



AGENDA

CITY OF SEASIDE
BOARD OF ARCHITECTURAL
REVIEW

REGULAR MEETING
Council Chamber
440 Harcourt Avenue
Wednesday, March 4, 2020
5:30 PM

1. CALL TO ORDER

2. ROLL CALL - ESTABLISHMENT OF QUORUM

BOARD OF ARCHITECTURAL REVIEW

Kathleen Ventimiglia	Chair
Bani Khalsa	Vice Chair
Keith Mitchell	Board Member
LisAnne Sawhney	Board Member

3. REVIEW OF AGENDA

If there are any items that arose after the 72-hour posting deadline, this is the point in the meeting where a vote may be taken to add the item to the agenda. (A 2/3-majority vote is required).

4. PUBLIC COMMENT

Members of the public wishing to address the Board of Architectural Review on matters within the jurisdiction of the City of Seaside, but not on this agenda, may do so during the Public Comment period for up to three minutes. Public Comments on specific agenda items are heard under that item. For the public record, please state your name.

5. ELECTION OF OFFICERS 2020

A. ELECTION OF OFFICERS FOR THE 2020 CALENDAR YEAR

6. APPROVAL OF MINUTES

A. APPROVAL OF MINUTES FOR NOVEMBER 20, 2019 REGULAR MEETING.

7. BUSINESS ITEMS

- A. BOARD OF ARCHITECTURAL REVIEW APPROVAL (FILE No. BAR-19-20) JOHN MATTHAMS, PROPERTY OWNER, AND ANATOLY OSTRETSOV, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 760 SQUARE FOOT SECOND TWO STORY ADDITION TO AN EXISTING ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1253 SOTO STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-324-004).THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.2, EXISTING FACILITIES, FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.**

RECOMMENDATION: In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code, additions to existing residential structures that result in a height of greater than eighteen feet and all new second-story elements including decks, roof projections, etc. are subject to design review approval by the Board of Architectural Review.

City staff recommends approval of the proposed second story addition in accordance with the conditions of approval provided as Attachment 1 and project plans provided as Exhibit A to Attachment 1 of the Staff Report.

- B. MASTER SIGN PROGRAM No.MSP-20-01: CYPRESS COAST AUTMOTIVE GROUP, PROPERTY OWNER, AND NORTHWEST SIGNS, APPLICANT, ARE REQUESTING APPROVAL OF A MASTER SIGN PROGRAM FOR THE SUBARU NEW CAR DEALERSHIP LOCATED AT 2 GEARY PLAZA IN THE AUTOMOTIVE REGIONAL COMMERCIAL(CA). THE PROJECT IS CATEGORICAL EXEMPT CLASS 11 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).**

RECOMMENDATION: In accordance with Section 17.40.030.B of the Seaside Municipal Code (SMC), a Master Sign Program can be proposed to modify sign standards within the aocenter based specific architectural and visual characteristics associated with a project site.

The condiotions of approval are provided as Attachment 1 to the staff report with the Master Sign Program Plans being provided as Ehibit A to Attachment 1.

- 8. REPORTS FROM BOARD MEMBERS**
- 9. REPORTS FROM STAFF**

10. ADJOURNMENT

Next Regularly Scheduled Meeting:
March 18, 2020
Seaside City Hall
5:30 PM

The City of Seaside is committed to providing accessible facilities and accommodating people with disabilities in all of its services programs and activities. If special considerations are needed by any person to fully participate in this meeting, contact the City Clerk at 899-6707 no fewer than two business days prior to the meeting to allow reasonable arrangements. The City Council chamber is equipped with a portable microphone and assisted listening devices are available at all meetings. City Council Meetings that are held in the City Council Chambers are broadcast live to all Seaside residents on Comcast Channel 25 and U-verse Channel 99. Live streamed meeting videos as well as videos of past meetings are available on the City's website at: <http://www.ci.seaside.ca.us/129/City-Council-Committee-Agendas>

Agenda-related writings or documents provided during public meetings are available for public inspection during the meeting or from the office of the City Clerk. This agenda is posted in compliance with California Government Code Section 54954.2(a) or Section 54956.



DRAFT MINUTES

CITY OF SEASIDE

REGULAR MEETING

BOARD OF
ARCHITECTURAL
REVIEW

COUNCIL CHAMBER
Wednesday, November 20, 2019
5:30 PM

1. CALL TO ORDER

Chair Ventimiglia called the meeting to order at 5:32 PM.

BOARD OF ARCHITECTURAL REVIEW

2. ROLL CALL - ESTABLISHMENT OF QUORUM

PRESENT: Sawhney, Khalsa, Ventimiglia

ABSENT: Mitchell

3. REVIEW OF AGENDA

There were no changes to the agenda.

4. PUBLIC COMMENT

There were no requests to speak.

5. APPROVAL OF MINUTES

On motion by Board Member LisAnne Sawhney and seconded by Vice Chair Bani Khalsa and passed unanimously by the following vote, the Board of Architectural Review approved Amended Meeting Minutes for October 16, 2019 and the November 6, 2019 meeting minutes as presented.

RESULT:

Approved

AYES:

Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney

NOES:

None

ABSENT:

Keith Mitchell

A. APPROVAL OF AMENDED MINUTES FOR OCTOBER 16, 2019 REGULAR MEETING AND MINUTES FOR NOVEMBER 6, 2019 REGULAR MEETING.

Action: Approved

6. BUSINESS ITEMS

**A. BOARD OF ARCHITECTURAL REVIEW APPLICATION No. BAR-19-21:
SEASONS MANAGEMENT, PROPERTY OWNER AND APPLICANT, ARE
REQUESTING DESIGN REVIEW APPROVAL FOR THE CONSTRUCTION OF
A 144-BED SENIOR ASSISTED LIVING RESIDENTIAL CARE FACILITY**

LOCATED AT 550 MONTEREY ROAD IN THE COMMUNITY COMMERCIAL (CC) ZONING DISTRICT. PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA), A MITIGATED NEGATIVE DECLARATION HAS BEEN PREPARED FOR THE PROJECT.

Senior Planner, Rick Medina presented the item. Staff answered questions from the Board. Rick De La Cruz represented the project as the applicant and responded to comments and questions from the Board.

Chair Ventimiglia invited comments from the public.

Public comment was closed by Chair Ventimiglia.

Mr. De La Cruz responded to the questions that were made by the public.

On motion by Board Member Bani Khalsa and seconded by LisAnne Sawhney and passed unanimously by the following vote the Board of Architectural Review Approved the design of the 144-bed Senior Assisted Living Residential Care Facility located at 550 Monterey Road in the Community Commercial (CC) Zoning District. Building 2 is not part of the approval and will come back to the Board prior to the issuance of a Building Permit for this structure.

RESULT:	Approved
AYES:	Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney
NOES:	None
ABSENT:	Keith Mitchell

B. BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-16. DEL MONTE MANOR, INC. (PROPERTY OWNER) AND TERREX DEVELOPMENT CORP. (APPLICANT), ARE REQUESTING DESIGN REVIEW APPROVAL FOR EXTERIOR BUILDING AND SITE IMPROVEMENT RENOVATIONS AND REPAIRS TO AN EXISTING TWO-STORY, 192 UNIT APARTMENT COMPLEX (DEL MONTE MANOR) LOCATED AT 1466 YOSEMITE BOULEVARD IN THE RH (HIGH DENSITY RESIDENTIAL) ZONING DISTRICT (APN: 012-631-002) ITEM CONTINUED FROM THE NOVEMBER 6, 2019 BAR MEETING.

Senior Planner, Rick Medina presented the item. Item has been continued from the November 6th meeting. Representative from the Terrex Development Corporation represented the application for the Applicant. Applicant responded to questions from the Board.

Applicant answered questions from the public.

On motion by Board Member LisAnne Sawhney and seconded by Vice Chair Bani Khalsa and passed unanimously by the following vote, the Board of Architectural Review Approved item as presented subject to the applicant coordinating with City staff on the placement of paint colors on the building with City staff to confirm paint scheme is appropriate.

RESULT:

Approved

AYES:

Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney

NOES:

None

ABSTAIN:

None

ABSENT:

Keith Mitchell

C. BOARD OF ARCHITECTURAL REVIEW APPLICATION No. BAR-19-21: CYPRESS COAST SUBARU, PROPERTY OWNER, AND AUTOPILOT USA, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR THE INSTALLATION OF A NEW EXTERIOR STOREFRONT, BUILDING COLORS, AND SITE MODIFICATIONS ASSOCIATED WITH THE EXPANSION AND REMODEL OF THE SUBARU NEW CAR DEALERSHIP LOCATED AT 2 GEARY PLAZA IN THE AUTOMOTIVE REGIONAL COMMERCIAL (CA) ZONING DISTRICT. THE PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301(E) FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Senior Planner, Rick Medina presented the item. Staff responded to questions from the Board. Rick Cartell represented the applicant and responded to questions from the Board.

On motion by Board Member LisAnne Sawhney and seconded by Vice Chair Bani Khalsa and passed unanimously by the following vote, the Board of Architectural Review Approved item as submitted. Signage will come back before the Board at a future meeting prior to the issuance of a Certificate of Occupancy.

RESULT:

Approved

AYES:

Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney

NOES:

None

ABSTAIN:

None

ABSENT:

Keith Mitchell

D. BOARD OF ARCHITECTURAL REVIEW APPLICATION No. BAR-19-17: WEST END PARTNERS, LLC., THE APPLICANT, IS PROPOSING TO CONSTRUCT A TEN BUILDING 112,326 SQUARE-FOOT MIXED USE PROJECT, WHICH INCLUDES: 4,079 SQUARE FEET OF GROUND FLOOR COMMERCIAL SPACE, 106 ONE, TWO, AND THREE BEDROOM RESIDENTIAL UNITS ON THE FIRST, SECOND AND THIRD FLOORS, 16 OF WHICH WILL BE AFFORDABLE UNITS, AND 8,154 SQUARE FEET OF COMBINED PARKING (89 SPACES UNDER PODIUM, 67 SURFACE OFF-STREET), DELIVERY, REFUSE, AND MECHANICAL AREA. THE 89 PODIUM PARKING SPACES ARE RESERVED FOR THE RESIDENTIAL UNITS. THE PROPOSED RESIDENTIAL UNITS RANGE IN SIZE FROM 633 +/- SF TO 1,320 +/- SF. PROJECT LOCATION: BOUNDED BY BROADWAY AVENUE, TERRACE STREET, OLYMPIA AVENUE, AND SAN LUCAS STREET (CURRENT APNs: 012-191-001, 002, 003, 004, 013, 016, 017, 021, 022, 023, 024, 025, 028 and 029).

Associate Planner, Beth Rocha presented the item. Item was continued from the

October 16, 2019 meeting. Mat Knorr from the Orosco Group represented the project for the applicant and answered questions from the Board.

On motion by Vice Chair Bani Khalsa and seconded by Board Member LisAnne Sawhney and passed unanimously by the following vote, the Board of Architectural Review Approved item as presented with modified design for open space areas between the buildings.

RESULT: **Approved**

AYES: Kathleen Ventimiglia, Bani Khalsa, LisAnne Sawhney

NOES: None

ABSTAIN: None

ABSENT: Keith Mitchell

7. REPORTS FROM BOARD MEMBERS

None. Chair Ventimiglia asked when 5th member will be appointed. Ms. Ventimiglia also asked about when the Single Family Residential Design Guidelines training will be on the agenda. Mr. Medina responded that training will be on the second meeting in January.

8. REPORTS FROM STAFF

None.

9. ADJOURNMENT

On motion, the meeting was adjourned at 8:22 PM.

Respectfully submitted,

Rosa Salcedo, Board Clerk

Kathleen Ventimiglia, Chair



CITY OF SEASIDE STAFF REPORT

Item No.: 7.A.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner

DATE: March 4, 2020

SUBJECT: BOARD OF ARCHITECTURAL REVIEW APPROVAL (FILE No. BAR-19-20) JOHN MATTHAMS, PROPERTY OWNER, AND ANATOLY OSTRETSOV, APPLICANT, ARE REQUESTING DESIGN REVIEW APPROVAL FOR A 760 SQUARE FOOT SECOND TWO STORY ADDITION TO AN EXISTING ONE STORY SINGLE FAMILY DWELLING LOCATED AT 1253 SOTO STREET IN THE RS-8 (SINGLE FAMILY RESIDENTIAL) ZONING DISTRICT (APN 012-324-004). THIS PROJECT IS CATEGORICALLY EXEMPT CLASS 1, SECTION 15301.E.2, EXISTING FACILITIES, FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

PURPOSE & RECOMMENDATION

In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code, additions to existing residential structures that result in a height of greater than eighteen feet and all new second-story elements including decks, roof projections, etc. are subject to design review approval by the Board of Architectural Review.

City staff recommends approval of the proposed second story addition in accordance with the conditions of approval provided as Attachment 1 and project plans provided as Exhibit A to Attachment 1 of the Staff Report.

BACKGROUND

The applicant is requesting residential design review approval for the construction of a 760 square-foot two story addition with a second story deck area to an existing 883 square-foot one-story single family dwelling on property located at 1253 Soto Street. The staking and flagging to identify the area of the second story has been set-up at least 14-days in advance of the February 5, 2020 meeting.

Design Review Applicability

In accordance with Section 17.62.030.B.2 of the Seaside Municipal Code (SMC), the Board of Architectural Review (BAR) is responsible for reviewing the following design elements for single family residential projects:

1. Additions that result in a height of greater than 18 feet;
2. All new second story elements including decks, roof projections, etc.

The BAR applicability of the proposed project will consist of the following components:

1. A new 32 sq. ft. entry foyer with an attached 24 sq. ft. front entry porch, and
2. Adding a 728 square-foot second-story addition consisting of a kitchen, dining room, family room, and media room, and
3. Adding 327 square feet of open air decking to the rear and north side of the new second story addition. and
4. Adding a 3 foot 6 inch wide landing off the ground level of the rear bedroom sliding glass door.

SITE LOCATION AND DESCRIPTION

The subject property is located at the westerly side of the terminus of the Soto Street cul-de-sac, south of Wanda Avenue. The property is 3,650 square feet in area and is currently developed with a one-story 883 square foot one-story, single-family residence with an attached two car garage. Surrounding land uses consist of single-family dwellings to the north, east and west and water storage tanks to the south. A Location Map is provided as Attachment 2. Site photos and an Aerial View is provided as Attachment 3.

PROJECT DESCRIPTION

Existing Conditions

The existing single-story dwelling consists of three bedrooms, a living room, a combined kitchen/dining area, and one bath. The dwelling has a 3/12 composition shingle roof, stucco exterior, and attached two car garage.

Proposed Addition

The applicant proposes to remodel the entire first floor by reconfiguring the floor space into three bedrooms and two baths. The existing kitchen will be relocated to the new second floor. The front entry will be extended approximately eight feet forward to create an entry foyer.

The new second story consists of a kitchen, dining room, family room, and media room. A second story deck with a steel cable perimeter railing system will surround the west and north elevations. Access to the deck will be from sliding glass doors from the dining and family rooms.

ENVIRONMENTAL DETERMINATION

This project is exempt from the California Environmental Quality Act pursuant to Class 1, Section 15301(e)(2): Class 1 consists of additions to existing structures involving negligible or no expansion of use.

Evidence: The proposed project would consist of a two-story addition to a one-story single family that would not have any impact on the environment or materially affect the use and/or mass of the dwelling or an adjacent dwelling.

