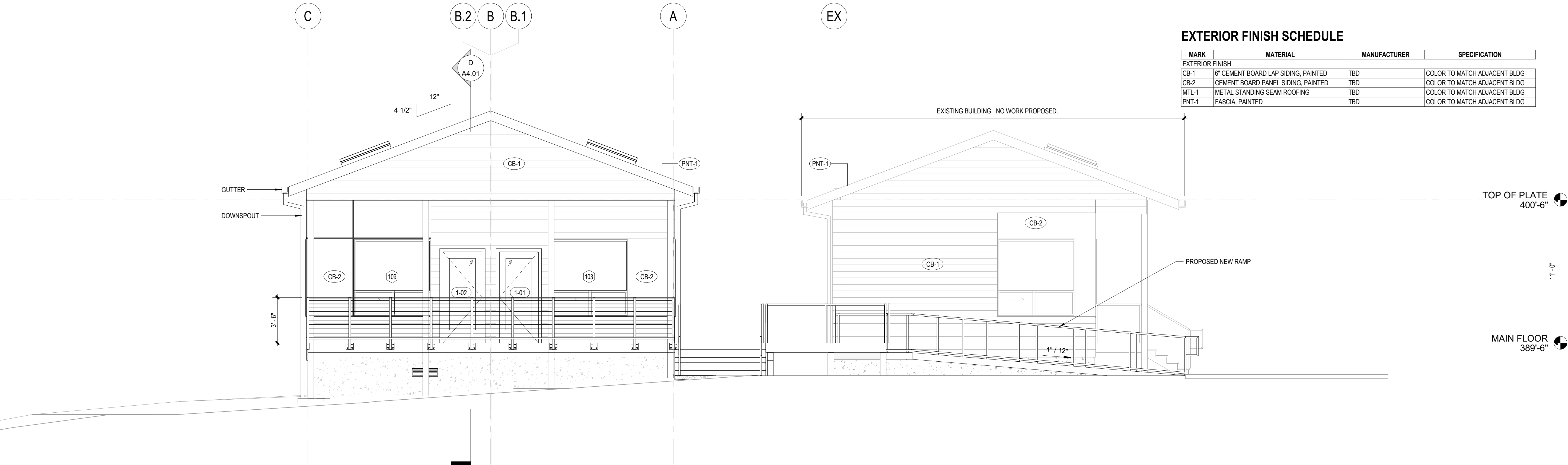


2 NORTH ELEVATION
A3.01 SCALE: 1/4" = 1'-0"

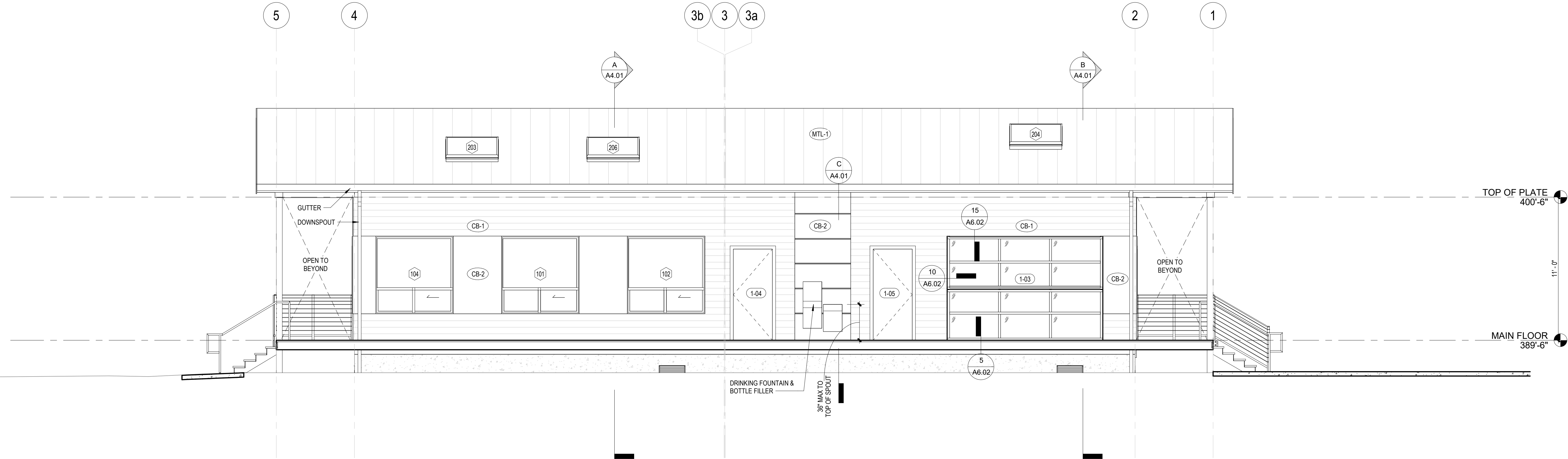
CHARTWELL
SCHOOL ADDITION
BUILDING 500

2511 NUMA WATSON
RD, SEASIDE, CA 93955

ELEVATIONS



1 WEST ELEVATION
A3.02 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A3.02 SCALE: 1/4" = 1'-0"

MARK	MATERIAL	MANUFACTURER	SPECIFICATION
EXTERIOR FINISH			
CB-1	6" CEMENT BOARD LAP SIDING, PAINTED	TBD	COLOR TO MATCH ADJACENT BLDG
CB-2	CEMENT BOARD PANEL SIDING, PAINTED	TBD	COLOR TO MATCH ADJACENT BLDG
MTL-1	METAL STANDING SEAM ROOFING	TBD	COLOR TO MATCH ADJACENT BLDG
PNT-1	FASCIA, PAINTED	TBD	COLOR TO MATCH ADJACENT BLDG

1735 westlake avenue north, suite 200, seattle, wa 98109
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PROJECT:
CHARTWELL SCHOOL ADDITION BUILDING 500
2511 NUMA WATSON RD, SEASIDE, CA 93955