STAFF ANALYSIS

FINDING No. 1

The proposed use is allowed within the applicable zone and complies with all other applicable provisions of this Zoning Ordinance and the Municipal Code

The proposed additions will comply with all standards of development associated with the RS-12 zoning district as follows:

Evidence: The applicant has incorporated design features and architectural styles of the existing structure such as a flat roof, metal clad windows, open steel cable railings, plaster siding on first story, panel garage door, horizontal wood siding on second story to have a contextual relationship between the first and second floors. The project plans for the residence have also been designed to respect the existing residential viewing patterns and scale in the neighborhood with the use of the flat roof and steel cable railings on the second story deck.

Setbacks

Front – 15 feet required - 28 feet proposed

Side - 5 feet required - 5 feet from south side and 10 feet 11 inches from north side.

Rear – 15 feet required – 15 feet proposed

Floor Area Ratio - 45% allowed – 45% proposed

Lot Coverage

65% allowed – 65% proposed

Off-Street Parking

Two-covered Parking Spaces – Two-car garage will remain.

Height

24 feet Maximum allowed – The roof line on the dwelling will measure 23 feet eight inches with the roof deck measuring 15 feet to the top rail.

FINDING No. 2

General Plan Conformance

The Seaside General Plan Land Use Designation for the project site is Single Family Low Density Residential. The General Plan requires all new development to complement and enhance existing land uses, as set forth in the following Land Use and Urban Design Goals and Policies:

The General Plan provides the following guidelines with respect to Streetscapes/View sheds and land use compatibility:

Goal LU-3: Revitalize existing residential areas

Policy LU-3-2: Improve the physical appearance of residential neighborhoods

Implementation Plan LU-3.2.5 Design Guidelines for Residential

Development: Adopt and implement Design Guidelines for residential development

Goal LU-4: Ensure that new development complements existing land uses and enhances the character of the community and its neighborhoods

Policy LU-4.1: Require that all new development uses quality design and material; and is compatible with surrounding uses, the site, and available infrastructure.

Implementation Plan LU-4.1.1 Land Use Compatibility Checklist:

1. The proposed use is compatible with surrounding development in terms of noise, safety, and other environmental and quality of life concerns.
2. The project respects, enhances, and complements surrounding development in terms of size, scale, design, architectural features, and access to light and views.
3. The proposed use complements the surrounding uses.
4. The project design enhances and complements the surrounding building and uses.
5. The project design and proposed use minimizes impacts to natural resources such as cultural and biological resources, natural landforms, and views.
6. The project will be able to either provide or fund its share of community services and facilities so that they are not negatively impacted by the development.
7. The project will allow the efficient use of the existing infrastructure system, or will require only the minor improvement or expansion of utilities.
8. The project includes water and energy conservation features in its design and landscaping.

Goal UD-2 Create and preserve distinct neighborhoods and business districts.

Policy UD-2.1: Protect the character of single-family neighborhoods by restricting out-of-scale buildings, incompatible uses and designs, blocked views and/or access to sunlight, and excessive through traffic.

Implementation Plan UD-2.1.1 Design Standards in Zoning Ordinance. Adopt design standards in the Seaside Zoning Ordinance to establish the scale of buildings, guidelines for quality design in new construction, building additions, and redevelopment, procedures to protect existing private views and access to sunlight as much as possible while at the same time allowing others the opportunity to enjoy the magnificent views from Seaside.

Goal UD-3: Provide and maintain a streetscape system that protects visual quality and continuity within the community.

Policy UD-3.1: Protect private views of significant natural features, such as the Monterey Bay, Roberts Lake, the Pacific Ocean, the surrounding mountains, and other important viewsheds.

Implementation Plan UD-3.1.1: View Protection and the BAR. Continue to require all additions that increase building heights and new developments to stake and flag development at least ten days prior to consideration by the BAR for design approval. When feasible, require project site redesign, modified landscaping, or reduced building heights to avoid obstruction of private views.

Evidence: The project proposal is compatible with the overall design and scale of surrounding residential land uses. The second story is off set from the dwellings across the street to the east so that the second story will not significantly disrupt any view corridors from these dwellings. Additionally, the flat roof line on the second story and steel cable railing system on the second story deck will serve to further minimize any view impacts.

Single-Family Residential Design Guidelines Conformance

The setbacks of the second story from the garage door elevation and use of a horizontal wood siding on the second story will provide visual interest and break-up of the massing. The following Single-Family Residential Design Guidelines support this proposed modification (**See Attachment 4**):

“Architectural elements should be designed to eliminate the appearance of box-like buildings,” (II.A.iii.) and, “Avoid box-like appearance through variation in the roofline and building elevations” (III.C.iv.)

“Secondary Story or Decks should use appropriate screening measures to reduce privacy invasion (i.e., solid railing walls, latticework and landscaping)” (II.B.ii.c)

Evidence: The neighborhood has a variety of architectural styles and colors, with ranch and mid-century modern as the predominant architectural styles. The project plans for the residence have been designed to respect the existing residential patterns and scale in the neighborhood and provide a cohesive modern architectural appearance. The second story will be setback 10 feet from the front of the first floor below to provide offsets and visual interest.

FINDING No. 3

The design, location, size, and operating characteristics of the proposed activity are compatible with the existing and planned future land uses in the vicinity.

Evidence: The new second story and second story deck have been designed to be off-set from the front elevation and provide a steel cable railing system for the deck to reduce visual impacts toward the Monterey Bay and further highlight the architectural materials of the structure. The height and scale of the second story will be compatible with the modern architectural style of the proposed remodel to the existing dwelling and the predominant one-story character of the surrounding residential neighborhood.

FINDING No. 4

The site is physically suitable for the type, density and intensity of use being proposed, including access, utilities, and the absence of physical constraints.

Evidence: The site is an existing residence in the RS-12 zoning district. Extension of public utilities is not required for the proposed project. The completion of the second story addition will not alter the location of existing utilities.

FINDING No.5

Granting the permit would not be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to persons, property or improvements in the vicinity and zone district in which the property is located.

Evidence: The City of Seaside's Fire Department, Building Department and Public Works Department have reviewed the conceptual project proposal. The Fire Department, Building Department and Public Works Department had no comments regarding the proposed addition.

ATTACHMENTS

1. Attachment 1- Conditions of Approval
 2. Attachment 1 - Exhibit A Project Plans
 3. Attachment 2 - Location Map
-

4. Attachment 3 - Site Photos

5. Attachment 4 - FINAL REVISED SFR DESIGN GUIDELINES

Conditions of Approval
File No. BAR-19-20
March 4, 2020

Standard:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the plans identified as “Matthams Residence 1253 Soto Street” approved on March 4, 2020. The project plans are provided as Exhibit A.
2. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
3. Board of Architectural Review approval shall be valid for a period of one (1) year from the date of approval of this project in accordance with S.M.C.S. 17.64.080. Project approval will become null and void if a building permit is not exercised within one (1) year from date of approval.
4. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.64.090.C.
5. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
6. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

7. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
8. All storm water runoff shall be contained and disposed of on site and the storm water retention system shall be reviewed and approved by the Public Works Department.
9. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
10. The issuance of building permits involving the installation of new water shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.
11. Water conservation fixtures shall be provided in the proposed project.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. BAR-19-20

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

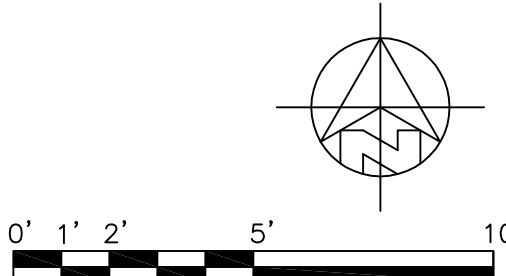
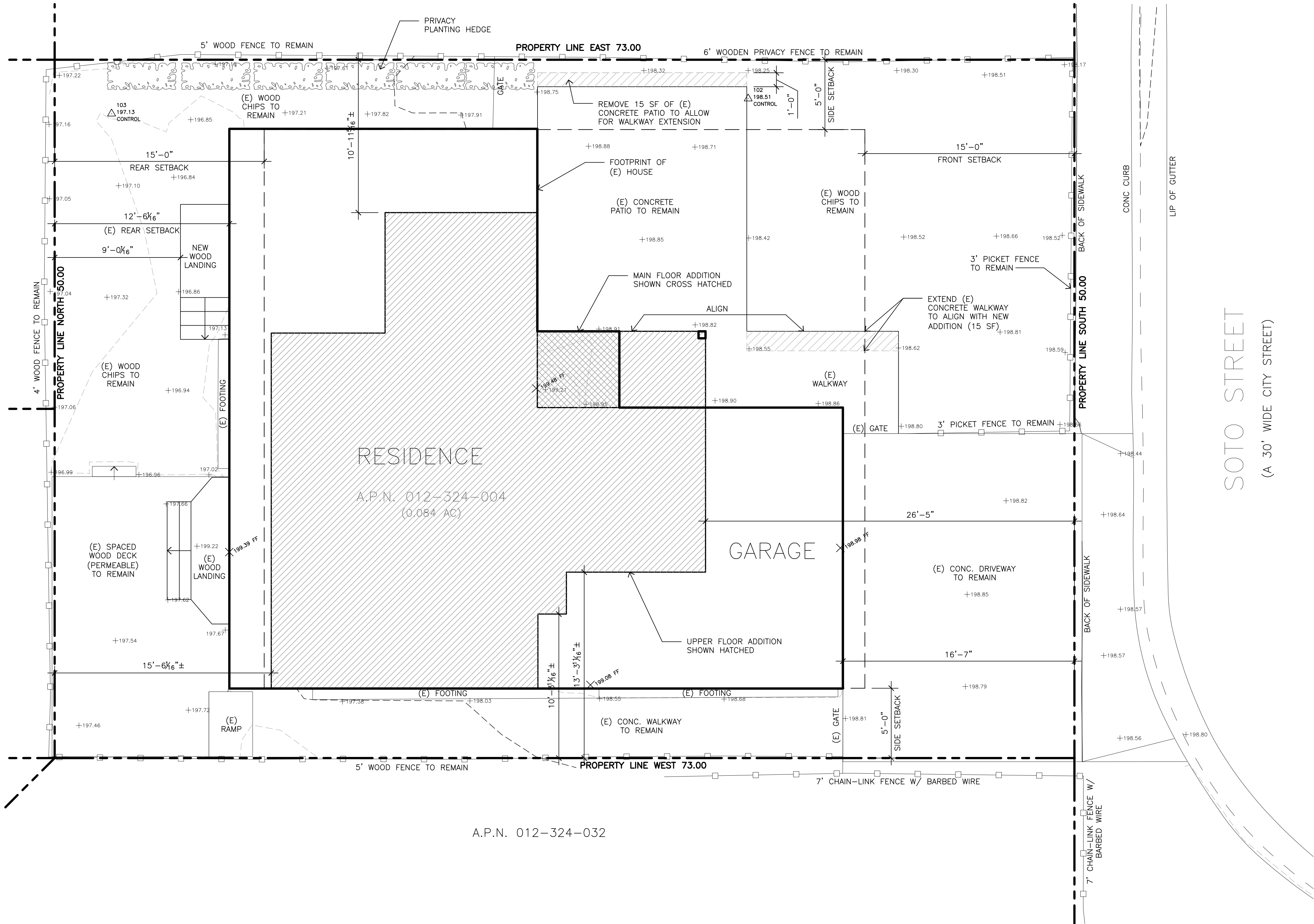
The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

Applicant's Signature

Date

Property Owner's Signature

Date



SITE PLAN

1/4"=1'-0"

PROJECT SITE



VICINITY MAP

NOT TO SCALE

PROJECT DATA

PROPERTY OWNER: MR. AND MRS. JOHN E. MATTHAMS
220 14TH STREET
PACIFIC GROVE, CA 93950
TEL. (831) 320-4161

PROJECT ADDRESS: 1253 SOTO ST.
SEASIDE, CA 93955

PROJECT DESCRIPTION: REMODEL AND SECOND STORY ADDITION
TO EXISTING SINGLE FAMILY RESIDENCE

NO CHANGES TO EXISTING GRADING AND DRAINAGE

APN: 012-324-004

ZONING: RS-8

TYPE OF CONSTRUCTION: V-B

OCCUPANCY: R-3, U

STORIES: 2

HEIGHT LIMIT: 24'

GRADING: NONE

TREE REMOVAL: NONE

APPLICABLE CODES: 2016 CBC, 2016 CRC, 2016 CFC, 2016 CPC, 2016 CEC,
2016 CMC, 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA
GREEN BUILDING CODE

LOT AREA: 3,650 S.F.

FLOOR AREA CALCULATIONS

FLOOR AREA ALLOWED 45% (+440 S.F. FOR GARAGE) = 1,643+440 = 2,083 S.F.

	EXISTING FLOOR AREA	DEMOLITION	ADDITION	PROPOSED FLOOR AREA
HOUSE MAIN FLOOR	883 S.F.	0 S.F.	32 S.F.	915 S.F.
HOUSE UPPER FLOOR	0 S.F.	0 S.F.	728 S.F.	728 S.F.
GARAGE	440 S.F.	0 S.F.	0 S.F.	440 S.F.
TOTAL FAR	1,323 S.F.	0 S.F.	760 S.F.	2,083 S.F.

FLOOR AREA PROPOSED 2,083 S.F.

SITE COVERAGE CALCULATIONS

SITE COVERAGE ALLOWED 65% = 2,373 S.F.

	EXISTING	REMOVAL	ADDITION	PROPOSED
HOUSE FOOTPRINT	1,323 S.F.	0 S.F.	66 S.F.	1,389 S.F.
WOOD DECK (PERMEABLE)	260 S.F.	0 S.F.	0 S.F.	260 S.F.
NEW REAR LANDING (PERM)	0 S.F.	0 S.F.	34 S.F.	34 S.F.
DRIVEWAY	431 S.F.	0 S.F.	0 S.F.	431 S.F.
FRONT CONCRETE PATIO	411 S.F.	81 S.F.	15 S.F.	345 S.F.
SIDE CONCRETE WALKWAY	208 S.F.	0 S.F.	0 S.F.	208 S.F.
TOTAL COVERAGE	2,373 S.F.	66 S.F.	81 S.F.	2,373 S.F.

SITE COVERAGE EXISTING 65% = 2,373 S.F.

SITE COVERAGE PROPOSED 65% = 2,373 S.F.