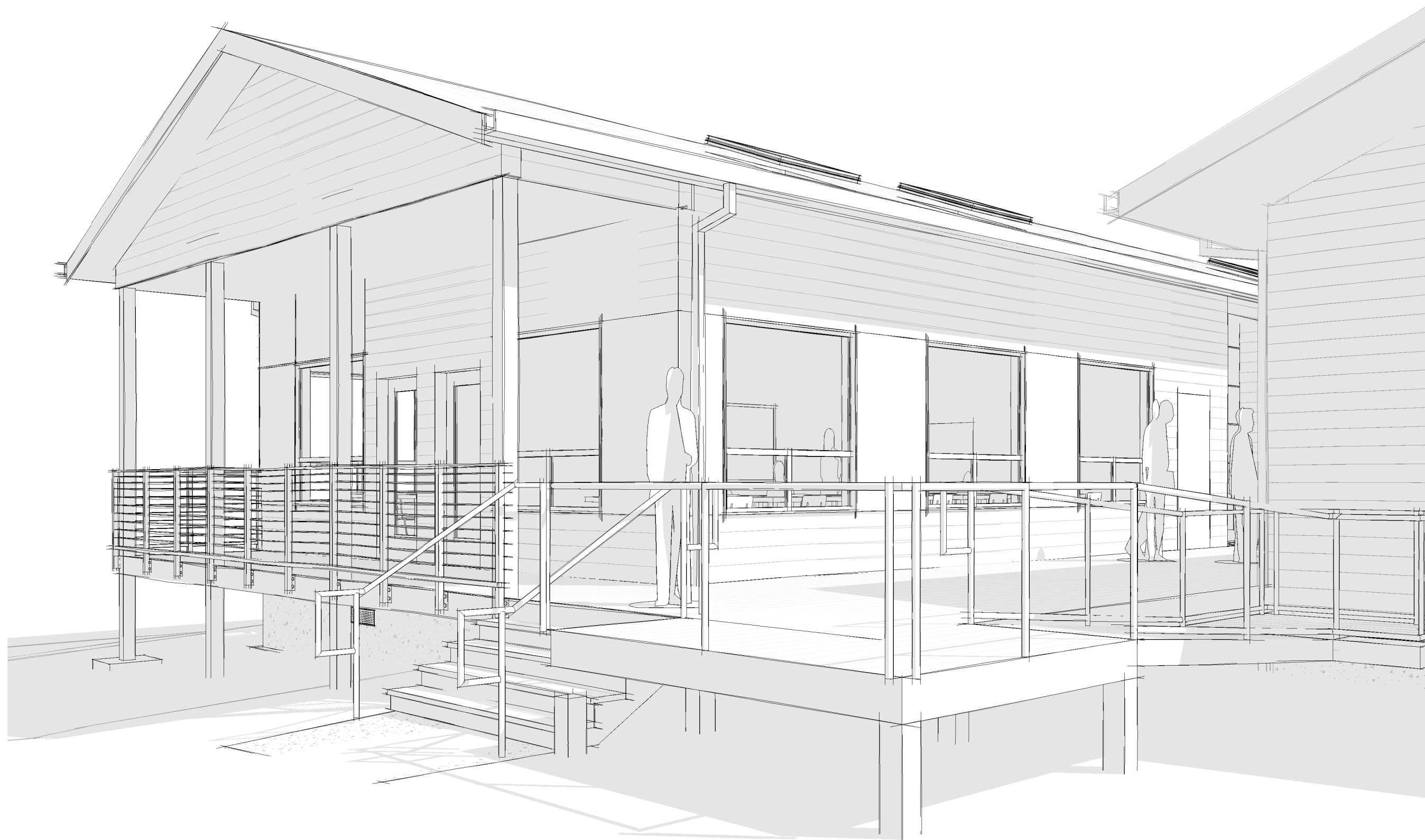
PROJECT ISSUES:
BUILDING PERMIT SUBMITTAL 01/23/2020

SHEET DATE: 01/21/2020
REVISIONS

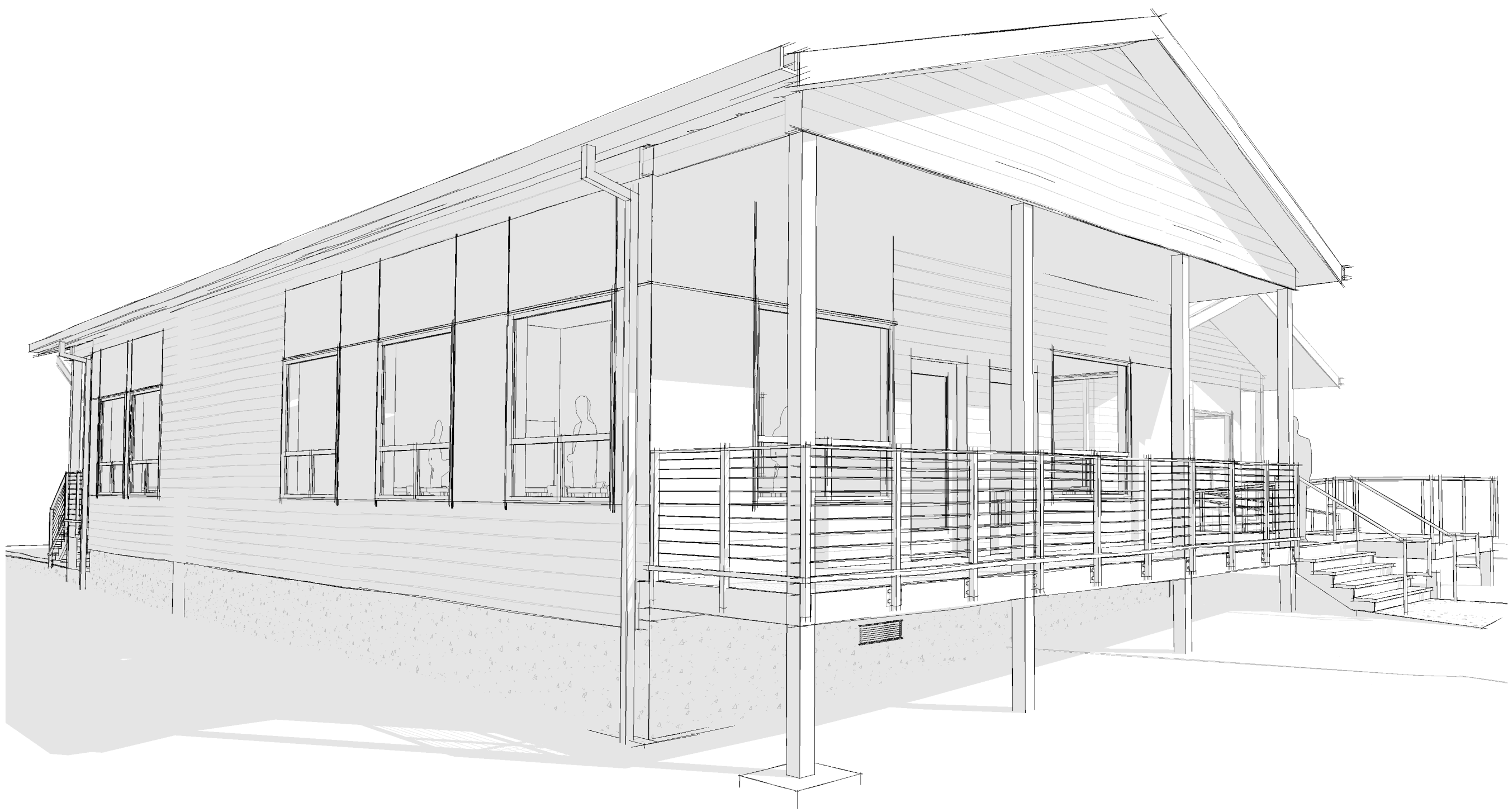
DRAWN: JMA
CHECKED: RSL
PROJECT No. 1923

SHEET TITLE:
ELEVATIONS

ISSUE: BUILDING PERMIT SUBMITTAL



SW PERSPECTIVE



NW PERSPECTIVE



EAST PERSPECTIVE



NE PERSPECTIVE

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PROJECT:
**CHARTWELL
SCHOOL ADDITION
BUILDING 500**

2511 NUMA WATSON
RD, SEASIDE, CA 93955

PROJECT ISSUES:
BUILDING PERMIT SUBMITTAL 01/23/2020

SHEET DATE: 01/21/2020
REVISIONS

DRAWN: JMA
CHECKED: RSL
PROJECT No. 1923

SHEET TITLE:
PERSPECTIVES

ISSUE: BUILDING PERMIT SUBMITTAL

A9.01

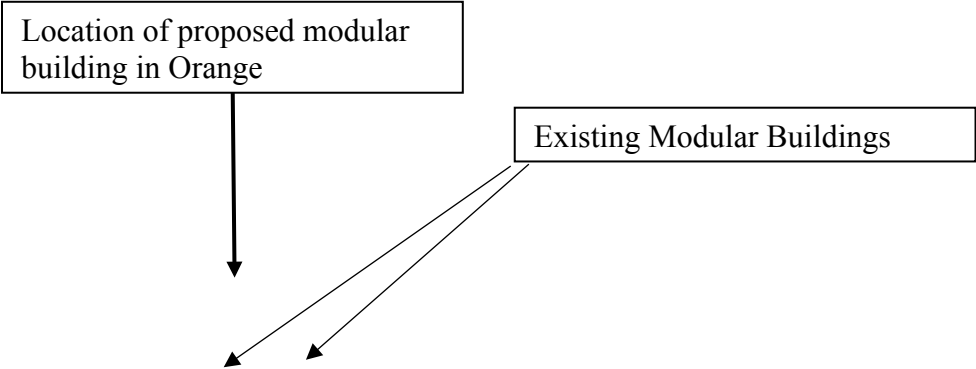
Attachment 2

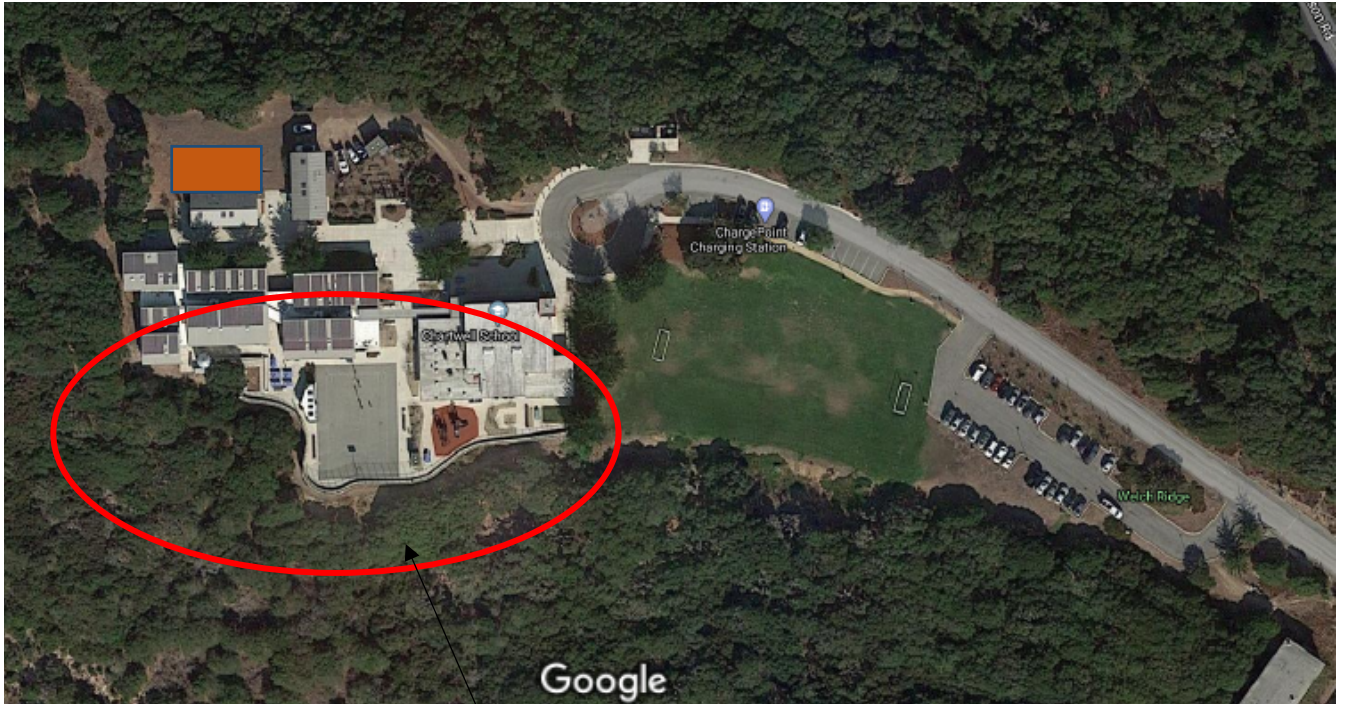
Location Map

2511 Numa Watson Road



Attachment 3
Aerial Photo





Existing campus within red circle

Attachment 4

Site Photos



View of Existing Modular Building



View of Location for proposed Modular Building



View of courtyard near modular buildings



Views of Existing Campus
Buildings





**CITY OF SEASIDE
STAFF REPORT**

Item No.: 7.B.

TO: Planning Commission

BY: Kurt Overmeyer, Economic Development Program Manager

DATE: February 12, 2020

SUBJECT: Campus Town Specific Plan & Development Project

I. PURPOSE & RECOMMENDATION

Overview: The proposed Campus Town Project would permit the construction and operation of 1,485 housing units, 250 hotel rooms, 75 hostel beds, 150,000 square feet (sf) of Retail, Dining, and Entertainment uses, and 50,000 sf of Office, Flex, Makerspace (collaborative workspace) and Light Industrial floor space, as well as park/recreational areas (including approximately nine acres of public open space and 3.3 acres of private open space), roadways, parking and supporting infrastructure, on approximately 122.23 acres of land, through the adoption of the Campus Town Specific Plan and associated entitlements. An Environmental Impact Report (EIR) has been prepared to assess potential impacts of the Project, consistent with the requirements of the California Environmental Quality Act (CEQA) and CEQA Guidelines.

Planning Commission is tasked with making a recommendation on several of the project's entitlements, including the Campus Town Specific Plan, the Development Agreement, the General Plan amendment, and the Zoning text and map amendments, Inclusionary (Affordable) Housing Agreement, and Vesting Tentative Subdivision Map, which have been included as attachments to this staff report.

Recommendation:

Staff recommends that the Commission review and consider the Environmental Impact Report (Attachment 12) and adopt the attached resolution (Attachment #3), which finds the proposed Campus Town Project and associated project approvals consistent with the existing and proposed General Plan, and recommends approval to the City Council.

II. PROJECT OVERVIEW

Project Location:

The Project site has an east-west linear shape located on former Fort Ord land, situated at the northern end of Seaside approximately one-mile east of Monterey Bay and 2,600 feet east of the Fort Ord Dunes State Park and 900 feet east of State Route 1 (SR1). The site is bounded to the west by 1st Avenue and vacant land that lies just east of SR1 and to the east by 7th Avenue and a parking lot. The Area is bisected by General Jim Moore Boulevard, which runs in a north to south direction. Between 1st Avenue and General Jim Moore Boulevard, the Plan Area is bounded to the north by the Lightfighter Drive, California State University, Monterey Bay (CSUMB) and is bounded to the south by Ord Community Commissary, Army and Air Force Exchange Service Military Exchange PX, Ord Military Community housing, the Ord Military Community Recreation Center and the General Stilwell Community Center of the U.S. Army Garrison Presidio of Monterey.