ANATOLY OSTRETSOV
P.O. BOX 2272
MONTEREY, CA 93942
(831) 682-1331

THE MATTHAMS RESIDENCE
REMODEL AND ADDITION

SEASIDE, CA 93955

APN: 012-324-004

1253 SOTO ST.

REVISIONS:

12-27-19	PLANNING REQUEST
01-21-20	LOT SIZE REVISION

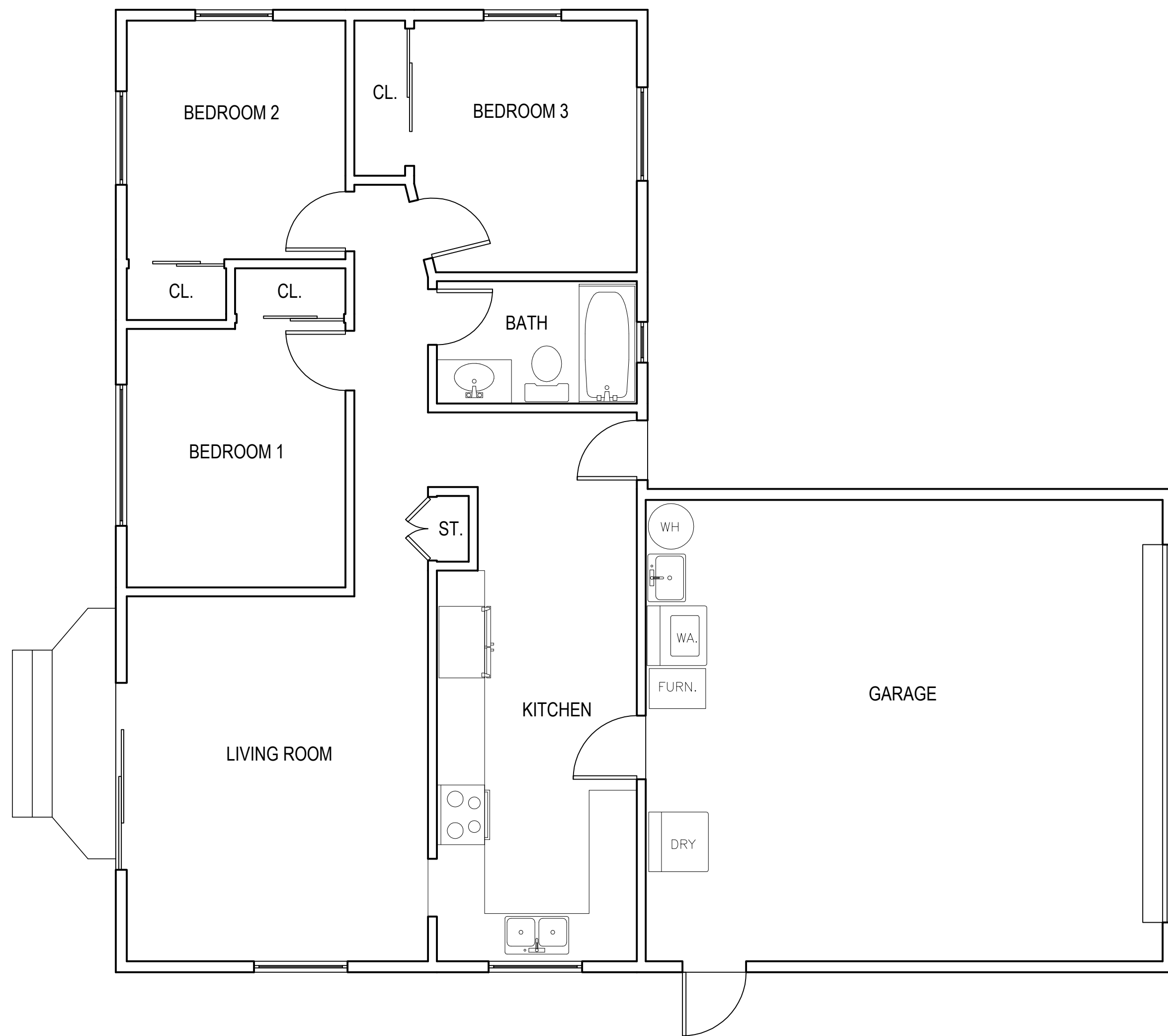
SITE PLAN

DATE: 11-11-19

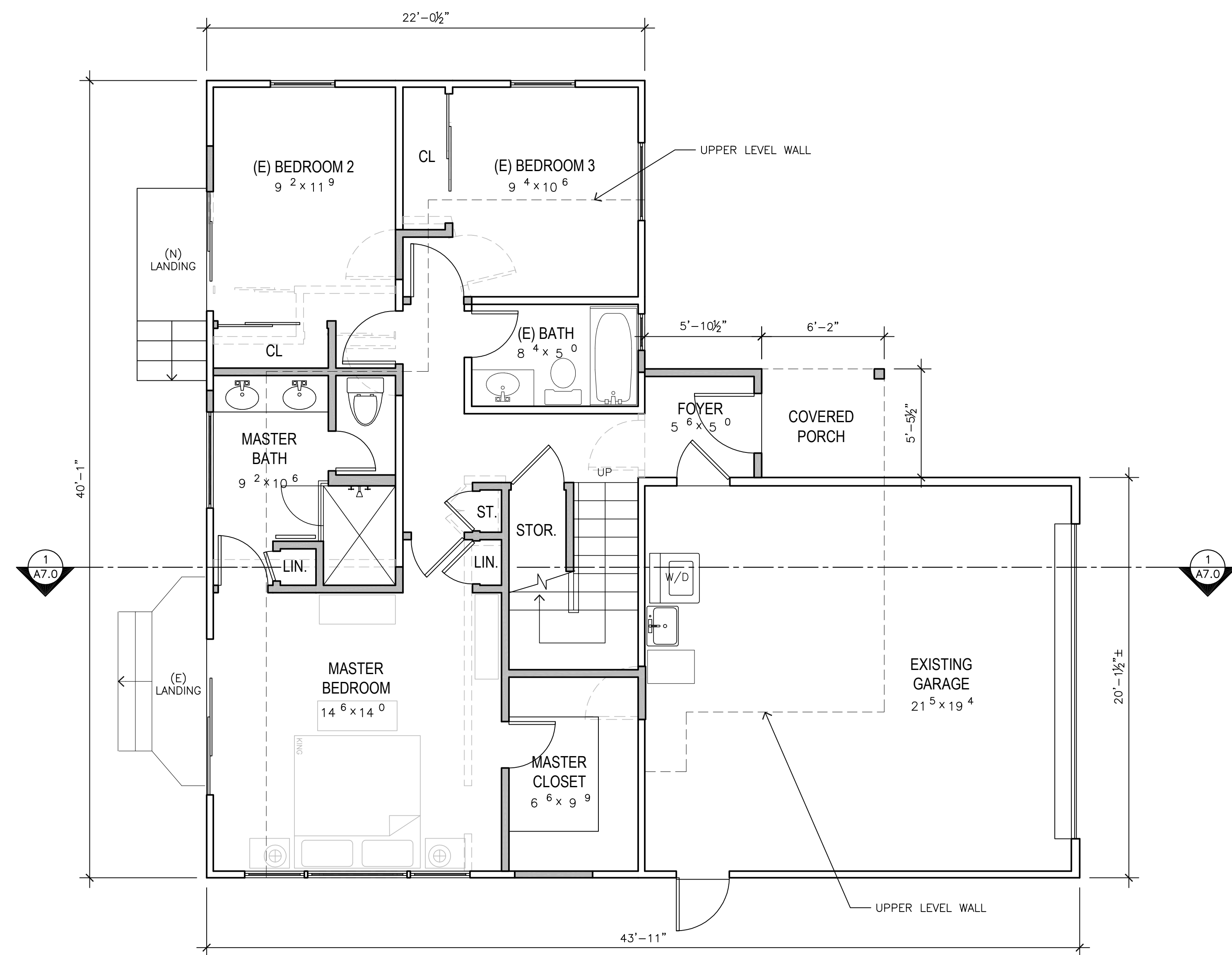
DESIGN APPROVAL

SHEET NO.

A1.0

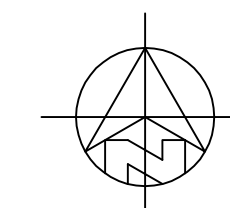


EXISTING FLOOR PLAN 1/4"=1'-0"



- WALL LEGEND**
- 2X EXISTING WALL TO REMAIN
 - (E) DOOR OR WINDOW TO BE REMOVED
 - 2X EXISTING WALL TO BE REMOVED
 - 2X NEW STUD FRAMED WALL

0' 1' 2' 5' 10'



PROPOSED MAIN LEVEL FLOOR PLAN 1/4"=1'-0"



ANATOLY OSTRETSOV
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MONTEREY, CA 93942
(831) 682-1331

THE MATTHAMS RESIDENCE REMODEL AND ADDITION

APN: 012-324-004

1253 SOTO ST.

REVISIONS:	
12-27-19	PLANNING REQUEST
01-21-20	LOT SIZE REVISION

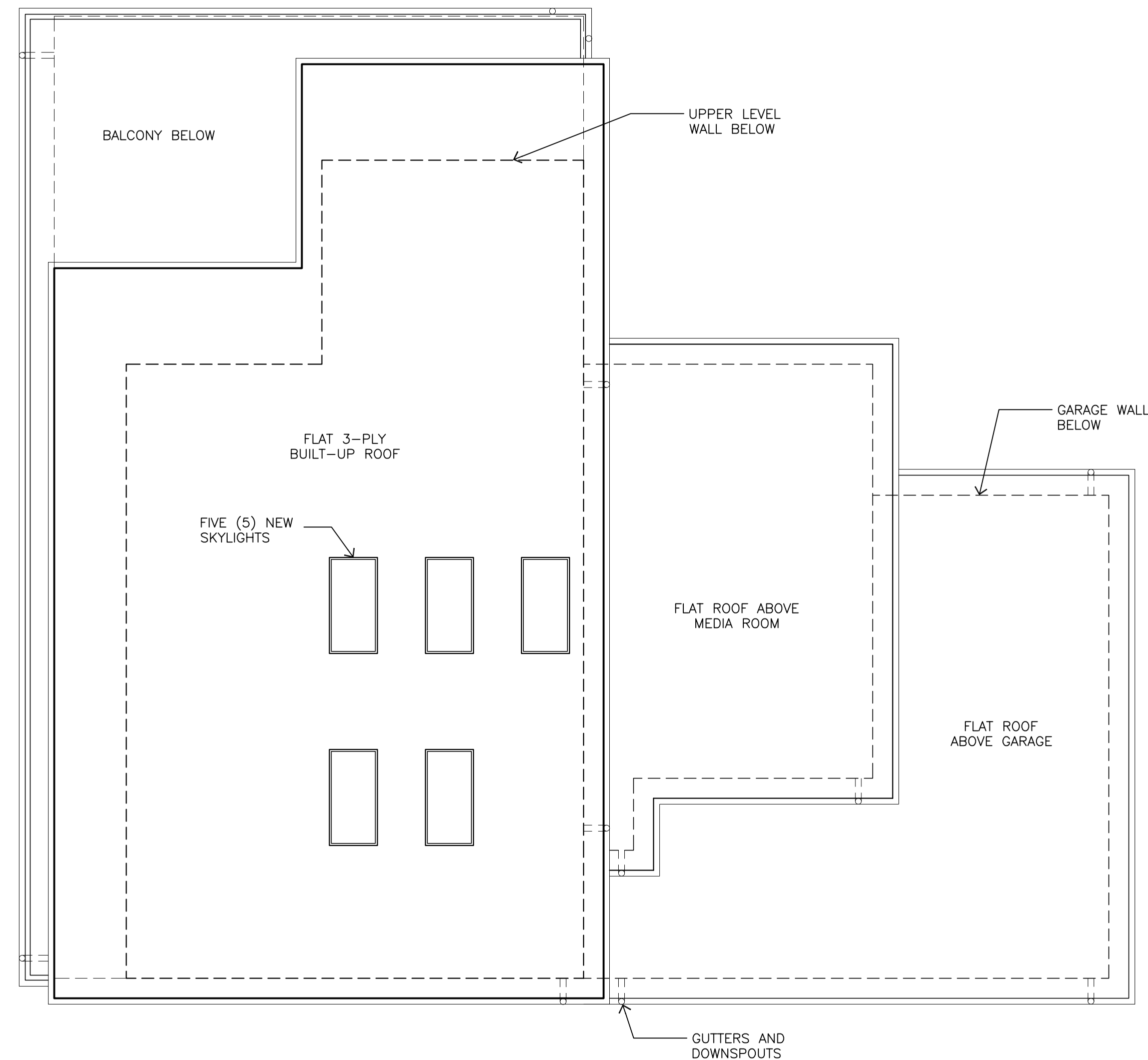
MAIN LEVEL
FLOOR PLAN

DATE: 11-11-19

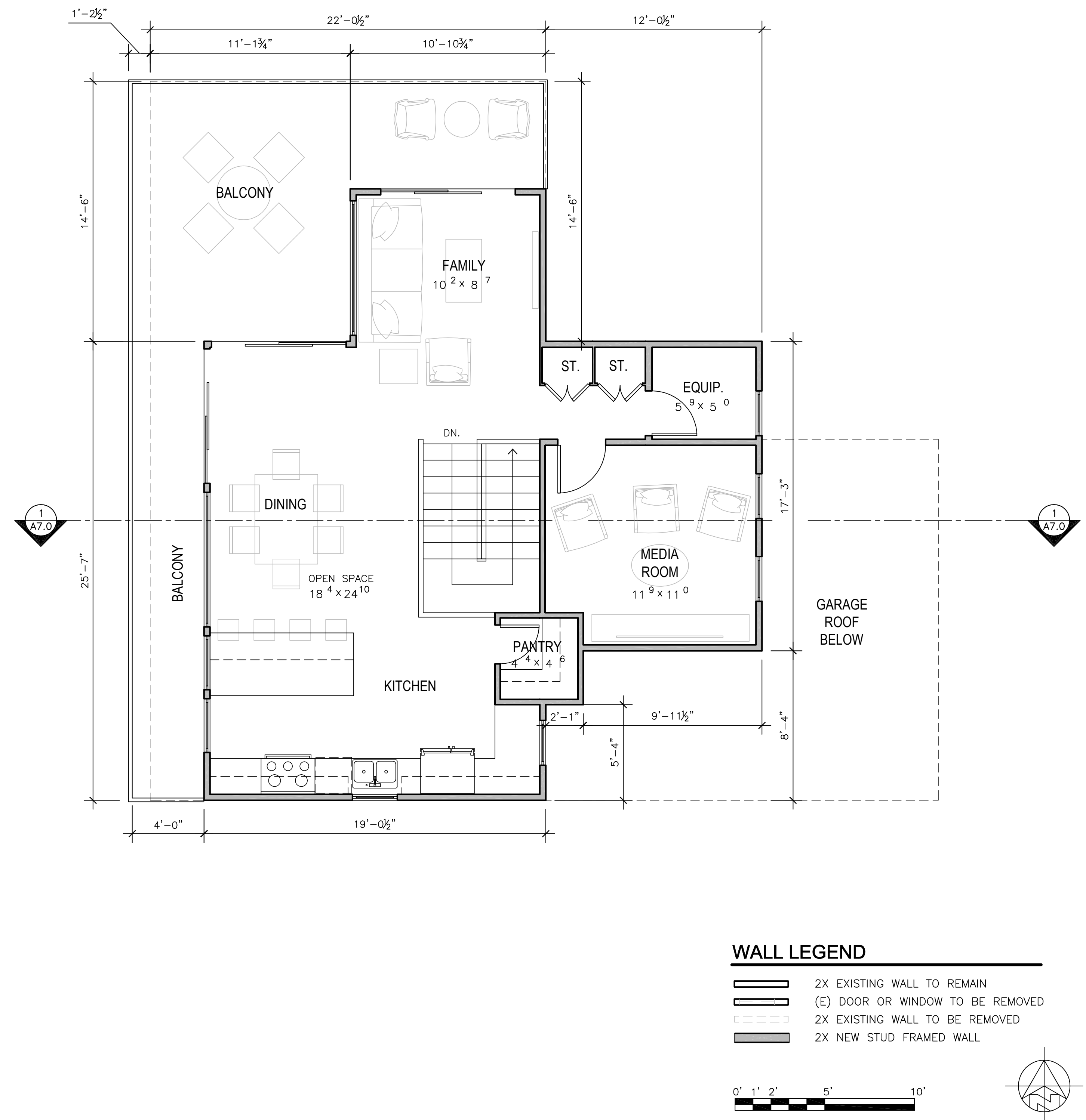
DESIGN APPROVAL

SHEET NO.