Between General Jim Moore Boulevard and 7th Avenue, the project site is bounded to the north by Colonel Durham Street and by various uses such as CSUMB, the Army National Guard Recruiting Center, Department of Defense-Defense Manpower Data Center, and former Fort Ord land; and is bounded to the south by Gigling Road, Ord Military Community housing and the United States Department of Defense Army Hospital. **Attachment 1** shows the regional setting of the Project and **Attachment 2** shows the local setting of the Project.

Project Components:

The Project includes several interrelated applications that would allow for

comprehensive development on the site. These include consideration of the Campus Town Specific Plan, consideration of a General Plan amendment, a rezoning of the site to ensure consistency between zoning and the Specific Plan, a Vesting Tentative Map, a Development Agreement, and an alternative plan for compliance with Chapter 17.32 of the Seaside Municipal Code as part of an Affordable Housing Plan and Agreement. These elements are discussed below. A Draft EIR has also been prepared to analyze potential impacts of the proposed Project.

Campus Town EIR.

A Draft EIR that was circulated for public review for the required 45 days. The Draft EIR is included as **Attachment 12**. The EIR contains a description of the Project, an analysis of anticipated Project impacts on the local and regional environment and a listing of measures to mitigate (reduce) any potential environmental impacts. Impacts analyzed in the EIR include: aesthetics, air quality, biological resources, cultural resources, energy, geology and soils, greenhouse gasses, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, population and housing, public services and recreation, transportation, tribal resources, utilities and service systems and wildfire.

Measures are included in the Draft EIR to mitigate potential impacts to a less-than-significant level. Mitigation Measures include (1) *Biological Resources*: BIO-1(a) Special Status Plant Pre-Construction Survey, BIO-1(B) Special-Status Plant Species Avoidance, BIO-1(C) Restoration and Monitoring, BIO-1(D) Special-Status Wildlife Pre-Construction Surveys, BIO-1(E) Biological Resources Avoidance and Minimization, BIO-1(f) Pre- Construction Nesting Bird Surveys, BIO-1(g) Tree Habitat Protection Measures, BIO-1(h) Worker Environmental Awareness Program (WEAP), (2) *Cultural Resources*: CUL-2(a) Worker's Environmental Awareness Program, and CUL-2(b) Unanticipated Discoveries, (3) *Geology and Soils*: GEO-5 Paleontological Resource Studies, (4) *Greenhouse Gas Emissions*: GHG-1(a) Construction Emissions Reductions, GHG-1(b) Residential EV Chargers, GHG-1(c) Commercial EV Chargers, GHG-1(d) Greenhouse Gas Reduction Plan for Operational Emissions, (5) *Noise*: N-1 Construction-Related Noise Reduction Measures, N-2 Vibration Reduction Measures, (6) *Utilities*:

including UTIL-1 Water Offset Program. The EIR also analyzes three alternatives to the Project, (No project, Reduced density and Increased density).

Campus Town Specific Plan (File No. SPL-01):

The proposed Specific Plan has four major components: (A) the long-term vision and policy component (Chapters 1 and 2), (B) the public and private development standards and guidelines (Chapter 3 and 4), (C) infrastructure plans (Chapter 5), and (D) the implementation program (Chapter 6). The vision and policy component provides the goals and policies related to land use, urban design, vehicle and pedestrian circulation, and environmental sustainability. The regulatory component would enact development standards and guidelines, or a Form Based Code,¹ that would apply to all future development projects in the Plan Area.

The primary elements that will define the Plan Area and each sub-area area are: Thoroughfare Types and Standards (Specific Plan Section 3.3), Building Types (Specific Plan Section 4.6.2), Frontage Types (Specific Plan Section 4.6.3), and Open Space Network and Type Standards (Specific Plan Section 3.4). The Specific Plan also includes standards and guidelines for landscaping (Specific Plan Section 3.5), streetscaping (Specific Plan Section 3.6), Architectural Standards and Guidelines (Specific Plan Section 4.7), and signs (Specific Plan Section 4.8). Allowable uses are also identified for each Sub-area; refer to Specific Plan Table 4.2, Allowable Uses.

The infrastructure plan describes the required provisions for new and updated utility infrastructure. Together these three components are intended to serve as a zoning tool comprised of unique and customized standards that enable the City to shape the streets and public spaces, and property owners to develop their properties according to the vision and standards of the Specific Plan. See Draft EIR Sections 2.4.2 through 2.4.5 which provide a more detailed summary of the Specific Plan.

¹ "Form based codes are one useful tool for achieving the placemaking and urban design visions of the community. Functioning as both zoning designations and design standards, form-based codes focus on creating places by examining building types, standards, sidewalks, landscaping, and other relevant issues. The form-based code approach is applicable to many types of communities and can be especially meaningful in suburban contexts seeking to instill a stronger sense of place in sprawl environments and in areas focusing on infill development." (OPR 2017, pp. 18, 47; see also Gov. Code Section 65302.4.)

The July 2019 draft of the Campus Town Specific Plan was included as Appendix B to the Draft EIR.² Modifications have been proposed for the Campus Town Specific Plan which have been incorporated into the updated Specific Plan included as Attachment 4. These modifications are shown in track changes in Attachment 5. This includes (1) updated factual information, (2) updated tree replacement provisions, (3) new land use restrictions which require a new fire station to be operational before issuance of permits for the existing fire station parcels, and (4) a reduction in maximum square footage for individual retailers to 40,000 square feet. Table 1 shows the maximum development build-out of the Specific Plan.

Table 1. Maximum Build-out of the Campus Town SP

Land Use Category	Maximum Allow Development
Residential	1,485
Hotel Rooms	250
Hostel Rooms	75
Retail, Dining and Entertainment	150,000 sq. ft.
Office, Flex, "Makerspace" & Light Industrial	50,000 sq. ft.

Source: Campus Town SP, 2019

The proposed Specific Plan would also provide for local parks, trails and other open spaces in the Plan Area.

In addition to land use, the Specific Plan provides details for the following supportive elements to assist in the proposed development, including roads and transportation improvements, water (both potable and recycled) wastewater, drainage and others. Additional information on project infrastructure and utilities is included in Draft EIR Sections 2.4.5 and 2.4.6.

² Draft EIR, Appendix B, July 3, 2019 Campus Town Specific Plan:
<https://www.ci.seaside.ca.us/DocumentCenter/View/9763/Appendix-B-Campus-Town-Specific-Plan>

- Transportation: The Specific Plan includes detailed design standards and guidelines for the site's transportation facilities and also provides both fixed and conceptual diagrams of thoroughfares. Figure 3.1 in the Specific Plan, provides a key to the individual Thoroughfare Types for adjacent and internal streets, including Lightfighter Drive, General Jim Moore Boulevard, Colonel Durham Street, Malmedy Road, Arnhem Road, Parker Flats Cut Off Road, 6th Avenue, 7th Avenue, and other future internal streets. These thoroughfare types are described in Section 3.3 of the Specific Plan. Provision is also made for extension of public transit to the site as well as pedestrian and bicycle transportation.

The project also include development of two roundabouts along General Jim Moore Boulevard at Lightfighter Drive and Gigling Road to slow vehicles as they approach Campus Town and the CSUMB campus. The majority of the new streets would be designed for slow-moving traffic with one travel land in each direction.

- Potable Water Service: The potable water system would be extended to serve the project, both for domestic and firefighting purposes. Three pressure zones would be sized to meet project needs. Existing facilities within the project boundary will remain and be connected to the new system. The project's total water demand is approximately 487.43 AFY, with 45.83 AFY being provided by recycled water. Mitigation Measure UTIL-1 also requires the City to offset 260.03 AFY of potable water demand at other locations within the City to make up for increased potable water consumption in the Specific Plan Area. UTIL-1 includes a list of offset options which include the Bayonet and Blackhorse Golf Courses (up to 450 AFY), Seaside Highlands and Soper Field (up to 53.1 AFY), and Main-Gate (up to 42.99 AFY).
- Recycled Water: Recycled (reclaimed) water would be used to irrigate public street landscape medians, public open spaces, landscaping for commercial/flex sites and front yard landscaping. Use of recycled water would reduce the need for fresh water typically used for landscape irrigation. Regulations pertaining to recycled water are included in

Section 5.2.2 of the Specific Plan.

- Wastewater: Individual development projects in the proposed Specific Plan area would connect to an existing trunk line in 1st Avenue north of Lightfighter Drive. Effluent would be conveyed in a gravity-fed system with no pump stations. Sanitary sewer mains would be sized to accommodate proposed development and placed in street/alley rights-of-way, replacing the old pipe network that includes several “cross-country” alignments.

Gravity-fed mains that once connected to CSUMB’s sanitary system in 6th Avenue and 7th Avenue would be disconnected from this system, and would be joined to the new pipe network that feeds to 1st Avenue. Existing facilities within the Plan Area that are to remain (i.e., the Monterey College of Law) will be connected to the new system. Existing sewer mains along the project’s General Jim Moore Boulevard frontage will remain and be tied to the new system.

The Project’s sewer network would also include the connections of the existing mains from outside the Plan Area that serve the U.S. Army Main Exchange and the Defense Department complex. The Projects sanitary sewer system is provided in Section 5.4 of the Specific Plan.

- Storm Drainage: The Project would ideally use adjacent off-site stormwater infiltration facilities; however, if the Project does not gain approval to use off-site facilities, an on-site retention option has been designed. Proposed drainage basins are located at the low points within the Plan Area: at 1st Avenue; in a portion of the “tree save” area; and at the General Jim Moore Boulevard/Lightfighter Drive intersection. The proposed storm drain pipe network will collect runoff from all internal residential streets and convey stormwater to these basin areas, which will be designed to provide retention and infiltration up to the 100-year storm event. Water that enters the storm drain system would be tributary to an infiltration basin located within the Plan Area or immediately adjacent thereto.

Development in the Plan Area would be phased over a number of years

with an estimated Phase II completion date of 2034. Construction Phasing is discussed in Section 6.4 of the Specific Plan and Draft EIR Sections 2.4.1 and 2.4.7.

Zoning Amendment (File No. RZ-19-01):

An Amendment to the Seaside Zoning map and text has been proposed. If approved, the current CMX (Commercial Mixed Use), PI (Public Institutional) and M (Military) zoning districts on the site would be removed and replaced by a "Campus Town Specific Plan" District. That zoning district would provide that all land use policies, development standards and design guidelines, and infrastructure improvements applicable to proposed land uses and development projects within the Specific Plan area would be those provided in the Specific Plan. If there is any conflict or inconsistency between the provisions of the Specific Plan and the City's Zoning Code, the provisions of the Specific Plan will take precedence. The Campus Town Specific Plan District would be applied to the Project site. The Zoning text and Map Amendments are included as **Attachment 8**.

General Plan Amendment:

As discussed in Draft EIR Section 4.10, under Impact LU-2, the proposed Campus Town project was determined to be consistent with the City's existing and proposed General Plans as a whole, despite a partial inconsistency with the City's existing LOS Circulation Element policy. While the project is consistent with the General Plan as a whole, to ensure precise consistency, a General Plan amendment has been proposed to create a project-specific application of a more modern approach to traffic analysis using a vehicle-miles traveled metric, consistent with current state law, rather than from the City's existing vehicular LOS policy.

The proposed General Plan amendment will ensure that the Campus Town Project will comply with new state law requirements to focus on vehicle miles traveled and encouraging smart planning policies with respect to public transit, proximity of jobs and housing, and pedestrian and bicycle-friendly development. Therefore, General Plan amendments have been proposed that would apply those standards to the traffic analysis for the project rather than

current policies from Circulation Element policies regarding performance criteria and impact assessment and intersection level of service standards. The General Plan amendment is outlined in **Attachment 7**.

Vesting Tentative Subdivision Map (File No. VTN-01):

A Vesting Tentative Map (VTM) has been prepared that would subdivide a portion of the Plan Area into 837 lots for construction of uses included in the Specific Plan. The VTM encompasses approximately 110.2 acres of the approximately 122.23-acre Plan Area. The vesting tentative map application was deemed complete on September 16, 2017.

The Project proposes two construction phases: Phase 1 would involve grading and infrastructure development of approximately 45.06 acres and Phase 2 would involve grading and horizontal infrastructure development of the remainder of the project area. Remaining parcels are not currently owned or controlled by the Development Applicant, KB Bakewell Seaside Venture II, but are regulated by the Specific Plan. Within each grading and infrastructure phase, multiple building sub-phases would occur.

Attachment 7 shows the proposed subdivision of the site. Additional subdivision details, including but not limited to proposed street sections, site grading, stormwater drainage and other construction details are found on the full set of VTM plans available on the City website. Additionally, it is recommended that the VTM be conditioned with (A) COA HAZ-1, which states: "If non-building related ACMs, baseball field light towers, abandoned boiler saddles, and subsurface utility lines, proposed for removal, are encountered during demolition or grading, the applicant shall survey the materials for ACMs, and contaminants of concern prior to disturbing and removing the materials. If discovered onsite, ACMs will be handled in compliance with applicable regulations," and (B) "The applicant shall comply with the following recommendations from the Arborist Report: (1) "Tree Replacement" on page 5, (2) "Recommendations for Tree Protection During Construction" on page 6, (3) "Maintenance Recommendations for Trees to Remain" on pages 7-8."