A2.0



PROPOSED ROOF PLAN 1/4"=1'-0"



PROPOSED UPPER LEVEL FLOOR PLAN 1/4"=1'-0"



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THE MATTHAMS RESIDENCE REMODEL AND ADDITION

SEASIDE, CA 93955

APN: 012-324-004

1253 SOTO ST.

REVISIONS:	
12-27-19	PLANNING REQUEST
01-21-20	LOT SIZE REVISION

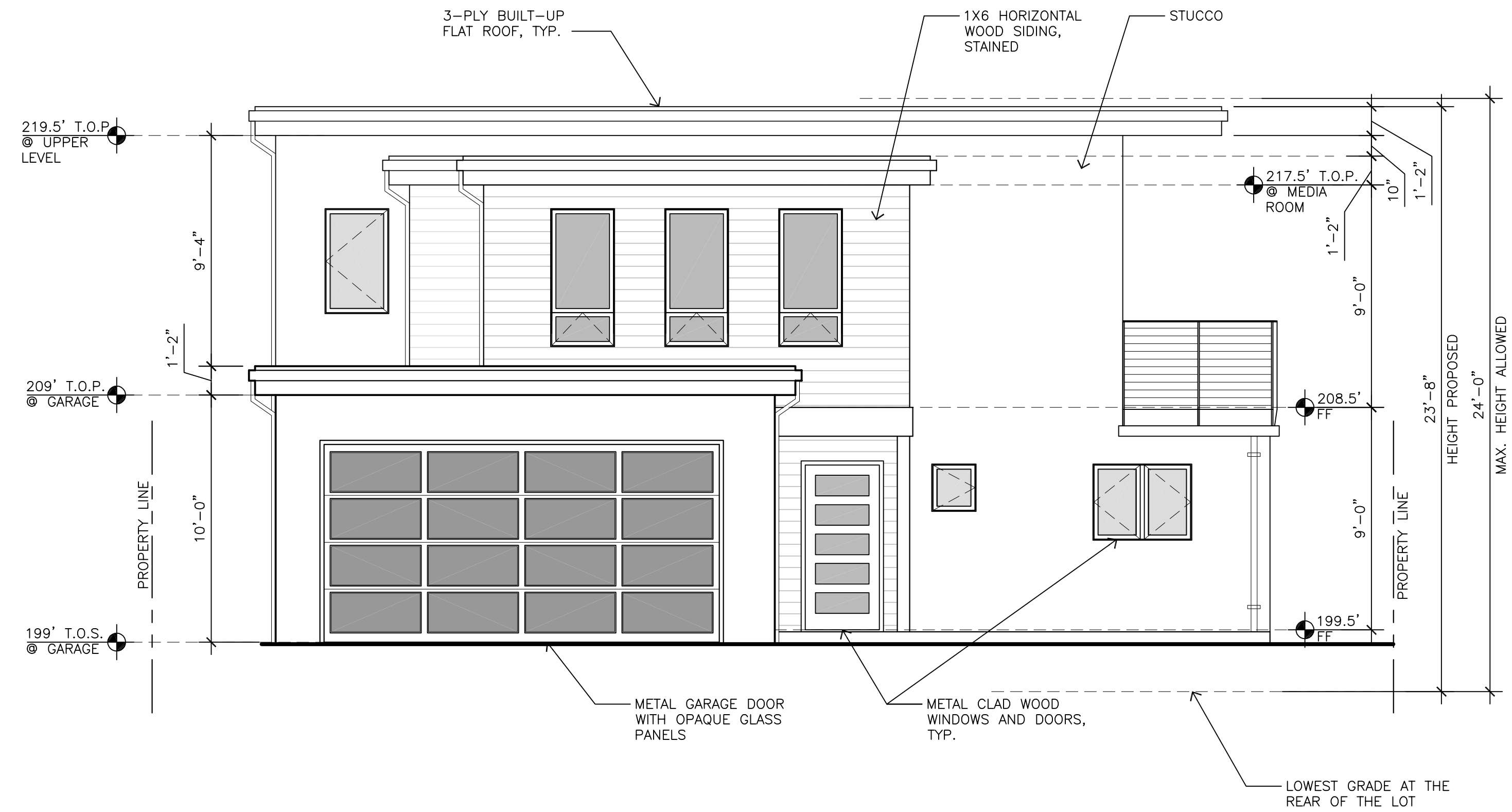
UPPER FLOOR PLAN
ROOF PLAN

DATE: 11-11-19

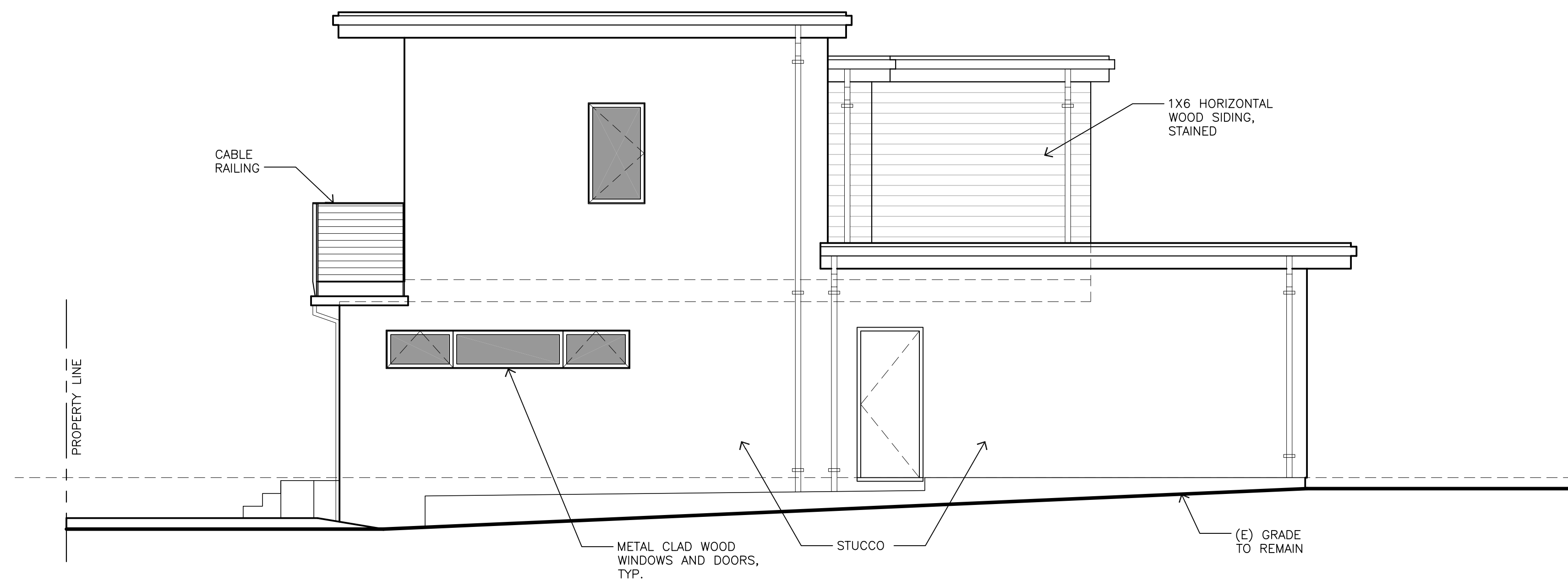
DESIGN APPROVAL

SHEET NO.

A2.1



EAST (FRONT) ELEVATION 1/4"=1'-0"



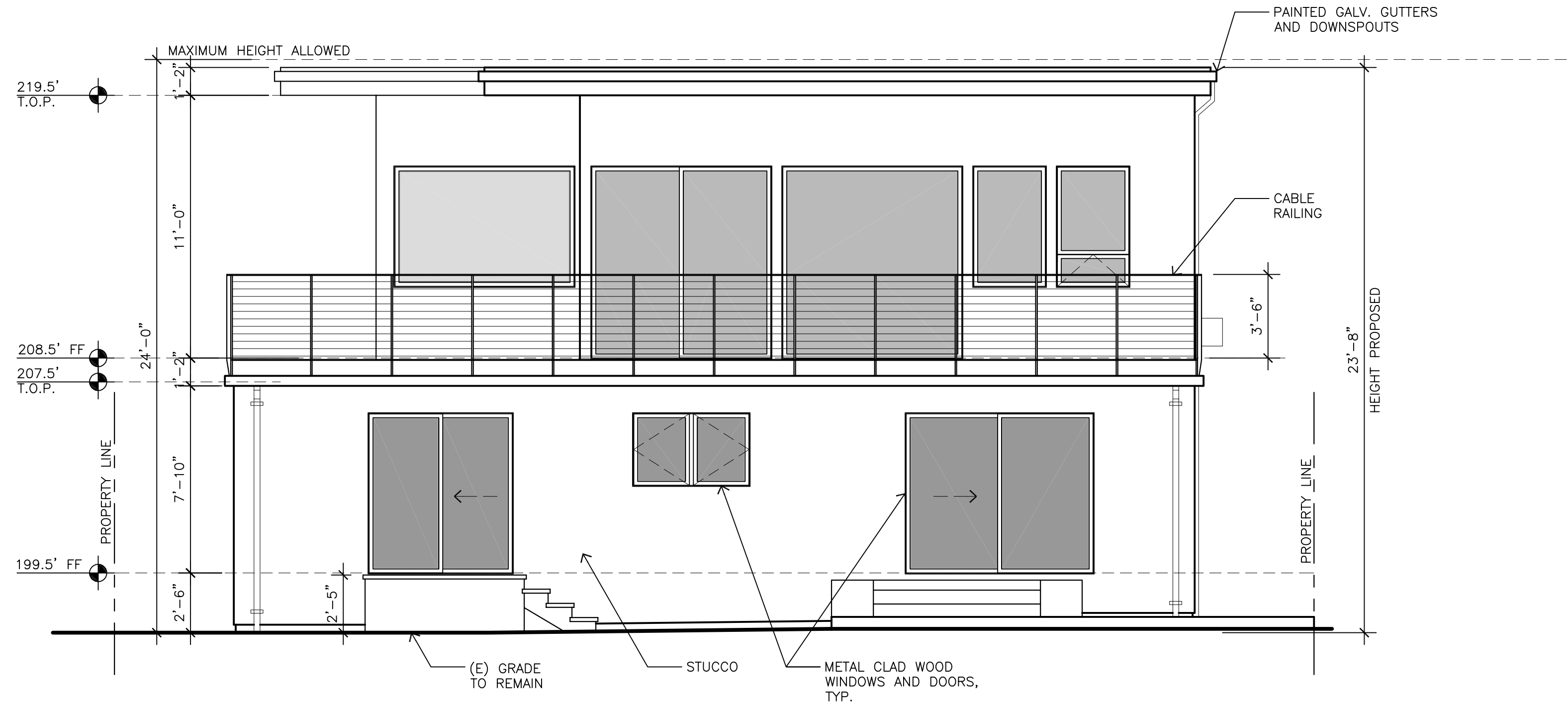
SOUTH ELEVATION 1/4"=1'-0"

REVISIONS:
12-27-19 PLANNING REQUEST
01-21-20 LOT SIZE REVISION

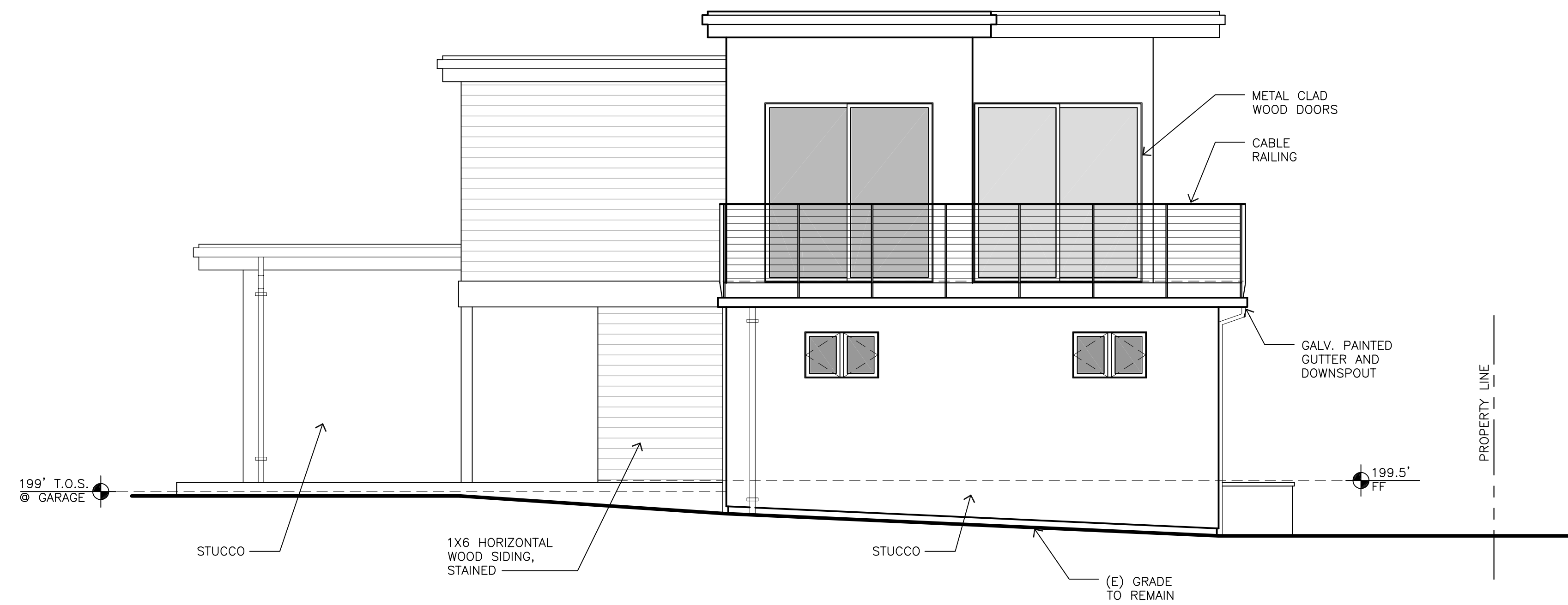
EXTERIOR
ELEVATIONS

DATE: 11-11-19
DESIGN APPROVAL

SHEET NO.
A6.0



WEST (REAR) ELEVATION 1/4"=1'-0"



NORTH ELEVATION 1/4"=1'-0"



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1253 SOTO ST.