Development Agreement:

A Development Agreement (DA) is proposed to “vest” (protect) land use entitlements granted to the property owner. The landowner can provide community benefits to the City in return for vested rights. Key provisions of the Development Agreement include: applicable for a period of 20 years and payment of a \$2 million public benefit contribution to the City. Project benefits include:

- Development of a variety of building types and uses, including entertainment, retail, housing, visitor lodging, and employment space with sufficient resident population in proximity to proposed commercial uses to support a viable Mixed Use Urban Village;
- Provision of shopping, employment, and housing opportunities for households of various sizes and income levels, in close proximity to one another and the CSUMB campus, and to reduce vehicle miles traveled on a per capita basis;
- Centrally-focused commercial development, typical of historic main streets,
- Creation of a vibrant multi-modal transportation network, including improvements that encourage pedestrian and bicycle activity;
- Expansion of the City of Seaside’s retail and employment opportunities, including the creation of employment space and live/work space capable of supporting startup businesses;
- To create a project, including a land use mix and phasing, that is responsive to market demand and results in an economically viable development that can support the infrastructure investment needed to transform the Plan Area to civilian use;
- Developer compliance with the Conditions of Approval;
- Reimbursement of Project Approval Costs;
- Processing Fees;
- Payment of a two-million dollar Public Benefit Contribution or re-conveyance of the fire station parcel to the City;
- FORA Replacement Payment in the event the FORA CFD is terminated;
- Limitation on Natural Gas Fireplaces and Appliances;

- Public Open Space;
- Provision 225 units of on-site and off-site affordable housing to be developed under the Applicant's alternative plan;
- Payment of prevailing wages to the extent required by Labor Code Sections 1720 et seq. and/or recorded covenants encumbering the Property.
- Large construction equipment (i.e., cranes, dozers, excavators, graders, pavers, rollers, scrapers, tractors, loaders, and backhoes) used for construction of the Project will be equipped with Tier 4 Final certified engines.

A copy of the proposed DA is **Attachment 6** to this staff report.

Inclusionary (Affordable) Housing Agreement: An Affordable Housing Agreement has been drafted to ensure that the Project would provide affordable housing in accordance with the City's Inclusionary Housing Ordinance. This agreement includes Alternatives, as provided under SMC Section 17.32.060. This Agreement would be considered by the City Council. See **Attachment 10** for additional details.

III. BACKGROUND AND REGULATORY SETTING

The project is located within the former Fort Ord Army Base, which closed in 1994. The Fort Ord Reuse Authority ("FORA") is a regional agency created to transition the base to civilian use, including adopting the Base Reuse Plan ("BRP"). The BRP primarily designates the project area as "University Village" as a planned development mixed use district with neighborhood retail.

Among other transfers of former Fort Ord property, the Army transferred approximately 26.6 acres to the City of Seaside and approximately 66.9 acres (the "Surplus II Area") to the Successor Agency to the Redevelopment Agency of the City of Seaside (the "Successor Agency"). In 2017, the City, Successor Agency, and Applicant entered into a Purchase and Sale Agreement related to these properties.

The majority of the Plan Area is located within the Surplus II Area which includes the area east of Malmedy Road, west of 7th Avenue and south of Colonel Durham Street and north of Gigling Road. The Plan Area was developed primarily

with abandoned former U.S. Army buildings, many of which have been demolished by FORA over the last year. (See Draft EIR Section 2.2.2.) FORA created its Capital Improvement Program (CIP) to comply with and monitor its obligations from the 1997 Fort Ord Base Reuse Plan (BRP). The CIP is a policy approval mechanism for ongoing BRP requirements as well as other capital improvements established by FORA Board policy. The CIP improvements include FORA removal of buildings in the Surplus II Area. The U.S. Army transferred the Surplus II Area to the former Redevelopment Agency of the City of Seaside in 2005.

Several areas east of Malmedy Road will not be developed as part of the project, this includes parcels associated with the Monterey College of Law, Monterey County Bar Association, Monterey Peninsula College Public Safety Training Center, and the police station. The Plan Area includes degraded patches of Coast live oak trees and other ornamental plantings and variable tree species, along with small vegetated areas occurring between buildings and roads.

The portion of the Plan Area located directly west of the Surplus II Area, includes the Presidio of Monterey Ord Military Community Fire Station, which fronts General Jim Moore Boulevard. The Fire station includes three single-story structures to house trucks and equipment. A vacated restaurant building is located at the northeast corner of General Jim Moore Boulevard and Gigling Road. A large paved parking lot is located along the eastern end of Malmedy Road. Non-native Ice Plant Mat is the dominant vegetation in the undeveloped portions of this area, in addition to fragmented and degraded patches of Coast live oak trees.

Approximately one-third of the western Plan Area is located west of General Jim Moore Boulevard and east of 1st Avenue and south of Lightfighter Drive. This portion of the Plan Area includes the former visitor intake center for former Fort Ord, while other portions of this sub-area are undeveloped. Approximately nine acres of Coast Live oak woodland occur in this area along with shrub communities and large patches of invasive ice plant.

The ground elevation in the Plan Area ranges from about 170 feet at the west end to 345 feet at the east end. Elevation change in the north-south direction, between Gigling Road on the south and Colonel Durham Street on the north, descends about 30 to 40 feet in the northerly direction. The change in elevation

is relatively gentle. The steepest gradient of approximately 6 percent occurs in the vicinity west of General Jim Moore Boulevard, which bisects the site in an approximate north-south direction.

Fort Ord Reuse Authority Act and Base Reuse Plan (BRP)

The Plan Area is located within the former Fort Ord Army Base, which was closed in 1994 pursuant to the Base Realignment and Closure (BRAC) action. The final decision to close the base occurred several years earlier, in September 1991.

In 1994 the California Legislature adopted the Fort Ord Reuse Authority Act. The intent of that bill includes (A) facilitating the transfer and reuse of the real and other property comprising the military reservation known as Fort Ord with all practical speed, (B) minimizing the disruption caused by the base's closure on the civilian economy and the people of Monterey Bay area, (C) providing for the reuse and development of the base area in ways that enhance the economy and quality of life of the Monterey Bay community, and (D) To maintain and protect the unique environmental resources of the area (Gov. Code § 67651).

FORA is the regional agency that was created in 1994 to oversee the conversion of the Fort Ord Base to civilian use. Its authority covers adopting the base reuse plan, reviewing jurisdictional programs for consistency, financing mitigations/infrastructure, and property transfer. FORA's obligations include building removal, munitions clean-up, roadway construction, fire equipment purchase, habitat restoration, and storm drain system upgrades. Adopted in June 1997 by FORA, the Fort Ord Base Reuse Plan (BRP) serves as a planning framework that guides future use and development of the more than forty-five square miles formerly occupied by Fort Ord.

The underlying purpose of the Proposed Project is to implement the policy direction in the BRP, in particular Program C-1.4 which states: "The City of Seaside shall prepare a specific plan to provide for market-responsive housing in the University Village District between the CSUMB campus and Gigling Road. This is designated a Planned Development Mixed Use District to encourage a vibrant village with significant retail, personal and business services mixed with housing." The 2004 General Plan designates the Plan Area as Mixed-Use and was certified by FORA as being consistent the BRP.

2004 Seaside General Plan

The Seaside City Council adopted the 2004 Seaside General Plan ("2004 General Plan") by City Council Resolution 04-59 on August 5, 2004. The 2004 General Plan serves as the City's current blueprint for growth and development, and was certified by FORA as consistent with the BRP. The 2004 General Plan elements include: Land Use, Urban Design, Economic Development, Circulation, Conservation/Open Space, Safety, Noise, and Housing. The General Plan provides goals, policies, and action programs to help Seaside into a cohesive community and lays the groundwork for thoughtful decision-making and cooperation among all segments of City government and the community.