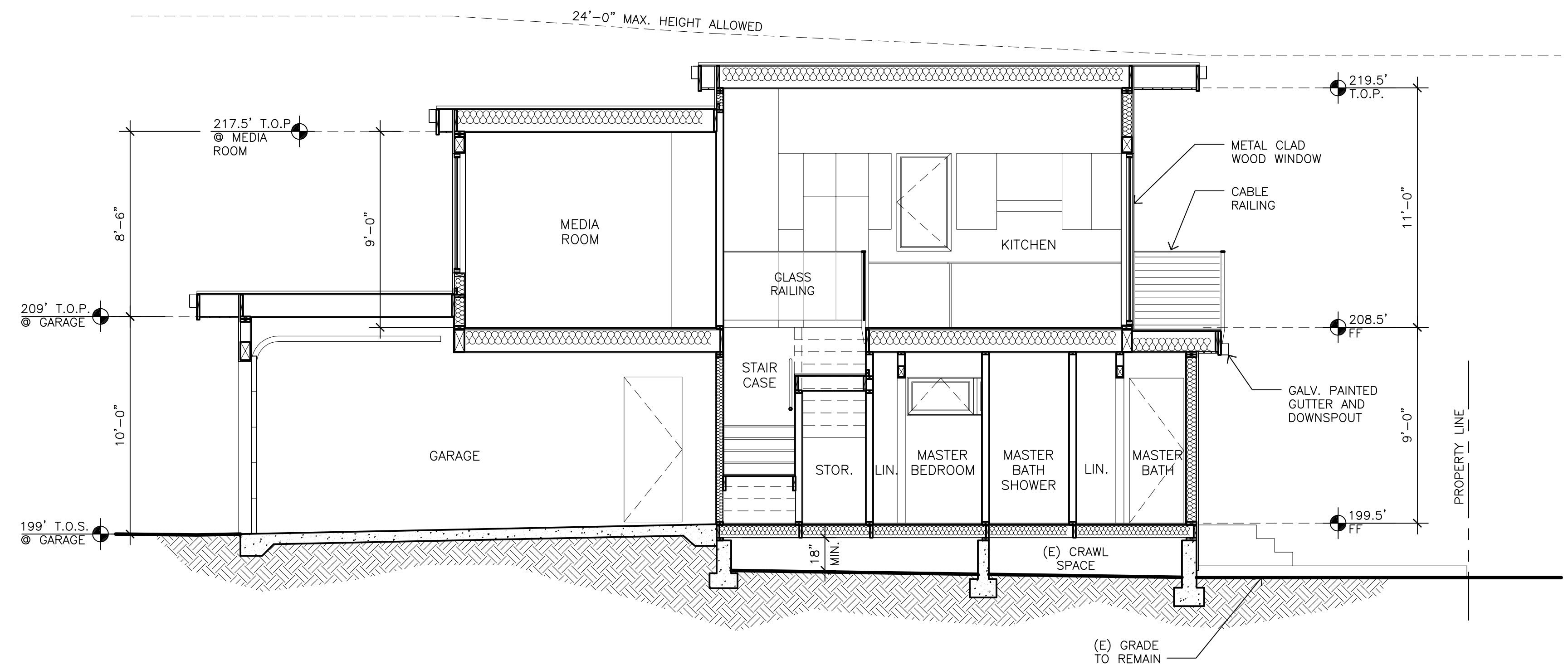
REVISIONS:	
12-27-19	PLANNING REQUEST
01-21-20	LOT SIZE REVISION

EXTERIOR
ELEVATIONS

DATE: 11-11-19
DESIGN APPROVAL

SHEET NO.
A6.1

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SECTION A-A

1/4"=1'-0"



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THE MATTHAMS RESIDENCE REMODEL AND ADDITION

SEASIDE, CA 93955

APN: 012-324-004

1253 SOTO ST.

REVISIONS:	
12-27-19	PLANNING REQUEST
01-21-20	LOT SIZE REVISION

BUILDING
SECTIONS

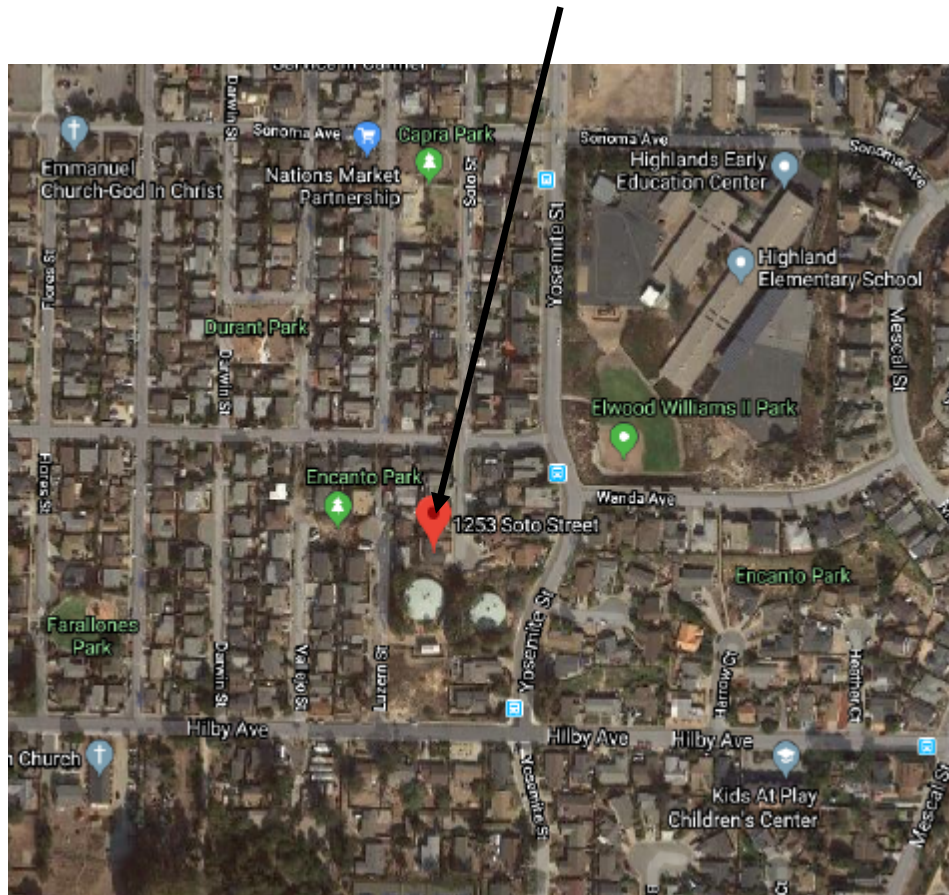
DATE: 11-11-19
DESIGN APPROVAL

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Attachment 2

Project Site: 1253 Soto Street



Attachment 3

Site Photos



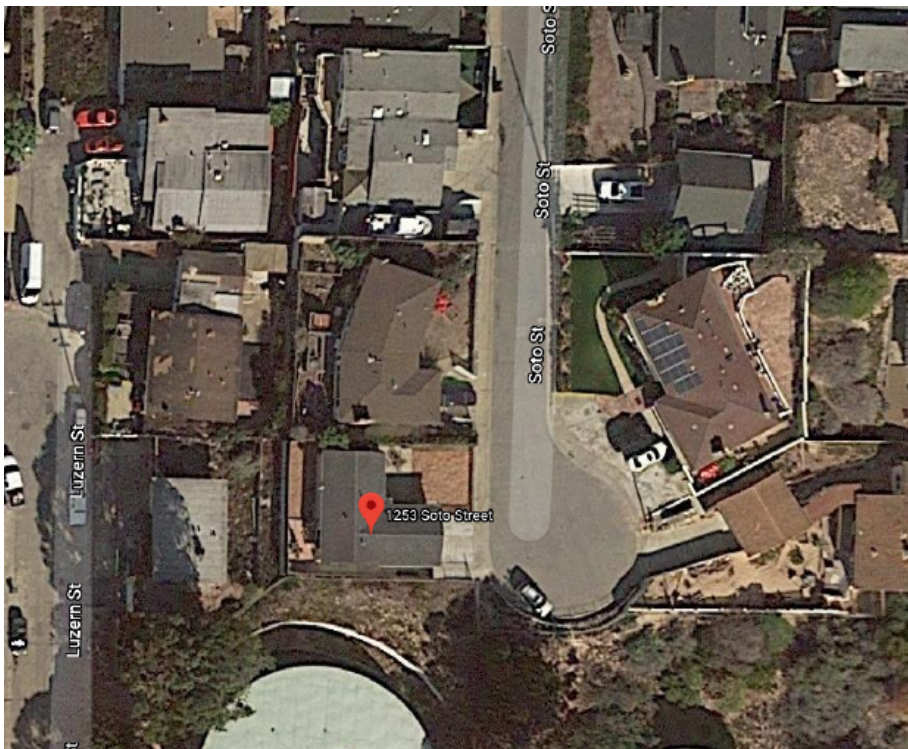
Front Façade looking west



North façade looking South



Front facade looking Southwest



**Project
Site**

+

City of Seaside Single Family Residential Design Guidelines



INTRODUCTION

Design guidelines serve a valuable role in the architectural review process by communicating a city's expectations through clear design statements, photographs, specific examples, and supportive graphics. In practice, design guidelines encourage improved design, create design consensus, and promote a consistent level of quality throughout the city. Design guidelines represent a minimum level of expected quality and design, and many proposals will far exceed these standards, as the range of design excellence is limitless.

PURPOSE

The purpose of this document is to assist staff, the public and decision-makers through the architectural review process by clearly defining the City of Seaside's expectations for design quality, use of materials, and architectural imagery. It is the goal of these design guidelines to continually refine the concept of "good design" and to improve the design of homes, neighborhoods, and the greater community of Seaside.

ACCEPTANCE

BOARD OF ARCHITECTURAL REVIEW MEMBERS

Ken Rudisill, Chairman
Kathleen Ventimiglia, Vice-Chair
Cynthia Spellacy
Mitsugu Mori
Paul Mugan

ACCEPTED JULY 6, 2005

APPLICABILITY

These design guidelines apply to all new single-family residences and to additions or exterior modifications to existing single-family residences in the City of Seaside.

BOARD OF ARCHITECTURAL REVIEW

In cases where a formal review before the Board of Architectural Review (BAR) is required, the BAR will utilize these design guidelines in their review of the project.

SEASIDE GENERAL PLAN

Single-Family Residential Design Guidelines are required by specific policies and implementation plans contained in the Seaside General Plan. These policies and plans are as follows:

Land Use Policy LU-3.2: Improve the physical appearance of residential neighborhoods.

Implementation Plan LU-3.2.5 *Design Guidelines for Residential Development.* Adopt and implement Design Guidelines for residential development.

Urban Design Policy UD-2.1: Protect the character of single-family neighborhoods by restricting out-of-scale buildings, incompatible uses and designs, blocked views and/or access to sunlight, and excessive through traffic.

Implementation Plan UD-2.1.1 *Design Standards in Zoning Ordinance.* Adopt design standards in the Seaside Zoning Ordinance to establish the scale of building, guidelines for quality design in new construction, building additions, and redevelopment, procedures to protect existing private views and access to sunlight as much as possible while at the same time allowing others the opportunity to enjoy the magnificent views from Seaside.

CONTENTS

SITE PLANNING_____1

MASS AND SCALE_____5

ARCHITECTURAL FEATURES_____7

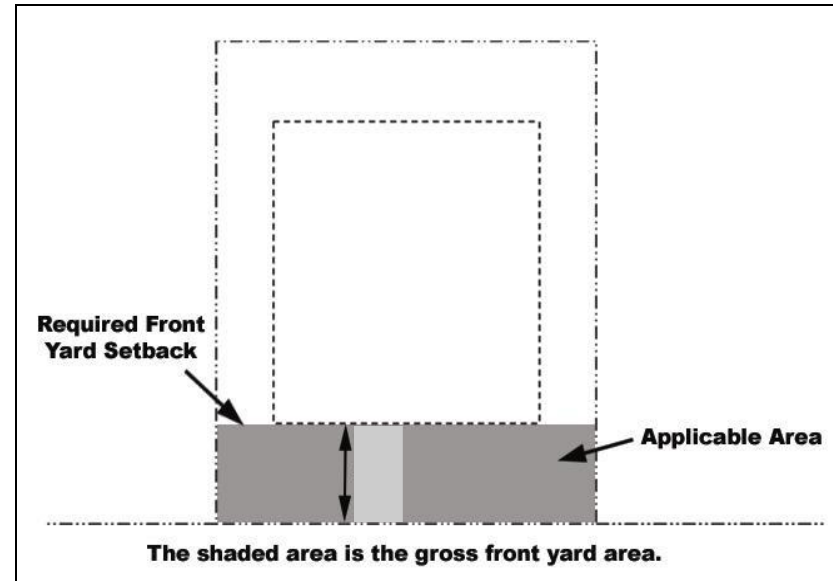
I. SITE PLANNING

A. Front Yard Coverage, Landscape and Hardscape

Neighborhood character can be enhanced by minimizing paved surfaces in front yards and maintaining landscaped areas. The front yard should serve as a buffer between the street and the home, providing a visual break and an improved streetscape. A neighborhood with well-maintained front yards will better preserve its value and will remain more appealing. Increased landscaping softens the appearance of a neighborhood, improves neighborhood aesthetics, provides habitat for birds, butterflies, and other wildlife, and creates a more desirable environment.

Front yard landscaping need not include turf, lawn or other water-intensive plants. Drought-tolerant and low water usage plants can be artfully installed to create an attractive appearance.

Limiting paved surfaces also provides environmental benefits by reducing water run-off, improving water percolation, facilitating on-site drainage and retention, and discouraging inappropriate vehicle parking and storage.



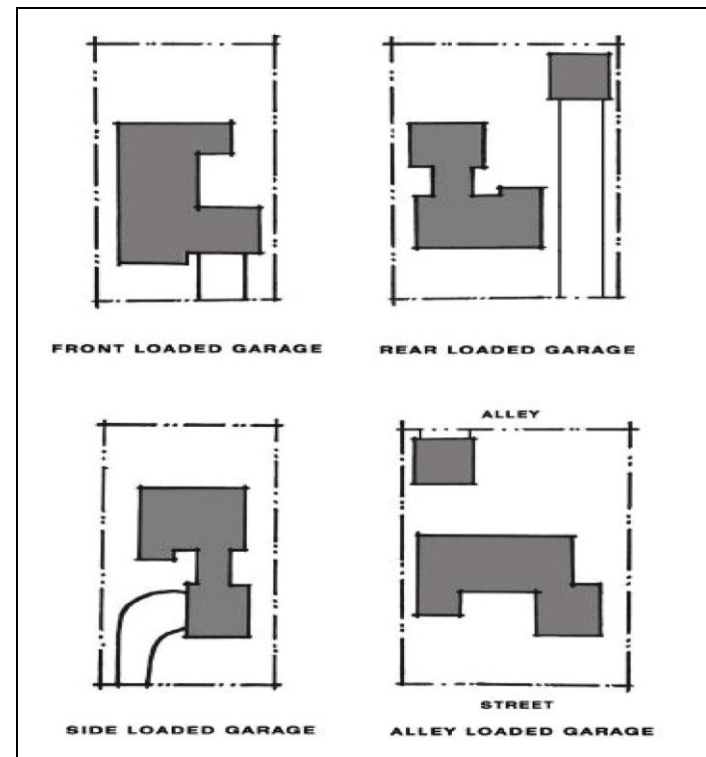
- i. Front yard lot coverage includes all paved surfaces: the driveway, parking areas, walkways, patios, and all other impervious surfaces. On lots narrower than 50 feet, the front yard lot coverage should not exceed 65% of the total front yard area. On wider lots, the front yard lot coverage should not exceed 50%.
- ii. Front yard patios should not be located closer than 5 feet from the sidewalk, adjacent properties or the house.
- iii. Entry walkways should extend to the sidewalk, rather than the driveway.

- iv. Landscaping should be used to frame, soften and embellish a home.
- v. Gravel, lava rock, and similar materials are discouraged when not used in conjunction with other landscaping.
- vi. Drought tolerant, salt and wind-resistant, and native plants should be used in landscaping. A list of drought tolerant plants recommended for Seaside is included as Appendix “A”.
- vii. Street trees should be installed in front yards to create a consistent and harmonious canopy.

B. Garage Placement

Street frontages dominated by front-loaded garages are detrimental to the sense of a people-friendly and pedestrian-oriented neighborhood. The following guidelines are intended to reduce the impacts of garages on the character of the neighborhood.

- i. Garage design and placement should diminish the visual impact of garage doors on street frontages. Garage doors should contain windows and/or additional architectural detailing.
- ii. Detached rear garages and alley-accessed garages are encouraged.



- iii. Side-accessed garages are encouraged to diminish the visual impact of the garage along street frontages.

- iv. Covered parking should be designed to minimize its visual impact by placing access to the side or rear wherever physically possible.



“Detached rear garages and alley-loaded garages are encouraged”

- v. Three-car front facing garages are discouraged where the lot width is less than 55 feet. Where three-car front facing garages are permitted, at least one garage door should be recessed a minimum of 5 feet beyond another garage door and permeable materials should be used at least on the portion of the driveway providing access to the recessed garage space.

- vi. On through-lots (lots having frontage on two parallel or approximately parallel streets), garage access should be provided from the street abutting the property line to the rear of the house.

C. Driveways

- i. Adequate space should be provided between two adjacent driveways to allow for landscaping. A minimum 18-inch wide planter should be provided where feasible between the side property line and the driveway.
- ii. New driveways should contain special design features to minimize their visual impact. The use of “wheel well”, “Bermuda” or “Hollywood” driveways, exposed aggregate, concrete pavers, soft materials such as turf blocks, or other special design features should be used to reduce the “hard” visual impact.
- iii. Driveways on corner lots should be located as far as possible from street intersections.
- iv. Where curb cuts are necessary, minimizing curb cut widths is encouraged. Driveway widths should be kept to a minimum to lessen the appearance of bulk and mass.

- v. No more than one curb cut per residential lot should be permitted along the same street frontage.
- vi. The use of alternative materials in place of asphalt or concrete to pave driveways is encouraged to reduce impervious surface

D. Walls, Fences, and Screening

- i. Walls and fences should be attractive and complement the style and character of the homes and the neighborhood.
- ii. Front yard fencing should be harmonious with the architectural style of the house. Solid walls over 36 inches in height are strongly discouraged in the front yard. Particular attention should be given to maintaining visibility for safety purposes on the portion of a corner lot abutting a street intersection.
- iii. Walls should be made of decorative masonry, wood, or a combination of both. Chain link or industrial fencing is strongly discouraged and should not be used in the front yard setback or on portions of a lot visible from a public right-of-way.



"Walls and fences should be designed in such a manner as to create an attractive appearance to the street and to compliment the style and character of the homes and the neighborhood"

- iv. Side or rear walls that face a street or sidewalk should contain features that break up long continuous walls (greater than 50') and to soften their appearance through changes in height, setback and vegetation.
- iv. Gates should be provided in walls or fences located in the front yard setback to facilitate convenient access by residents and visitors.
- v. Garbage areas should be screened by fences, and/or walls, that are compatible with other landscape or architectural features.

II. MASS AND SCALE

A. General

The following guidelines will ensure that the mass and scale of new homes and additions to existing homes are compatible with the surrounding neighborhood.

- i. The physical size and mass of the project should be proportional to the lot size.
- ii. The overall design of buildings should be compatible with the scale and mass of surrounding properties.
- iii. Architectural elements should be designed to eliminate the appearance of box-like buildings.
- iv. The scale and mass of new infill buildings should be reduced by stepping down the building height toward the street and adjacent smaller structures.



Inappropriate Usage of Mass and Scale.



Appropriate Usage of Mass and Scale.



Appropriate Usage of Mass and Scale.



Setback upper story where adjacent to one story building to create an appropriate transition.

B. Building Height and Second Story Decks

- i. Entries and massing of stories should be in proportion to the building façade as a whole. High-ceiling single-story areas may be permitted within the building if the building wall of the front elevation is not excessively tall.
- ii. Second Story or Roof Decks:
 - a. Should fit the existing architectural style;
 - b. Should be oriented away from neighbors' yards as much as possible;
 - c. Should use appropriate screening measures to reduce privacy invasion (i.e. solid railing walls, latticework and landscaping).
 - d. Spas, hot tubs and similar equipment are discouraged over the first floor, on balconies or second story or roof decks if visible from adjacent properties.

C. Second Story Setbacks

- i. The second story front setback should average 5 feet more than the first floor setback.
- ii. The second story side setback should average 3 feet more than the first floor setback.



"The second story front setback should average 5 feet more than the first floor setback."

- iii. For some architectural styles (i.e. Colonial Revival) it may not be appropriate to step back the second floor or in some cases it may not be reasonably feasible for additions to existing homes. A significant second story setback may not be necessary where the home is significantly set back from the street.

III. Architectural Features

The following guidelines encourage high quality design to enhance the character of residential neighborhoods. It is not the intent of these guidelines to promote any particular architectural style or to preclude creative design solutions that produce quality design.

A. General

- i. There is no specific architectural style required for residential structures in Seaside. Architecture should consider compatibility, as appropriate, with surrounding homes, including building style, form, size, material, and roofline.
- ii. The design of a new home, or addition, should commit to a specific architectural “style”, rather than combine various architectural styles and elements or create non-descript structures. This “style” should be clearly communicated and reinforced consistently throughout the house and accessory structures, including detached garages, carports, etc.
- iii. The exterior siding, roof articulation, windows and doors, and overall design of new

construction should be harmonious within the proposed architectural style.

- iv. The exterior treatment and overall design of additions to existing homes should respect the features and materials of the original structure, as appropriate.
- v. To the extent feasible, the architectural character established for the street facing elevations should continue on all elevations.
- vi. Features such as windows, doors, cornice elements, etc. should create a rhythmic composition, taking into consideration compatibility of scale, style and proportion. These elements should be detailed to provide modulation, visual interest, and textured relief.
- vii. The boundary between each floor of the dwelling structure should be delineated through belt courses, cornice lines, balconies, or similar architectural detailing.
- viii. The patterns of windows and doors should reflect the scale and patterns in the neighborhood.

- ix. Building features should reinforce and enhance the architectural form and style of the house. Dormers, bay windows, porches, balconies, entrance projections, etc. add interest to the design of the home. However, features such as large bay windows should not project into side setbacks, except on the street-facing side of a corner lot.
- x. Long unarticulated exterior walls are discouraged on all structures. Massing offsets, varied textures, openings, recesses, and design accents are encouraged to enhance the walls.

B. Front Porches and Entries

- i. Front porches, back porches and/or decks, which permit casual observation of alleys and streets, are encouraged.
- ii. Front porches should create an attractive interface with semi-public front yard areas. Front porches should have a minimum depth of 6 feet and a minimum width of 10 feet.



“Front porches should create an attractive interface with semi-public front yard areas.”

- iii. The primary entry and windows should be the dominant elements of the front façade, should face the street to provide pedestrian scale and should be clearly articulated through architectural detailing.

C. Roof Articulation

The roof design plays an important role in the sense of mass and scale of the building and in the architectural integrity of the building as a whole. The roof pitch and orientation also impact the transition between neighboring buildings.

- i. New roof designs should be compatible with the existing neighborhood character, such as type, slope, size and materials, and color.



“The use of traditional roof forms such as gables, hips, and dormers are encouraged”

- ii. The use of traditional roof forms such as gables, hips, and dormers are encouraged. The use of “foreign” residential roof forms, such as geodesic domes, “A” frames and flat roofs are strongly discouraged.

- iii. Roof forms should be consistent on all sides of the house and garage. All roofs should have a similar pitch except for the limited use of flat roof.
- iv. Avoid box-like appearance through variation in the roofline and building elevations.



“Avoid box-like appearance through variation in the roofline and building elevations”

- v. Vary roof lines through changes in height and form to break up massing. Long, single-ridge rooflines (over 30 feet long) are discouraged.
- vi. The style and form of roof additions to existing buildings should be compatible, as appropriate, with the existing roof style and form, and the style, materials, and pitch

should be taken into consideration when designing a roof addition.

D. Materials

The overall pattern, texture, and color of materials have significant effect on the scale, style and character of the building. The following guidelines should be referred to when selecting materials.

- i. Consistent and harmonious use of high quality, durable materials is encouraged. Piecemeal embellishment and frequent changes in material is discouraged.
- ii. Architectural detail should be comparable on all elevations, rather than concentrated on the front elevation.
- iii. Materials should complement the surrounding properties.
- iv. Materials should be of good quality and durable. “T-1-11” and similar sheet siding is discouraged.
- v. Environmentally-sound, or “green” building materials are encouraged and additional design consideration may be offered to accommodate solar panels, recycled materials, or other green products.
- vi. Materials should be consistent with architectural style of the building. For example, “Spanish” detail is consistent with stucco buildings with mission tile roofs.

DROUGHT TOLERANT PLANTS

Trees

Botanical Name	Common Name
Adenostema sparsifolium	Red Shanks
Aesculus californica	California Buckeye
Agonis flexuosa	Peppermint Tree
Arbutus menziesii	Madrone
Casuarina stricta	Beefwood
Ceanothus arboreus	Felt-leaf Ceanothus
Ceanothus thrysiflorus	Blue Blossom
Cedrus deodara	Deodar Cedar
Cercis occidentalis	Western Redbud
Comarostaphylis diversifolia	Mountain Mahogany
Cypressus gowenia	Gowen's Cypress
Geijera parviflora	Australian Willow
Hakea laurina	Sea Urchin
Laurus nobilis	Grecian Laurel
Lithocarpus densiflora	Tanbark Oak
Olea europaea	Olive
Parkinsonia aculeata	Jerusalem Thorn
Pinus radiata	Monterey Pine
Pittosporum crassifolium	Karo Tree
Quercus agrifolia	Coast Live Oak
Robinia species	Locust
Schinus molle	California Pepper
Umbellularia californica	California Bay

Small Shrubs

Botanical Name	Common Name
Artemesia californica	California Sagebrush
Calocephalus brownii	Cushion Bush
Castilleja latifolia	Monterey Paintbrush

Ceratostigmata willmottianum	Chinese Plumbago
Cistus villosus 'prostratus'	Sageleaf Rockrose
Correa alba	Australian Fuchsia
Eriophyllum confertiflorum	Golden Yarrow
Eriophyllum staechadifolium	Lizard Tail
Eryops hybrid	Yellow Bush Daisy
Gautheria shallon	Salal
Juniperus conferta	Shore Juniper
Kniphofia uvaria	Red Hot Poker
Leonotis leonurus	Lion's Tale
Myrtus specia	Myrtle
Ribes viburniflorum	Catalina Currant
Rosmarinus officinalis	Rosemary
Salvia species	Sage
Santolina Chamaecyparissus	Lavender Cotton
Sollya heterophylla	Australian Bluebell Creeper
Symphoricarpos alba	Snowberry
Teucrium fruticans	Bush Germander
Trichostema lanatum	Woolly Blue Curles
Westringia rosmariniformis	Westringia
Zauschneria californica	Red California Fuchsia

Large Shrubs

Botanical Name	Common Name
Acacia species	Acacia
Adenostema fasciculatum	Chamise
Arctostaphylos densiflora	Vinehill Manzanita
Atriplex lentiformis 'breweri'	Brewer Saltbrush
Berberis darwinii	Darwin Barberry
Carissa grandiflora	Natal Plum
Catha edulis	Khat
Ceanothus 'Frosty Blue'	

APPENDIX "A"

Ceanothus impressus	Santa Barbara Ceanothus
Ceanothus thrysiflorus	Blue Blossom
Cercis occidentalis	Western Redbud
Cistus purpureus	Orchid Spot Rockrose
Comarostaphylis diversifolia	Mountain Mahogany
Cottoneaster lacteus	Red Clusterberry
Dendromecon harfordii	Island Bush Poppy
Dendromecon rigida	Bush Poppy
Dodonaea viscosa	Hopseed Bush
Echium fastuosum	Pride of Madeira
Eleagnus pungens	Silverberry
Fremontodendron californica	Flannel Bush
Hakea suaveolens	Sweet Hakea
Heteromeles arbutifolia	Toyon
Lavatera assurgentifolia	Tree Mallow
Leptospermum laevigatum	Australian Tea Tree
Leptospermum scoparium	New Zealand Tea Tree
Lupinus arboreus	Yellow Bush Lupine
Lupinus chamissonis	Purple Bush Lupine
Myrsine africana	African Boxwood
Nandina domestica	Heavenly Bamboo
Nerium oleander	Oleander
Ochna serrulata	Bird's Eye Bush
Phormium tenax	New Zealand Flax
Pittosporum tenuifolium	Pittosporum
Prunus illicifolia	Holly-Leaf Cherry
Prunus lyonii	Catalina Cherry
Psidium littorale	Lemon or Strawberry Guava
Rhamnus alaternus	Italian Buckthorn
Rhamnus californica	Coffeeberry

<i>Large Shrubs (continued)</i>	
Botanical Name	Common Name
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Rosa rugosa	Ramanas Rose
Vaccinium ovatum	Evergreen Huckleberry
Xylosma congestum	Xylosma

Groundcovers

Botanical Name	Common Name
Abronia latifolia	Yellow Sand Verbena
Abronia umbellatum	Pink Sand Verbena
Arctostaphylos edmundsii	Little Sur Manzanita
Arctostaphylos pumila	Dune Manzanita
Arctotheca calledula	Capeweed
Arctotis hybrids	African Daisy
Armeria maritima	Sea Pink/Thrift
Artemesia pycnocephala	Sandhill Sage
Asparagus sprengeri	Sprenger Asparagus
Atriplex semibaccata	Australian Saltbrush
Baccharis pilularis	Dwarf Coyote Brush
Camissonia cheiranthifolia	Beach Primrose
Ceanothus giseus	Ceanothus
Convolvus mauritanicus	Ground Morning Glory
Erysimum ammodendrum	Coast Wall Flower
Fragaria chiloensis	Beach Strawberry
Gazania species	Gazania
Helianthemum nummularium	Sunrose
Latana montevidensis	Lantana
Lotus scoparius	Deerweed
Mahonia repens	Creeping Mahonia

Oenothera berlandieri	Mexican Evening Primrose
Osteospermum fruticosum	Highway Daisy
Ribes viburnifolium	Red Flowering Currant
Rosmarinus officinalis 'prostratus'	Creeping Rosemary

Perennials

Botanical Name	Common Name
Achillea species	Yarrow
Aeonium species	Canary Island Rose
Aloe species	Aloe
Artemesia pycnocephala	Sandhill Sage
Centaurea cineraria	Dusty Miller
Centranthus ruber	Red Valerian
Cerastium tomentosum	Snow-in-Summer
Coreopsis species	Coreopsis
Dudleya caespitosa	Bluff Lettuce
Eschscholzia californica	California Poppy
Gaillardia grandiflora	Blanket Flower
Limonium perezii	Sea Lavender
Perovskia 'Blue Spire'	Russian Sage
Phormium tenax	New Zealand Flax
Romneya coulteri	Matilija Poppy
Salvia species	Sage
Sisyrinchium bellum	Blue-eyed Grass
Trichostema lanatum	Woolly Blue Curls

Bulbs

Botanical Name	Common Name
Amarillis belladonna	Naked Lily
Crocasmia crocosmiiflora	Montbretia
Hemerocallis	Daylily

APPENDIX “A”

Ipheion uniflorum	Spring Starflower
Iris douglasiana	Pacific Coast Iris
Narcissus	Daffodil
Tulipa clusina	Lady Tulip
Zantedeschia aethiopica	Calla Lily

Vines

Botanical Name	Common Name
Bougainvillea	Bougainvillea
Campsis radicans	Trumpet Creeper
Cissus antarctica	Kangaroo Treebine
Ipomoea acuminata	Blue Dawn Flower
Muehlenbeckia complexa	Matress Vine
Polygonum aberti	Silver Lace Vine
Rosa 'Cecile Brunner'	Sweetheart Rose
Rosa banksiae	Lady Bank's Rose
Solandra maxima	Cup of Gold Vine
Tecomaria capensis	Cape Honeysuckle
Wisteria species	Wisteria

Ornamental Grasses

Botanical Name	Common Name
Deschampsia caespitosa	Tufted Hairgrass
Deschampsia holciformis	Pacific Hairgrass
Elymus arenarius 'Glaucus'	Blue Lyme Grass
Festuca californica	California Fescue
Muhlenbergia dumosa	Bamboo Muhly
Muhlenbergia rigens	Deer Grass
Pennisetum species	Fountain Grass
Stipa gigantea	Giant Feather Grass
Stipa pulchra	Purple Needle Grass
Stipa tenuissima	Mexican Feather Grass



CITY OF SEASIDE STAFF REPORT

Item No.: 7.B.