The 2004 Seaside General Plan establishes a land use designation of Mixed Use (MX) for the entire Plan Area. MX is a special land use designation that promotes pedestrian and transit-oriented activity centers in the community with a mix of residential, commercial, office and civic uses, with more specific development standards identified in the Zoning Ordinance.

The MX designation is intended to provide additional residential, employment, and services that are conveniently located adjacent to existing population centers. According to the 2004 General Plan, development in the MX designation provides certain benefits and opportunities: residents are readily available to support local businesses; businesses and residential projects have opportunities to share parking, improved multi-modal access, which promotes walking and cycling to nearby destinations instead of using a car.

Existing Zoning

For the Campus Town Specific Plan area, the City proposes to adopt a Campus Town Specific Plan zoning district that would apply to the Plan area, once created. That zoning district will provide that all land use policies, development standards and design guidelines, and infrastructure improvements applicable to proposed land uses and development projects within the Campus Town Specific Plan will be those provided in the Specific Plan. If there is any conflict or inconsistency between the provisions of the Specific Plan and the City's Zoning Code, the provisions of the Specific Plan will take precedence.

Draft Seaside 2040

The City's draft 2040 General Plan (*Draft Seaside 2040*) is the proposed unadopted policy document to guide the City's future development. *Draft Seaside*

2040 establishes a land use designation for the Plan Area of primarily Future Specific Plan (SP) with pockets of Public/Institutional (PI) for the Plan Area. *Draft Seaside 2040* identifies a series of major strategy and physical improvements that should occur over the next 20 years. Building a “campus town” adjacent to CSUMB is strategy six:

“A long-term opportunity exists to capitalize on the adjacency of CSUMB by providing campus-supporting uses, including jobs, retail, entertainment, and services for students. This new neighborhood can also provide students with diverse housing options, new community parks, and safe and convenient walking and biking paths with easy access to CSUMB. This area has the potential to expand on the number of diversity of jobs in Seaside by attracting R&D, industrial, and “markerspace” uses close to the University.”

Redevelopment Plan for the Seaside-Fort Ord Redevelopment Project Area

In 2002, the City of Seaside adopted the Redevelopment Plan for the Seaside-Fort Ord Redevelopment Project Area (“Redevelopment Plan”). The City determined that the Redevelopment Plan was consistent with the General Plan and the BRP. FORA certified the Redevelopment Plan as being consistent with the BRP. The Redevelopment Plan was intended to provide tools to enable redevelopment of the former Fort Ord and to eliminate physical blight and mitigate the social and economic degradation caused by the base closure. The Redevelopment Plan provides that the land uses, development standards, objectives, policies and other evaluation guidelines of the Redevelopment Plan are those set forth in the General Plan, Specific Plans, and Zoning Ordinance, as they may be amended in compliance with the BRP. By virtue of its consistency with the General Plan and Zoning Ordinance, the Specific Plan also is consistent with the Redevelopment Plan.

In 2015, the Oversight Board to the Successor Agency to the Redevelopment Agency of the City of Seaside (“Successor Agency”) and the California Department of Finance approved the Successor Agency’s Long Range Property Management Plan (“LRPMP”). The LRPMP indicates that the development proposed by the Applicant will effectuate the Redevelopment Plan.

IV. ANALYSIS

As part of the project’s entitlement process, Planning Commission provides formal recommendations on the proposed Specific Plan (Attachment 4), General

Plan amendments (Attachment 7), Zoning amendments (Attachment 8), and the Development Agreement (Attachment 6), the Vesting Tentative Subdivision Map (Attachment 9), and the Inclusionary (Affordable) Housing Agreement which includes Alternatives as provided under SMC Section 17.32.060 (Attachment 10). Because the Planning Commission is not approving the project, it does not certify the Environmental Impact Report (EIR); instead Planning Commission only reviews and considers the Draft EIR.

A draft resolution has been prepared (Attachment 3) which recommends that City Council adopt these planning documents which would implement the “proposed project” identified in the Draft EIR. Discussion of proposed project’s consistency with the existing and proposed General Plan is included in Draft EIR Section 4.10, Impact LU-2, and included in Attachment 11. Draft EIR Section 6 also identifies several project Alternatives, including the No Project Alternative, the Reduced Buildout Clustered Development Alternative, and the Increased Housing Density and Employment Alternative. As part of the entitlement process City Council will also be asked to incorporate the proposed mitigation measures from the EIR, described in Section II of this staff report.

To aid the Planning Commission in this recommendation, City Staff have outlined several of the project benefits below. The Campus Town project objectives include:

- Objective 1: To develop a variety of building types and uses, including entertainment, retail, housing, visitor lodging, and employment space with sufficient resident population in proximity to proposed commercial uses to support a viable Mixed-Use Urban Village.
- Objective 2: Provide shopping, employment, and housing opportunities for households of various sizes and income levels, in close proximity to one another and the CSUMB campus, and to reduce vehicle miles traveled on a per capita basis.
- Objective 3: Centrally focus commercial development, typical of historic main streets.
- Objective 4: To create a vibrant multi-modal transportation network, including improvements which encourage pedestrian and bicycle activity.

- Objective 5: To expand the City of Seaside's retail and employment opportunities, including the creation of employment space and live/work space capable of supporting startup businesses.
- Objective 6: To create a project, including a land use mix and phasing, that is responsive to market demand and results in an economically viable development that can support the infrastructure investment needed to transform the Plan Area to civilian use.

Statewide Planning: This Proposed Project and the associated objectives are also designed to address statewide planning efforts. The legislature has adopted findings that "the lack of housing, including emergency shelters, is a critical problem that threatens the economic, environmental, and social quality of life in California... (3) Among the consequences of those actions are.... reduced mobility, urban sprawl, excessive commuting, and air quality deterioration" (Gov. Code Section 65589.5(a)). The Legislature also recently adopted findings that "California has a housing supply and affordability crisis of historic proportions. The consequences of failing to effectively and aggressively confront this crisis are hurting millions of Californians, robbing future generations of the chance to call California home, stifling economic opportunities for workers and businesses, worsening poverty and homelessness, and undermining the state's environmental and climate objectives" (Gov. Code Section 65589.5(a)(2)(A) [AB 3194 (2018)]). The State Legislature has also acknowledged that there is a "need to balance the need for level of service standards for traffic with the need to build infill housing and mixed use commercial developments within walking distance to mass transit facilities, downtowns, and town centers and to provide greater flexibility to local governments to balance these sometimes competing interests" (Gov. Code Section 65088.4 [SB743 (2013)]).

Adjacency to CSUMB campus.

The Project has been designed to complement and enhance the California State University campus immediately to the north. CSUMB's adopted 2007 Master Plan calls for increased enrollment of 8,500 students but plans to house only 60 percent of students on campus," this project would provide adjacent living space which would help reduce Vehicle Miles Traveled (VMT) and its associated impacts. The Campus Town project offers a variety of land use types and

densities. Some of these complementary uses include:

- Higher density housing at density ranges that would typically include condominiums, apartments, row houses and similar attached styles, although a number of single-family dwellings would also be permitted. The Project Applicant will also be required to comply with the City's Inclusionary Housing requirement of a minimum of 20% of the total number of dwellings be reserved for income-restricted households.
- Commercial uses for day-to-day living needs as well as specialized retail and services typical of a college campus.
- Lodging facilities for students, parents and university guests.

Economic Benefits to Community. In addition to short-term construction jobs and long-term jobs associated with retail and lodging, the Project provides for light industrial floor space as well as flex and "makerspace" that could house start-up ventures that typically spin off from research at the University. This type of space is not generally available in the Seaside trade area. The City would also realize increased sales and property tax revenues as well as transient occupancy tax revenues from hotel(s). Indirect secondary economic impacts would also result from increased local employment.

"Green" Design Theme. Campus Town would include a number of features that would promote a sustainable lifestyle for future residents, including but not limited to a mixed-use development that reduces vehicle trips between single-use areas. The project also includes installation of solar photovoltaics, electric vehicle charging stations, on-site water retention, drought tolerant landscaping, recycled water use, and new pedestrian and bicycle facilities, Campus Town also emphasizes use of walking, bicycling and bus service as transportation modes rather than auto use. In this instance, the close proximity of the University would facilitate these transportation modes.

Water Supply. As required by State law, a Water Supply Assessment (WSA) has been prepared by the Marina Coast Water District, with updated information provided by the City of Seaside. The WSA is attached as Appendix M of the Draft EIR document. The WSA determined that existing water supplies allocated to the City of Seaside would not be adequate to support the build-out and operation of the Campus Town Project, which was estimated to be 487.4 acre-feet (afy) of water per year (one-acre feet equals approximately 325,000 gallons.) The City has approximately 181.3 (afy) of potable water not currently used or allocated to

other projects. The estimated shortfall of 260.3 afy could be used by the Project if the Water District were to undertake certain actions to “free up” potable water for the Project. These actions include substituting potable water used for the Bayonet and Blackhorse golf courses for treated recycled water, substituting recycled water for potable water for the Seaside Highlands. Super Field and Main Gate projects. The Marina Coast Water District is also planning on two water supply projects that would bring 2,400 acre-feet of water per year on line.

The above water supply scenarios have been analyzed in the Project Draft EIR and have been made Mitigation Measures as part of the Draft EIR. This includes Mitigation Measure UTIL-1, which offsets the project’s water consumption above and beyond the City’s existing water allocation. Therefore, an adequate long-term and reliable water supply can be provided to serve the Project with implementation of mitigation measure UTIL-1.

Transportation Impacts and Benefits. The Draft EIR analyzed potential impacts of the Project as well as long-term and cumulative impacts. Potential impacts examined included vehicles, pedestrian, bicycle and public transportation modes of transit. In terms of vehicle impacts, the Draft EIR analysis utilized “Vehicle Miles Traveled” to measure Project traffic. The project would not result in significant transportation impacts under project or cumulative conditions. The Specific Plan places an emphasis on bicycle and pedestrian circulation modes. The existing pedestrian and bicycle networks in the Plan Area have many gaps. The Project applicant would be required to complete missing street improvements and construct pedestrian and bicycle paths in the vicinity of the Project.

Assistance in Meeting Housing Needs. Approval of the Project would assist the City in meeting its regional and state housing goals. The Plan Area is designated under the General Plan Land Use Element as MX, which is intended to provide “a mix of residential commercial, office and civic uses...” (2004 General Plan, Table LU-1.) As also discussed in the General Plan, “[t]his category assumed Community Commercial type development on approximately 65 percent of the acreage.” (2004 General Plan, p. LU-14.) The City’s 2009-2014 Housing Element, however, did not identify the Plan Area on its inventory of available sites for housing development. The Plan Area is currently zoned CMX, *Commercial-Mixed Use Zone* as provided under SMC Section 17.14.020.A, and is “intended to accommodate retail stores, offices, theaters, restaurants, and other

similar and related uses together with residential units...*although mixed use development is not required.*" Consequently, under these policies, standards and General Plan assumptions (without the Specific Plan), residential development would range from 0 to 1,069.5 residential units ($35\% \times 122.23 \text{ acres}^3 \times 25 \text{ du/acre}^4$). The proposed Specific Plan would provide 1,485 residential units, enabling more intense residential development in the Plan Area, in comparison to the existing development policies standards. This increased intensity is acknowledged in the City's recently adopted Housing Element, which identifies the first phase of the proposed Plan Area development in its inventory of sites available for housing. (2015-2023 Housing Element Technical Appendix p. APP-121.)

This increased intensity, however, remains consistent with the New Residential Unit Limit of FORA's Development Resource Management Plan. Further, the Specific Plan and associated entitlements would facilitate the production of affordable housing by providing for on-site and off-site affordable units in accordance with the City's Inclusionary Housing Ordinance. The Applicant will also be required to enter into an Inclusionary Housing Agreement with the City to specify a specific number of low and very-low income dwellings would be reserved for households with lower incomes.

The Applicant proposes alternatives pursuant to SMC Section 17.32.060 as part of an Affordable Housing Agreement, which would provide 225 units of on-site and off-site affordable housing. The proposed alternative would provide an equivalent of 350 affordable units as defined by 17.32.020.A.2 of the Seaside Municipal Code, which provides that a very-low income restricted unit is treated as equivalent to two moderate restricted units and a low-income restricted unit is treated as equivalent to 1.5 moderate restricted units.

In addition, the Applicant's alternative plan's combination of on-site and off-site affordable units better avoids over-concentration of inclusionary units within a specific area than would have been the case if all the inclusionary units were located on-site, per the policy goals set forth in Section 17.32.060.B.1 of the

³ 122.23 acres is considered conservative, as this acreage includes parcels listed as Public Institutional and Military, and parcels which are not proposed to redevelop as part of the Campus Town project (e.g. Monterey College of Law).

⁴ 25 du/acre in fact overstates anticipated residential density under the CMX zoning, as the City's 2009-2014 Housing Element identifies realistic densities in the CMX zone at 17 du/acre. (2009-2014 Housing Element, Table 43.)

Seaside Municipal Code.

V. FISCAL IMPACT

If approved and constructed, the Project would result in potentially significant increases in property tax, sales taxes, sales and transient occupancy revenues to the City. The amount of such increases is unknown at this time and would be phased in as commercial and hotel operations come on-line. The Project would also increase short-term construction jobs and offer long-term employment opportunities to the community with secondary economic benefits.

ATTACHMENTS

*All attachments are available at:

<https://www.ci.seaside.ca.us/632/Campus-Town-Project>

1. Regional Location
2. Project Site Exhibit
3. Proposed Planning Commission Resolution
4. Updated Campus Town Draft Specific Plan
5. Summary of recent Campus Town Specific Plan modifications
6. Development Agreement
7. General Plan Amendment
8. Zoning Text and Zoning Map Amendment
9. Vesting Tentative Subdivision Map (Draft EIR, Appendix C)
10. Inclusionary (Affordable) Housing Agreement
11. General Plan Consistency Matrix (Draft EIR, Table 4.10-1)
12. Draft Environmental Impact Report (provided electronically, available online at: <https://www.ci.seaside.ca.us/632/Campus-Town-Project>)
13. Fire Station Exhibit to Development Agreement
14. Arborist Report