TO: Board of Architectural Review

BY: Rick Medina, Senior Planner

DATE: March 4, 2020

SUBJECT: MASTER SIGN PROGRAM No.MSP-20-01: CYPRESS COAST AUTMOTIVE GROUP, PROPERTY OWNER, AND NORTHWEST SIGNS, APPLICANT, ARE REQUESTING APPROVAL OF A MASTER SIGN PROGRAM FOR THE SUBARU NEW CAR DEALERSHIP LOCATED AT 2 GEARY PLAZA IN THE AUTOMOTIVE REGIONAL COMMERCIAL(CA). THE PROJECT IS CATEGORICAL EXEMPT CLASS 11 FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

PURPOSE & RECOMMENDATION

In accordance with Section 17.40.030.B of the Seaside Municipal Code (SMC), a Master Sign Program can be proposed to modify sign standards within the aocenter based specific architectural and visual characteristics associated with a project site.

The condiotions of approval are provided as Attachment 1 to the staff report with the Master Sign Program Plans being provided as Ehibit A to Attachment 1.

BACKGROUND

The project site is located on a 1.4 acre parcel within the Seaside Auto Center at 2 Geary Plaza located at the southwest corner of Fremont Boulevard and Geary Plaza. Location map is provided as Attachment 2. Site photos are provided as Attachment 3. The adjacent land uses consist of the Sullivan Tires to the south, the Chrysler dealership and the Cypress Coast Ford dealership to the west, BMW dealership to the north, and retail/commercial businesses to the east.

The site is currently developed with an existing 9,040 square-foot showroom/office facility, 1,880 square-foot service building and related automotive display areas. On November 20, 2019, the BAR approved a new design layout for the dealership as follows:

1. The total area of the building will increase from 9,040 sq. ft. to 14,200 sq. ft. (5,160 sq. ft. increase).
2. Remove and demolish all walls, slab, and roof structure of the existing showroom and sales related office space. The drive-through service tunnel in the center of the building, will also be demolished. The storefronts and some interior walls of the service and parts departments will be removed. A two story parts/storage is proposed above Building B.
3. The showroom and sales office areas will be expanded by 5,060 square feet. The center drive-through will be converted into new vehicle delivery bays with roll up overhead doors facing the west and east driveways. The center of the drive-through area will be converted to a service advisor area. The facades will be squared off with the use of composite metal panels on upper façade and combination of aluminum storefront windows and plaster siding on the lower façade. The finance and insurance offices, restrooms, cashier, and service manager office will move to the space previously occupied by service and parts.
4. The exterior of the building will be will consist of a Subaru silver on the plaster siding and a darker silver on the composite metal panels. Entry door trim will be painted white.
5. The site will maintain its current building footprint, driveway configuration, and parking layout. Customer parking spaces will be designated and two ADA spaces will be relocated adjacent to the west side of the showroom. The path of travel from these spaces to the dealership entrance will be established in compliance with the applicable Building Codes. The entry steps on the west side of the showroom will be reconfigured as they lead to the new showroom and offices.
6. The exterior lighting around the building will be provided by existing parking lot locations and under roof overhang adjacent to the building.
7. The signs will consist 36" Channel letters for "Subaru", 24" Channel letters for "Cypress Coast Subaru", 18" Channel letters for "Service".

Project Description

The new sign program will consist entirely of the business identification for Cypress Coast Subaru consisting of 10 wall signs and one freestanding pylon sign listed in Table 1.

TABLE 1

Sigm#	Proposed Sign	square footage
N01	Illum. 53" Oval Subaru Logo	39.8 sq. ft.
N02	Illum. 36" Channel Letters (SUBARU)	69.4 sq. ft.
N03	Illum. 24" Channel Letters (CYPRESS COAST)	54.5 sq. ft.
N04	Illum. 18" Channel Letters (SERVICE)	15.5 sq. ft.

N05	Illum. 12" Channe Letters (EXPRESS)	6..7 sq. ft.
N06	Illum. 53" Oval Subaru Logo	39.8 sq. ft.
N07	Illum. 36" Channel Letters (SUBARU)	69.4 sq. ft.
N08	Illum. 24" Channel Letters (CYPRESS COAST)	54.5 sq. ft.
N09	Illum. 53" Oval Subaru Logo	39.8 sq. ft.
N10	Illum. 36" Channel Letters (SUBARU)	69.4 sq. ft.
Pylon Sign	Reface Illum. 21'-0" freestanding sign	60 sq. ft.

The project plans are provided as Exhibit A to the Conditions of Approval (Attachment 1).

Staff

Analysis

Based on the differing lot sizes, number of frontages, and varying building locations/configurations within the auto center, a Master Sign Program is necessary to ensure that signs are not only visible but effectively blend with the architecture as well. Per the Sign Code, typical sign regulations limit a business to one primary and one secondary sign, with the primary not exceeding 100 square feet and the secondary sign not exceeding 50 square feet. These sign limitations are not practical for an automotive dealership consisting of a building exceeding 14,000 square feet.

City staff finds that the proposed signs are to scale with the buildings and site. The signs also provide branding for the dealership (CYPRESS COAST), the vehicle make (SUBARU) and on-site service (SERVICE). City staff recommends approval in accordance with the following findings and evidence:

1. The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, and Design Guidelines for the Auto Center.

Evidence: The Master Sign Program has been reviewed in accordance with the General Plan, Zoning Code, and Design Guidelines for the Auto Center, and it is concluded that the Master Sign Program will meet all applicable design requirements. The Master Sign Program takes into account the scale, style, and architectural character of the surrounding area, and meets high aesthetic and design integrity standards.

2. The proposed Master Sign Program is suitable suitable for the purposes of the building and site and will enhance the character of the Auto Center and neighboring commercial properties.

Evidence: The proposed Master Sign Program will provide all design elements required by the Design Guidelines for the Auto Center, including consistent

detailing of the architectural style, providing sufficient business identification, and the use of a consistent color palette throughout the project.

3. The Master Sign Program is compatible with the architectural character of the site, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and similar elements to establish a clear design concept.

Evidence: The proposed Master Sign program auto will provide all required design elements that would establish an attractive development, and will be compatible with the project site and nearby properties.

ATTACHMENTS

1. Attachment 1 - Conditions of Approval Updated
 2. Attachment 1 - Exhibit A Subaru Plans
 3. Attachment 2 - Location Map
 4. Attachment 3 - Site Photos
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Conditions of Approval
File No. MSP-20-01
March 4, 2020

Project Specific:

Planning:

1. Except as modified by required conditions of approval, plans submitted for a building permit shall substantially conform to the Master Sign plans identified as “SUBARU Cypress Coast” and approved on March 4, 2020. Project plans are provided as Attachment 1 to Exhibit “A”.

Building:

1. The construction plans for the project shall be submitted in accordance with the 2016 California Building Code.

Fire:

2. The construction plans shall be submitted in accordance with the 2016 California Fire Code.

Standard:

1. Board of Architectural Review approval shall not be valid until the applicant has signed and accepted these conditions of approval. Failure to sign the conditions and return them to the Planning Division within fifteen (15) days from the date of approval will result in the Board of Architectural Review approval becoming null and void.
2. Proposed changes to the approved application(s) must receive approval from the Board of Architectural Review, unless approved by the Director as outlined in Seaside Zoning Code Section 17.54.090.C.
3. The applicant agrees as a condition and in consideration of the approval of this discretionary permit that it will defend, indemnify and hold harmless the City of Seaside or its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers or employees to attack, set aside, void or annul this approval. The applicant will reimburse the City for any court costs and attorney’s fees, which the City may be required by a court to pay as a result of such action. City may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. The City shall promptly notify the applicant of any such claim, action, or proceeding, and the City shall cooperate fully in the defense thereof.
4. Any proposed future development shall comply with the requirements of the Fire, Health, Planning, Code Enforcement, Building and Public Works Departments.

5. The project shall be responsible for all applicable local and/or regional development and/or impact fees including, but not limited to, sewer, water, and traffic fees, which shall be paid prior to building permit issuance.
6. Any work within the public right-of-way must conform to current engineering standards and shall require an encroachment permit from the Public Works Department.
7. The proposed project shall comply with the applicable requirements of the Monterey Peninsula Water Management District for the installation of new water fixtures and landscape irrigation equipment.
8. The issuance of building permits involving the installation of new floor area or change in use from the previous use shall be subject to the availability of an adequate supply of water and sewer capacity to serve the project.

BOARD OF ARCHITECTURAL REVIEW APPLICATION NO. MSP-20-21--01

This permit is hereby accepted upon the express terms and conditions hereof, and shall have no force or effect unless and until agreed to, in writing, by the applicant and property owner(s).

The undersigned hereby acknowledge the approved terms and conditions and agree to fully conform to, and comply with, said terms and conditions within the time frames approved by the City of Seaside Board of Architectural Review.

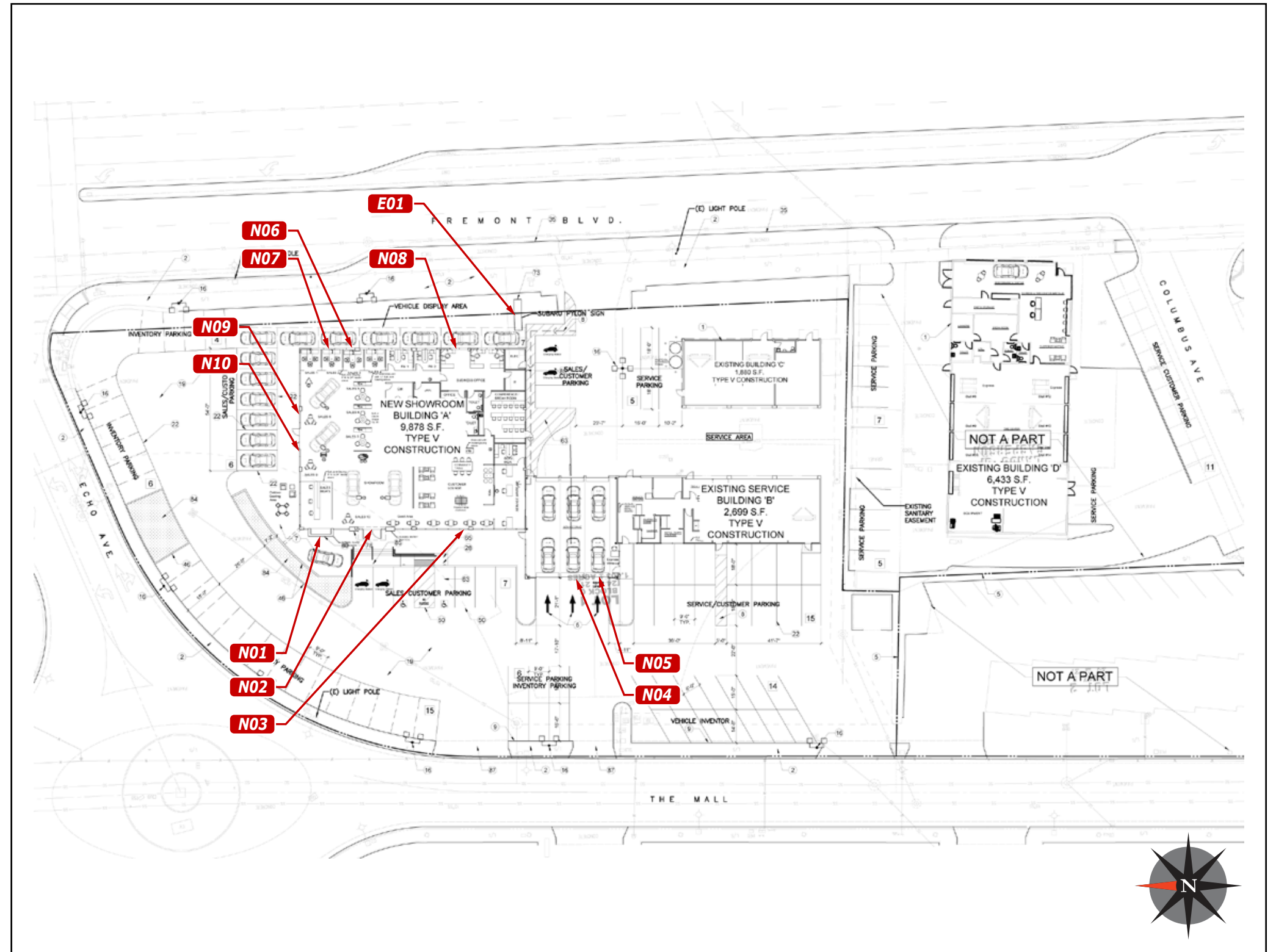
Applicant's Signature

Date

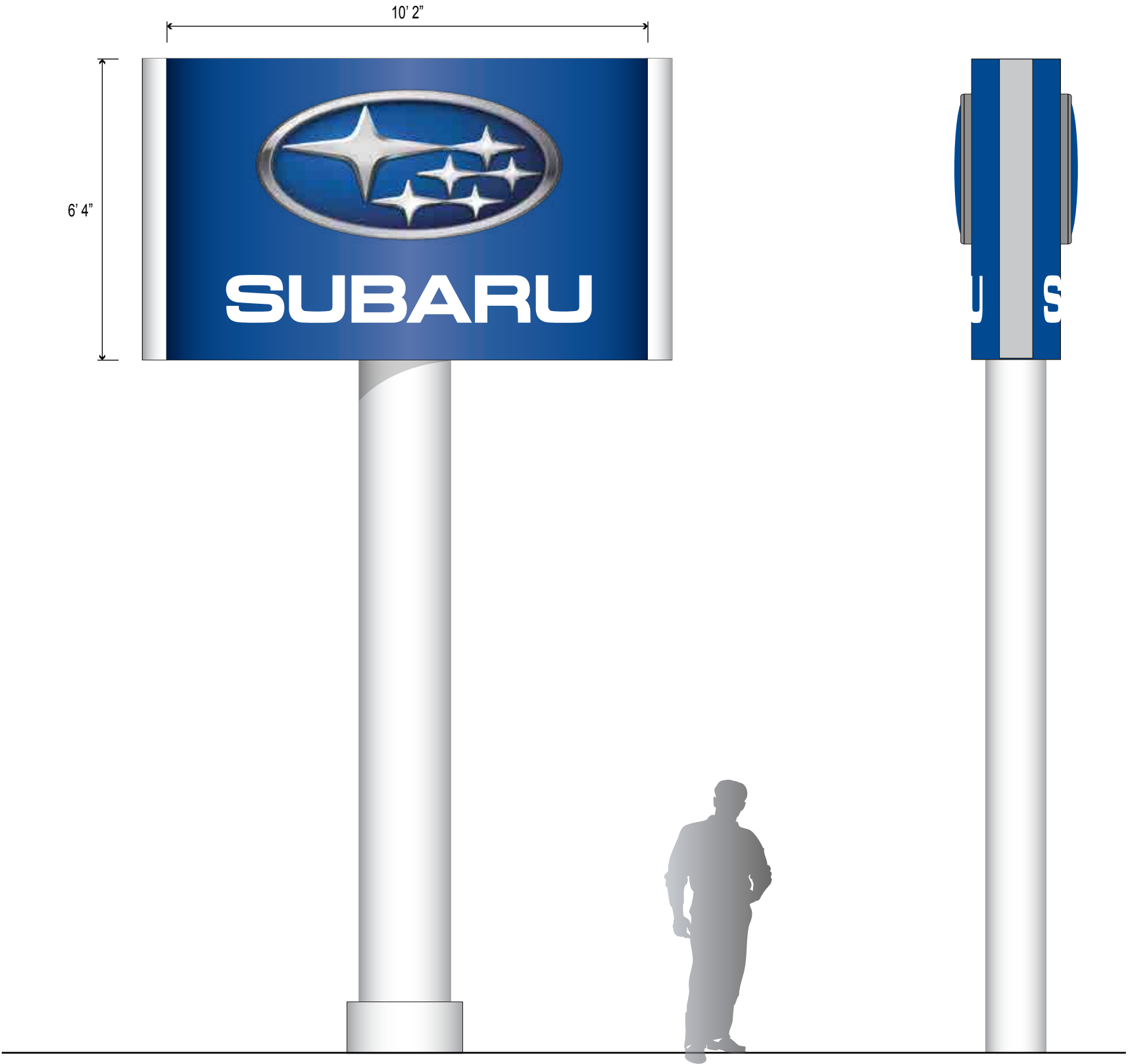
Property Owner's Signature

Date

SIGN INVENTORY

[illegible]

 PHILADELPHIASIGN BRINGING THE WORLD'S BRANDS TO LIFE	TITLE	Subaru	DWG BY	ZAS	DATE	01.22.20	DATE ---	REVISION	BY	THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.
	ADDRESS	SUB14514 Cypress Coast Subaru 2 Geary Plaza Seaside, CA 93955			DWG NUM	B86564				
				SHEET	1	 SUBARU Retailer Executive Manager Signature: _____ Date: _____				
707 WEST SPRING GARDEN ST • PALMYRA, NJ • 08065 • P: 856-829-1460 • F: 856-829-8549 • WEB: http://www.philadelphiasign.com										



E01 - 2019 REFACE OF EXISTING P65 PYLON
Scale: 3/8" = 1' 0"

 PHILADELPHIASIGN BRINGING THE WORLD'S BRANDS TO LIFE	TITLE	Subaru	DWG BY	ZAS	DATE	01.22.20	DATE ---	REVISION	BY	THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.	
	ADDRESS	SUB14514 Cypress Coast Subaru 2 Geary Plaza Seaside, CA 93955				DWG NUM					B86564
						SHEET					2
											 SUBARU Retailer Executive Manager Signature: _____ Date: _____

- N01

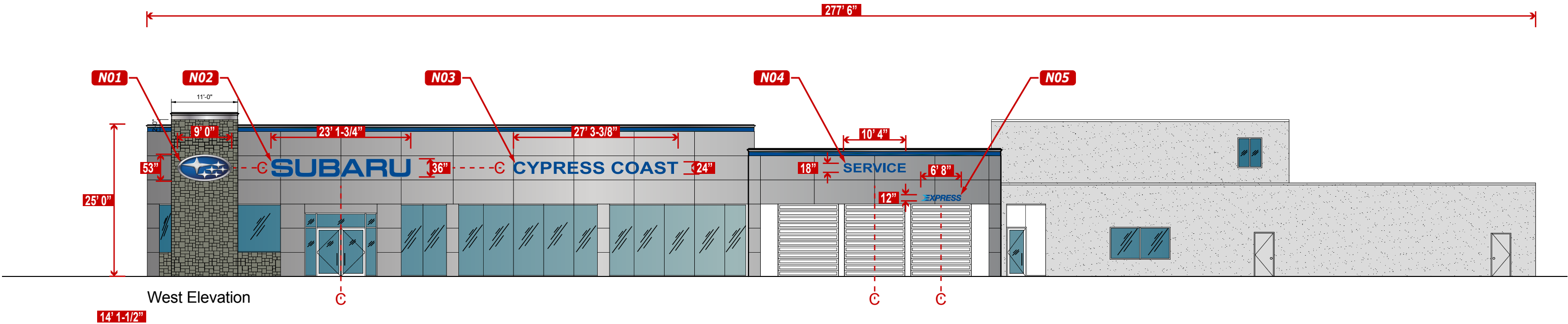
53" 2019 Illum Logo - 53"h x 9' 0"w (39.8 Sq Ft)
- N02

36" 2019 Illum Blue Channel Letters "SUBARU" - 23' 1-3/4" OAL (69.4 Sq Ft)
- N03

24" Illum Blue Channel Letters "CYPRESS COAST" - 27' 3-3/8" OAL (54.6 Sq Ft)
- N04

18" Illum Blue Channel Letters "SERVICE" - 10' 4" OAL (15.5 Sq Ft)
- N05

12" Illum Blue Channel Letters "EXPRESS" - 6' 8" OAL (6.7 Sq Ft)



ALL SIGNS RENDERED PROPORTIONALLY TO THE ELEVATIONS

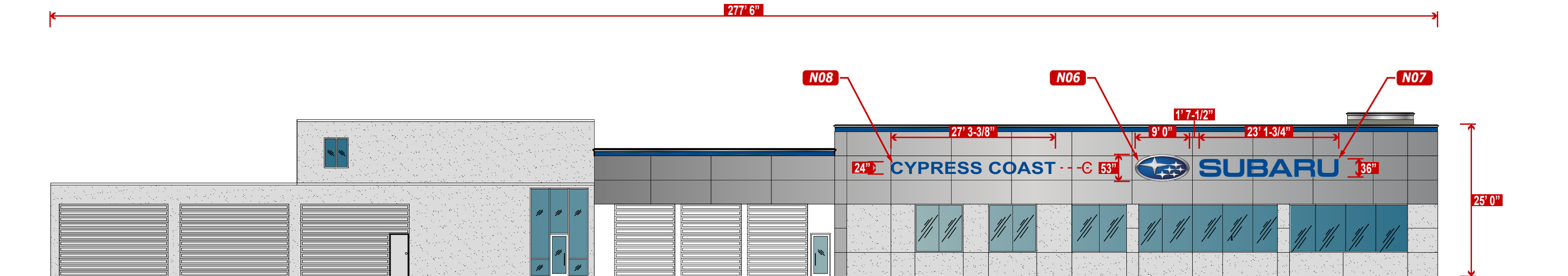
 PHILADELPHIASIGN BRINGING THE WORLD'S BRANDS TO LIFE	TITLE	Subaru	DWG BY	ZAS	DATE	01.22.20	DATE	REVISION	---	BY	THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.	
	ADDRESS	SUB14514 Cypress Coast Subaru 2 Geary Plaza Seaside, CA 93955			DWG NUM	B86564	SUBARU Retailer Executive Manager Signature: _____ Date: _____					
					SHEET	3						

- N06

53" 2019 Illum Logo - 53"h x 9' 0"w (39.8 Sq Ft)
- N07

36" 2019 Illum Blue Channel Letters "SUBARU" - 23' 1-3/4" OAL (69.4 Sq Ft)
- N08

24" Illum Blue Channel Letters "CYPRESS COAST" - 27' 3-3/8" OAL (54.6 Sq Ft)



East Elevation

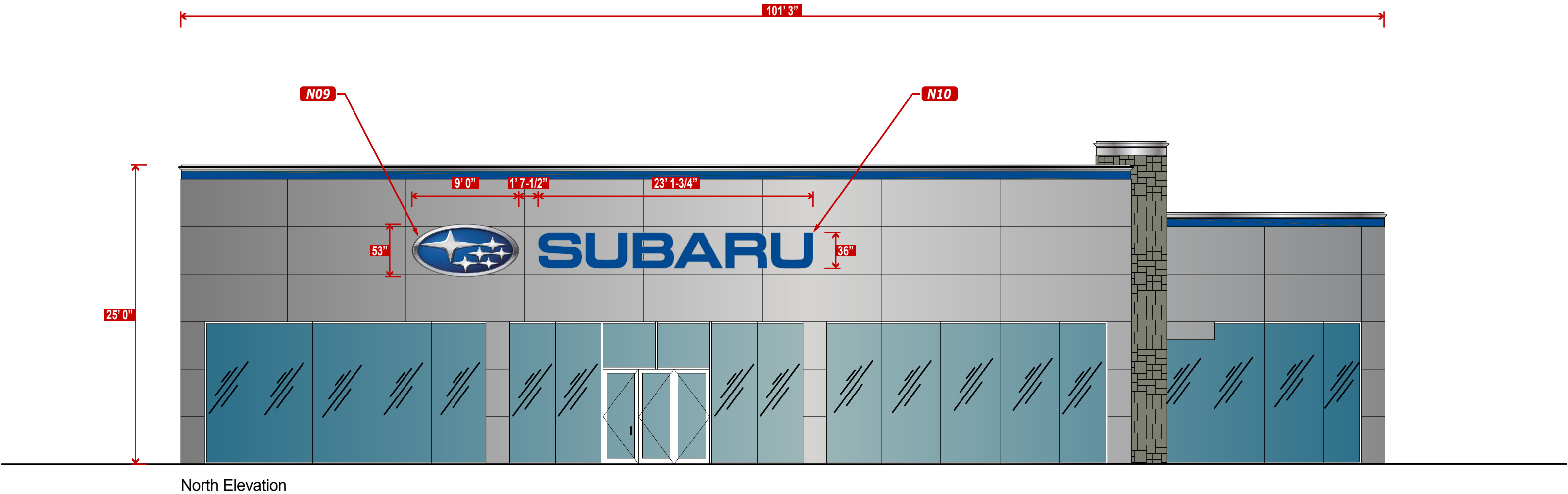
ALL SIGNS RENDERED PROPORTIONALLY TO THE ELEVATIONS

 PHILADELPHIASIGN BRINGING THE WORLD'S BRANDS TO LIFE	TITLE	Subaru	DWG BY	ZAS	DATE	01.22.20	DATE	---	REVISION	BY	THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY P.S.C.O. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY P.S.C.O. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.	
	ADDRESS	SUB14514 Cypress Coast Subaru 2 Geary Plaza Seaside, CA 93955			DWG NUM	B86564	 SUBARU Retailer Executive Manager Signature: _____ Date: _____					
					SHEET	4						

- N09

53" 2019 Illum Logo - 53"h x 9' 0"w (39.8 Sq Ft)
- N10

36" 2019 Illum Blue Channel Letters "SUBARU" - 23' 1-3/4" OAL (69.4 Sq Ft)





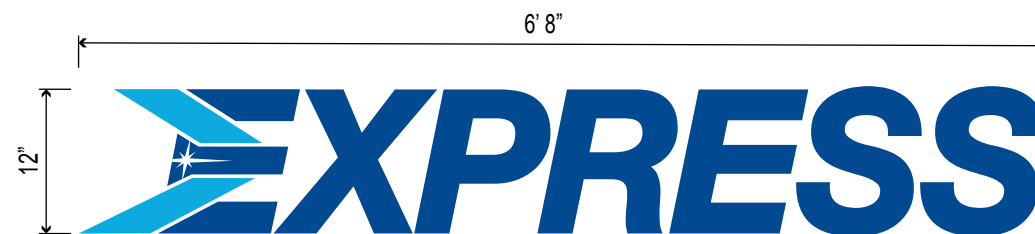
N01, N06, N09 - 53" 2019 ILLUM LOGO
Scale: 3/8" = 1' 0"

N02, N07, N10 - 36" 2019 ILLUM CHANNEL LETTERS
Scale: 3/8" = 1' 0"



N03, N07 - 24" ILLUM CHANNEL LETTER
Scale: 3/8" = 1' 0"

N04 - 18" ILLUM CHANNEL LETTER
Scale: 1/2" = 1' 0"

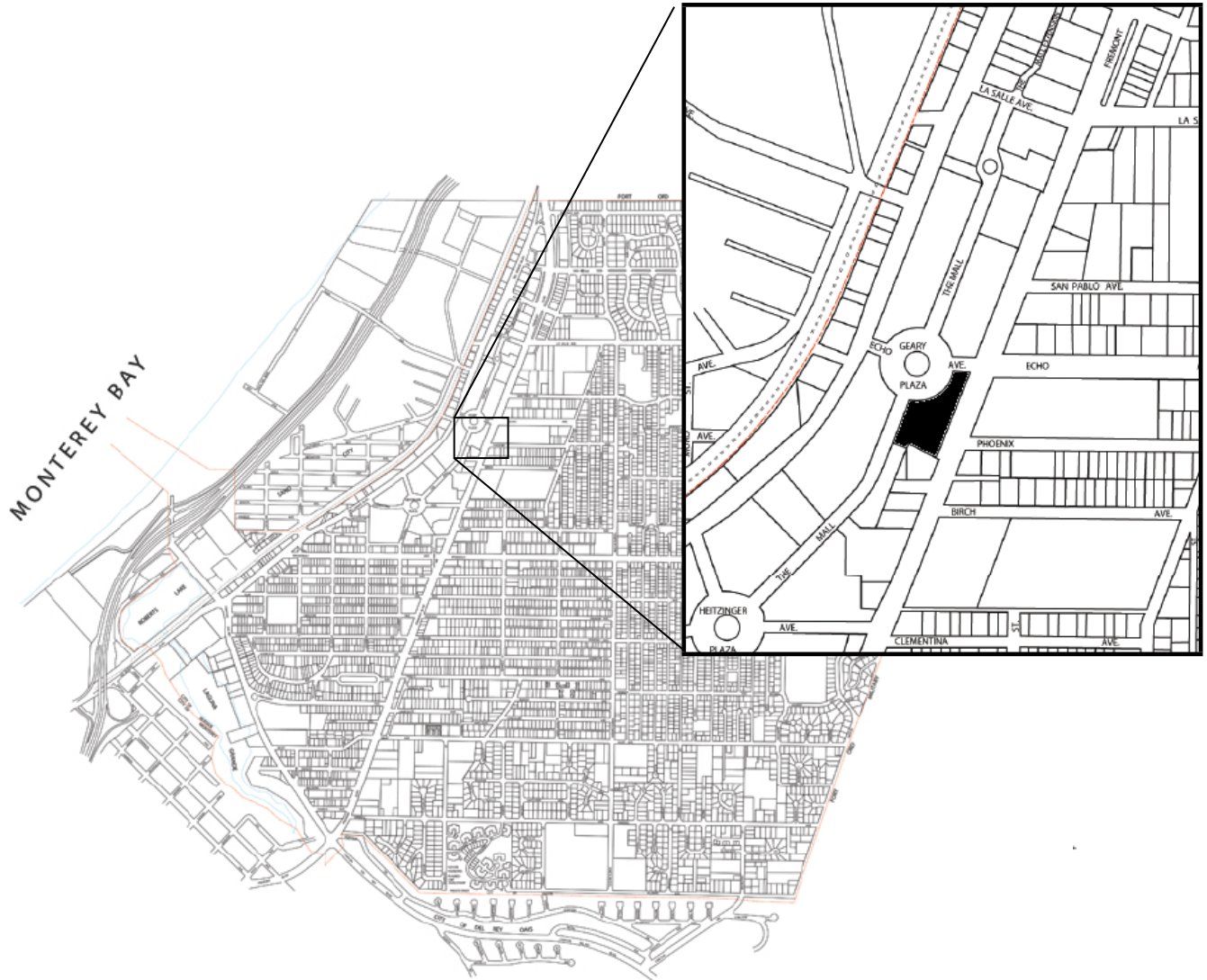


N05 - 12" ILLUM CHANNEL LETTER
Scale: 3/4" = 1' 0"

Attachment 2

Location Map

Project Site: 2 Geary Plaza



Attachment 4

Site Photos



View from southwest corner looking north



View from northwest corner looking south



View from north side looking south



View from Fremont Boulevard looking south



View from Fremont Boulevard looking north